

REPORT TITLE	Assessment of Change Application (Minor Change) for Material Change of Use – Impact – Intensive Animal Industry located at 2329 Millmerran-Cecil Plains Road, KURROWAH QLD 4357
AUTHOR	Planning Officer (James Leader)
Application No.	MCUI/2004/3675/A

**PURPOSE OF REPORT**

To consider a change application regarding a development approval for Material Change of Use – Impact – Intensive Animal Industry located at 2329 Millmerran-Cecil Plains Road, KURROWAH QLD 4357.

**EXECUTIVE SUMMARY**

A Development Application for Material Change of Use “to increase the number of poultry housed in the existing two sheds to 100,000 pullets in each shed as well as the construction of two (2) poultry rearing sheds housing 100,000 pullets from one day old to approximately 20 weeks of age”, was approved by the former Millmerran Shire Council on 20 April 2005 and is still a current approval.

The applicant lodged the current Change Application (Minor Change) (MCUI/2004/3675/A) on 22 August 2025 and seeks to reconfigure the layout and capacity of the approved sheds, in order increase operational efficiency on site. It is noted that there are several approvals relevant to the site (see ‘Application History’ section of report) which have resulted in a number of sheds not being constructed in the locations identified in the relevant original approvals, and the approved total site capacity (669,998 birds) being distributed between fewer sheds than was originally approved. As part of this change application (MCUI/2004/3675/A), the development seeks to formalise the existing shed locations and redistribute a portion of the existing site capacity into four (4) additional sheds, two (2) sheds which have been previously approved but not yet constructed (Shed 7 and 8 on approved plans) and a further two (2) new sheds to be constructed (Shed 9 and 10 on approved plans). The original approval (MCUI/2004/3675) did not specify a total approved capacity, however subsequent approvals on site have resulted in a total approved capacity for the site of a maximum of 669,998 birds across 8 sheds. So far only 6 sheds have been constructed on site with a total capacity of approximately 500,000 birds, leaving an unconstructed capacity of 169,998 birds.

The development will involve ten (10) sheds with a total approved capacity of 669,998 birds as follows:

Stage 1		Stage 2		Stage 3	
Shed No.	Maximum Capacity Bird No:	Shed No.	Maximum Capacity Bird No:	Shed No.	Maximum Capacity Bird No:
Shed 1	100,000	Shed 1	100,000	Shed 1	54,000
Shed 2	100,000	Shed 2	100,000	Shed 2	54,000
Shed 3	100,000	Shed 3	100,000	Shed 3	82,000
Shed 4	100,000	Shed 4	100,000	Shed 4	59,998
Shed 5	100,000	Shed 5	100,000	Shed 5	70,000
Shed 6		Shed 6		70,000	
-	-	Shed 7	70,000	Shed 7	70,000
-	-	Shed 8	70,000	Shed 8	70,000
-	-	-	-	Shed 9	70,000
-	-	-	-	Shed 10	70,000
Maximum Constructed Capacity	<b>500,000</b>	Maximum Constructed Capacity	<b>640,000</b>	Maximum Constructed Capacity	<b>669,998</b>

The above table has been included within the condition set to make clear the approved capacity of each shed.

The change application also provided a Site Based Environmental Management plan which has been included as an approved document.

It is noted that whilst part of the site is now mapped within the Balance Flood Hazard Area of the current *Toowoomba Regional Planning Scheme 2012* (Version 28), the original approval (MCUI/2004/3675) and subsequent approvals (See 'Application History' section of report) did not require assessment against the Balanced Mixed Area of the Flood Hazard Overlay as it had not been adopted in the applicable previous versions of the relevant planning schemes. Given that the proposed changes will not introduce additional birds or capacity in an area identified as Balance Mixed, the need for assessing the proposed change against the requirements of the Balanced Mixed Area of the Flood Hazard Overlay Code is deemed to be irrelevant for this application given the development has already commenced.

The risk of flooding to the additional four (4) sheds of the development is minimal and would not result in any danger to people, with risk concerns being restricted to property and animal welfare during flooding events. As such, appropriate conditions have been added to the approval to maintain the welfare and safety of animals on site and reduce any damage to property during any flooding event.

Existing conditions 1-4 of Development Approval MCUI/2004/3675 (former reference number 3675) are required to be removed to accommodate the requested changes, as these conditions do not reflect the requirements of the planning scheme or the current environmental legislation. Conditions 5-70 have been added to facilitate the proposed amended development. Conditions 14-18 are recommended to be included in order to address the Balanced Flood Hazard Area Mapped over the site. The previous approvals for this development were assessed and approved prior to the introduction of the Balanced Flood Hazard Overlay Area and as such Conditions 14-18 are to be included to address potential flooding on site.

It is considered that all other approvals granted over the site for Poultry Farm—'Intensive Animal Industry' now have effect, and that this approval is now the governing approval for the site as it relates to the siting, size, and approved capacity of all poultry farm activities on site.

The proposed changes are considered to constitute a 'Minor Change' under Section 81 of the *Planning Act 2016*. The proposed changes have been found to generally comply with the current Planning Scheme, the Planning Scheme in effect at the time of the original application, the required tests for a Minor Change under the *Planning Act 2016*, and any other relevant considerations. For this reason, it is recommended that the proposed changes be approved as identified throughout this report.

## RECOMMENDATION

**APPROVED** – Change Application regarding Development Approval MCUI/2004/3675/A for Material Change of Use – Impact – Intensive Animal Industry, pursuant to the provisions of Section 81 of the *Planning Act 2016* and subject to the amendments listed below.

An amended Infrastructure Charges Notice will be issued in relation to the changes to the development approval

## ASSESSMENT MANAGER CONDITIONS

1. ~~That the applicant obtain all necessary approvals and permits prior to the commencement of any work which may be required under any Acts, Regulations or Local Laws and further, that the applicant comply with the provisions of all other relevant Acts, Regulations and Local Laws and the provisions of the Town Planning Scheme for the whole of the Shire of Millmerran for the purpose required in the zone in which the land is situated.~~
2. ~~That the permit shall lapse at the expiration of four years unless the development has been substantially commenced.~~
3. ~~An authorised person within the meaning of that term as contained in the Local Government Act 1993, as amended, may enter upon the land the subject of this consent for the purpose of ascertaining whether the conditions of this consent have been or are being complied with or to inspect work carried out under the terms of this consent at any time between the hours of 5.00am and 10.00pm on any day during the period of the consent.~~
4. ~~That the applicant complies with all concurrence conditions as required by the Main Roads Department.~~

## PLANNING

5. This Development Approval is for a Material Change of Use for Intensive Animal Industry (Poultry) on Lot 2 RP51323 and Part Lot 10 on SP343587, described as the 'Subject Site' on the Approved Plans, and consisting of the following:

- 5.1 The maximum number of birds that may be kept on the subject site is as follows:

Stage 1		Stage 2		Stage 3	
Shed No.	Maximum Capacity Bird No:	Shed No.	Maximum Capacity Bird No:	Shed No.	Maximum Capacity Bird No:
Shed 1	100,000	Shed 1	100,000	Shed 1	54,000
Shed 2	100,000	Shed 2	100,000	Shed 2	54,000
Shed 3	100,000	Shed 3	100,000	Shed 3	82,000
Shed 4	100,000	Shed 4	100,000	Shed 4	59,998
Shed 5	100,000	Shed 5	100,000	Shed 5	70,000
Shed 6		Shed 6		70,000	
-	-	Shed 7	70,000	Shed 7	70,000
-	-	Shed 8	70,000	Shed 8	70,000
-	-	-	-	Shed 9	70,000
-	-	-	-	Shed 10	70,000
Maximum Constructed Capacity	<b>500,000</b>	Maximum Constructed Capacity	<b>640,000</b>	Maximum Constructed Capacity	<b>669,998</b>

**Note:** Birds must be pullets (being no older than approximately 20 weeks of age).

#### CARRY OUT & MAINTAIN DEVELOPMENT

6. The development must comply with the provisions of Council's Local Laws, Planning Scheme Policies, Planning Scheme and Planning Scheme Codes to the extent they are not varied by this Development Approval.
7. Unless otherwise stated, all conditions must be complied with prior to the commencement of use of each stage and thereafter.
8. Complete all building work associated with this Development Approval, including work required by any of the conditions of this Development Approval prior to the commencement of use for each stage. Such building work is to be carried out generally in accordance with the Approved Plans and Documents and, where the building work is assessable development, in accordance with a current Building Work approval.
9. The development must be maintained generally in accordance with the Approved and Amended Plans and Documents subject to or modified by any conditions of this Development Approval.

#### APPROVED PLANS

10. The development must be carried out generally in accordance with the Approved Plans listed below, subject to the conditions of this Development Approval:

Plan No: J00993\_2025\_10\_22

Description: "Site Plan" prepared by Property Projects Australia and received by Council 7 November 2025

Amendments: Plans to be amended as follows:

- Plan Name changed to "Site Plan";
- Approved capacity of all sheds struck through;
- Shed 3 capacity changed to 82,000 birds;
- "Shed 7 located in same location as Shed 5" struck through;
- "Shed 7 to be relocated" struck through;
- "No Approved location" struck through;
- "Approved Not Constructed" struck through;

- “Dwellings within 5km of the subject site” struck through;
- “Remove all reference to “Dwellings within 5km of the subject site” from Plan”;
- Plan No. Changed to “J00993\_2025\_10\_22”;
- “Amend plans to show dimensions and setbacks of approved sheds from property boundaries”; and
- Nominate “Stage 1”, “Stage 2” and “Stage 3”.

**Plan No:** LBD 25-0404, Issue A

**Description:** Shed Floor Plan, prepared by Langton Building Designs and dated 19 August 2025

**Amendments:** As Amended in red as follows :

- Plan name changed to “Shed 7, 8, 9, & 10 Floor Plan”
- “Shed Floor Plan” struck through

**Plan No:** LBD 25-0404, Issue A

**Description:** Shed Elevations, prepared by Langton Building Designs and dated 19 August 2025

**Amendments:** As Amended in red as follows :

- Plan name changed to “Shed 7, 8, 9, & 10 Elevations”
- “Shed Elevations” struck through

**Plan No:** DOMQ-1, D03, Revision 5

**Description:** Broiler Shed Layout prepared by SANTREV and dated 4 March 2015.

**Amendments:** As Amended in red as follows :

- “This Plan relates to Shed 5 and Shed 6 only”

**Plan No:** DOMQ-1, D04, Revision 5

**Description:** Shed Elevations prepared by SANTREV and dated 4 March 2015

**Amendments:** As Amended in red as follows :

- “This Plan relates to Shed 5 and Shed 6 only”.

**Plan No:** Nil.

**Description:** Shed 1, 2, and 3 Floor Plan, approved by Council on 29 June 2026

**Amendments:** As Amended in red as follows :

- “This Plan relates to Sheds 1, 2, and 3 only”;
- “Does not form part of this approval”; and
- Plan Name changed to “Shed 1, 2, and 3 Floor Plan”.

**Plan No:** Nil.

**Description:** Shed 1, 2, and 3 Floor Plan, dated 17 January 2002.

**Amendments:** Plan to be amended as follows:

- Floor plans and elevation plans of Shed 4 drawn to scale and fully dimensioned.

11. Plans to be amended must only incorporate the amendments listed within this Development Approval and must be resubmitted to Council for approval prior to the issue of any Development Permit for Operational Work or Building Work for Stage 2, whichever occurs first.

## APPROVED DOCUMENTS

12. The development must be carried out generally in accordance with the Approved Document listed below, subject to the conditions of this Development Approval:

**Document:** Sullivans Pullet Rearer Farm: Site Based Environmental Management Plan – Feb 2026

**Description:** Site Based Environmental Management Plan prepared by IntegrityAg and dated 19 February 2026

**Amendments:** As follows:

- Any reference to Sheds 7-10 forming part of a single stage must be removed, and any reference to staging within the report must reflect the

- staging indicated on the Approved Plans subject to and modified by any conditions of this development approval; and
  - Table 6 must be updated to reflect approved shed capacities listed in Condition 5.
13. Documents to be amended must only incorporate the amendments listed within this Development Approval and must be resubmitted to Council for approval prior to the issue of any Development Permit for Operational Work or Building Work for Stage 2, whichever occurs first.

#### **COUNCIL APPROVAL OF PLANS, DOCUMENTS & WORKS (OPERATIONAL WORK)**

14. Prepare and submit applications to Council and obtain a Development Permit for Operational Work for the following:
- 14.1 Bulk Earthwork (where required).

#### **STAGED DEVELOPMENT**

15. Staging of the development is to occur in accordance with the staging indicated on the Approved Plans subject to and modified by any conditions of this Development Approval.
16. Unless otherwise approved in writing by Council, stages must be completed in sequential order (i.e. Stage 1 must be completed before Stage 2) as identified on the Approved Plans.
17. The development must be carried out in accordance with those conditions applicable to one or more of the stages of development as follows:
- 17.1 Conditions Applicable to all Stages of development:  
1-13, 15-17, 24-63, and 65-69
- 17.2 Additional Conditions applicable to Stage 1  
Nil
- 17.2 Additional Conditions applicable to Stage 2  
14, 18-23, and 64
- 17.2 Additional Conditions applicable to Stage 3  
14, 18-23, and 64

#### **COMPLETION PERIOD**

18. Pursuant to Section 88 of the *Planning Act 2016*, the uncompleted aspects of this development approval lapse if the certificate of currency for works approved under each stage has not been issued by 1 June 2034.

#### **FLOOD IMMUNITY**

19. Proposed sheds within Stages 2 and 3 as identified on the approved plans must be resilient to flooding and must ensure that the safety and welfare of all animals and persons is maintained during any flooding events.
20. Design and install essential services infrastructure:
- 20.1 to exclude floodwater intrusion; and
- 20.2 to resist infiltration and resist hydrostatic and hydrodynamic forces as a result of inundation by flooding.

21. All bulk earthworks undertaken on land identified as Balance Flood Hazard area on the Flood Hazard Overlay must be carried out in accordance with a Development Permit for Operational Work or the following where there is no requirement for a Development Permit for Operational Work:
  - 21.1 Earthworks must not physically alter any watercourse or floodway and must not include vegetation clearing;
  - 21.2 Earthworks must not reduce on-site flood storage capacity, and contain within the subject land, any changes to depth, duration and velocity of flood waters.
22. Any fence traversing land identified as Balance flood hazard area on the Flood Hazard Overlay must ensure that the flow of water is not impeded or disturbed during any flood events.
23. No manufacture and/or storage in bulk of hazardous materials may occur on land identified as Balance flood hazard area on the Flood Hazard Overlay is to occur.

#### **AVAILABILITY OF APPROVED DOCUMENTATION DURING WORKS**

24. A legible copy of the Development Approval, including the Approved and Amended Plans and Documents bearing Council's approved stamp must be available on the subject land for inspection at all times during earthworks and construction.

#### **WORKS**

##### **ENGINEER'S CERTIFICATION AND SUPERVISION OF WORKS**

25. Plans and specifications for all works associated with earthworks, stormwater drainage, or any other works required on Council infrastructure, must be prepared and certified by a Registered Professional Engineer Queensland – Civil (RPEQ).
26. A RPEQ must submit to Council a copy of the:
  - 26.1 Design Certificate prior to commencement of the works; and
  - 26.2 Construction Supervision Certificate upon completion of the works certifying that works are in accordance with the approved plans and specifications.
27. Any works that have been certified by an RPEQ must be carried out under the supervision of an RPEQ with all executed works being detailed on a Construction Supervision Certificate.
28. Where any condition refers to or requires an Engineer to perform a task or function, the Engineer must hold professional indemnity insurance to the value of \$2,000,000. A Certificate of Currency must be submitted to Council with any Design Certificate or Construction Supervision Certificate.

##### **STORMWATER DRAINAGE**

29. All land adjoining the development must be protected from ponding or nuisance from stormwater resulting from the development for the life of the development.

##### **STORMWATER DISCHARGE**

30. Stormwater from new roofed areas (including overflow pipes from rainwater tanks) is permitted to be discharged within the subject land, a minimum of 3 metres clear of any building foundations and any adjoining property boundary.
31. The act of on-site stormwater discharge must not cause erosion and scouring and must utilise appropriate control devices at outlets to prevent such erosion and scouring.
32. Stormwater must be dispersed as sheet flow.

33. Design and construction of all internal stormwater drainage works must comply with each applicable section of *Australian and New Zealand Standard AS/NZS 3500 – Plumbing and Drainage Code* and the *Queensland Urban Drainage Manual*.

#### **BULK EARTHWORKS**

34. Where earthworks are not assessed as part of a Development Application for a Development Permit for Building Work, prior to the commencement of any earthworks on the subject land, a Development Application for a Development Permit for Operational Work must be submitted to and be approved by Council.

#### **EROSION & SEDIMENT CONTROL**

35. Stockpiles of topsoil, sand, aggregate, spoil or other material capable of being moved by the action of wind or running water must be stored clear of drainage paths and not within the road reserve at any time.
36. Measures such as sediment fences, earth berms, temporary drainage, temporary sediment basins, dewatering or stormwater filtering devices to prevent eroded material, sediment or sediment laden water from being transported to adjoining properties, roads or stormwater drainage systems must be provided.
37. Where erosion and sediment control measures have been damaged, fail or are inadequate and erosion or the release of sediment or sediment laden stormwater has occurred from the subject land or associated works, any resultant property or environmental damage or interference caused must be repaired or cleaned up within 24 hours or upon the direction of Council, at no cost to the affected parties.
38. All disturbed areas must be mulched or turfed as soon as possible during construction.
39. Measures such as vehicle baths, wash-down and construction matting together with dust suppressants and wraps, exposed ground and stockpile sprinkling must be put in place to minimise site vehicles tracking sediment onto adjoining streets during the course of the construction period, and to prevent dust nuisance during construction and, where applicable the ensuing 'on-maintenance' period.

#### **AIR QUALITY IMPACT MITIGATION**

40. Odours or airborne contaminants which are noxious or offensive to public amenity or safety, likely to cause environmental harm or environmental nuisance or exceed the *Air Quality Objectives* listed in the *Environmental Protection (Air) Policy 2019* as measured at any sensitive place or commercial place must not be released to the atmosphere during building and operational work.
41. All reasonable and feasible avoidance and mitigation measures are employed so that dust emissions generated during building works do not exceed the following levels when measured at any sensitive place or commercial place:
- 41.1 Dust deposition of 133 milligrams per square metre per day, averaged over 1 month, when monitored in accordance with the most recent version of *Australian Standard AS3580.10.1 Methods for sampling and analysis of ambient air – Determination of particulate matter – Deposited matter – Gravimetric method*.

#### **CONSTRUCTION NOISE IMPACT MITIGATION**

42. Building work (as per the definition of the *Environmental Protection Act 1994*) that creates audible noise must be confined to the hours of 6:30 AM and 6:30 PM Monday to Saturday (excluding Public Holidays) unless otherwise approved by Council in an endorsed Construction Environmental Management Plan.

#### **CONSTRUCTION WASTE MANAGEMENT & STORAGE**

43. **Waste generated during demolition, excavation and construction must be managed in accordance with the waste management hierarchy as detailed in the *Waste Reduction and Recycling Act 2011*.**
44. **The on-site storage and disposal of demolition, excavation and construction waste (including the storage and disposal of night soil) must comply with the *Environmental Protection Regulation 2019*.**
45. **Fires are not to be lit to dispose of demolition or construction waste.**
46. **No demolition, excavation or construction waste is to be used as fill or buried on-site (with the exception of cut material recycled from the subject land and used on the subject land), or be used as fill or buried elsewhere, unless otherwise permitted:**
  - 46.1 **Elsewhere within this Development Approval;**
  - 46.2 **In accordance with an associated Development Permit for Operational Work;**
  - 46.3 **In association with and in accordance with an Environmental Authority issued under the *Environmental Protection Act 1994*;**
  - 46.4 **In accordance with either a general or specific approval of a resource for recycling (in accordance with the End of Waste Codes) issued under the *Waste Reduction and Recycling Act 2011*; or**
  - 46.5 **In accordance with a written approval issued by Council under the *Environmental Protection Regulation 2019* relating to the depositing or disposal of general waste from a premises not serviced by Council.**
47. **Demolition, excavation and construction waste (including night soil) must not be placed or stored within the road reserve at any time.**

#### **DAMAGE TO SERVICES & ASSETS**

48. **Protect Council and public utility services and assets during construction of the development.**
49. **Construction, alterations, and any repairs to Council infrastructure is undertaken in accordance with Council's relevant policies and requirements at no cost to Council.**

#### **SERVICES & UTILITIES**

##### **WATER SUPPLY**

50. **The development must be provided with a potable water supply having a capacity sufficient for the use, with water quality that complies with the *Australian Drinking Water Guidelines (NHMRC, 2011)*.**

#### **ENVIRONMENT & WASTE**

##### **SITE BASED ENVIRONMENTAL MANAGEMENT PLAN**

51. **The approved use must be carried out generally in accordance with the approved Site Based Environmental Management Plan listed within this Development Approval.**
52. **The approved Site Based Environmental Management Plan must be implemented, maintained, and modified where necessary to maintain compliance with the requirements of this Development Approval at all times.**

##### **ACOUSTIC AMENITY – GENERAL**

53. Acoustic measures and treatments must be incorporated into the development in accordance with Section 5.2 of the approved Site Based Environmental Management Plan listed within this Development Approval.

#### ACOUSTIC AMENITY - NOISE LIMITS

54. Noise from activity associated with the use of the subject land must not exceed the Acoustic Quality Objectives listed in the *Environmental Protection (Noise) Policy 2019* when measured at any sensitive receptor.
55. Where considered warranted by Council and when requested in writing to do so, a noise investigation must be undertaken to investigate a complaint of noise nuisance. In such instances, a suitably qualified person must monitor, interpret and record all parameters that are required to be monitored in order to determine whether or not the Noise Emission Limits listed within this Development Approval have been exceeded. The results of the investigation must be provided to Council within 28 days of the request or a longer period if specified in any such request. Measurement of noise emissions (adjusted for tonality and impulse) must be generally in accordance with the most recent version of *Australian Standard AS1055.1 Acoustics – Description and measurement of environmental noise – General procedures*.

**Note:** Before investigation by the operator is required, Council completes its own consultation and preliminary investigation to confirm if a complaint is valid.

#### ACOUSTIC AMENITY - MECHANICAL PLANT

56. All “refrigeration equipment”, “pumps”, “regulated devices”, and “air conditioning equipment” as defined by the *Environmental Protection Act 1994* must be designed, installed, operated and maintained to comply with the noise standards as specified within the *Environmental Protection Act 1994*.

#### AIR QUALITY & AMENITY - GENERAL

57. Air pollution control measures must be incorporated into the development in accordance with Section 5.2 of the approved Site Based Environmental Management Plan listed within this Development Approval.

#### AIR QUALITY & AMENITY - AIR RELEASE LIMITS

58. Odours or airborne contaminants which are noxious or offensive to public amenity or safety, likely to cause environmental harm or environmental nuisance or exceed the Air Quality Objectives listed in the *Environmental Protection (Air) Policy 2019* as measured at any sensitive receptor place must not be released to the atmosphere.

#### AIR QUALITY & AMENITY - AIR RELEASE LIMITS (DUST AND PARTICULATE MATTER)

59. All reasonable and feasible avoidance and mitigation measures are employed so that dust AND/OR particulate matter emissions generated from activity associated with the use of the subject land do not exceed the following levels when measured at any sensitive place or commercial place:
- 59.1 Dust deposition of 133 milligrams per square metre per day averaged over 1 month, when monitored in accordance with the most recent version of *Australian Standard AS3580.10.1: Methods for sampling and analysis of ambient air – Determination of particulate matter – Deposited matter – Gravimetric method*; and
- 59.2 A concentration of particulate matter with an aerodynamic diameter of less than 10 micrometres (PM<sub>10</sub>) suspended in the atmosphere of 50 micrograms per cubic metre over a 24-hour averaging time, for no more than 5 exceedances recorded each year, when monitored in accordance with the most recent version of either:

- i) ***Australian Standard AS3580.9.6: Methods for sampling and analysis of ambient air—Determination of suspended particulate matter – PM<sub>10</sub> high volume sampler with size-selective inlet – Gravimetric method; or***
- ii) ***Australian Standard AS3580.9.9: Methods for sampling and analysis of ambient air – Determination of suspended particulate matter – PM<sub>10</sub> low volume sampler – Gravimetric method.***

60. Where considered warranted by Council and when requested in writing to do so, an air quality investigation must be undertaken to investigate a complaint of air pollution, odour or dust nuisance. In such circumstances, a qualified person must monitor, interpret and record all parameters that are required to be monitored in order to determine whether or not the Air Release Limits listed within this Development Approval have been exceeded. The results of the investigation must be provided to Council within 28 days of the request or a longer period if specified in any such request.

***Note:*** *Before investigation by the operator is required, Council completes its own consultation and preliminary investigation to confirm if a complaint is valid.*

#### **OUTDOOR LIGHTING IMPACT MITIGATION**

61. Outdoor lighting associated with the use must be designed, sited, and installed to comply with the relevant parameters of *Australian Standard AS4282-2019 Control of the obtrusive effects of outdoor lighting*.

62. All flood lighting must be of a type that gives no upward component of light when mounted horizontally (i.e. a full cut off luminaire).

63. Where considered warranted by Council and when requested in writing to do so, a lighting impact investigation must be undertaken to investigate a complaint of light nuisance. In such circumstances, a suitably qualified person must monitor, interpret and record all parameters that are required to be monitored in order to determine whether or not the lighting levels listed within this Development Approval have been exceeded. The results of the investigation must be provided to Council within 28 days of the request or a longer period if specified in any such request.

***Note:*** *Before investigation by the operator is required, Council completes its own consultation and preliminary investigation to confirm if a complaint is valid.*

#### **STORMWATER QUALITY**

64. Contaminants or contaminated water must not be directly or indirectly released from the subject land or to the ground or groundwater at the subject land at any time except:

64.1 Following treatment using an appropriate stormwater quality improvement device (SQID) as uncontaminated overland stormwater flow;

64.2 Following treatment using an appropriate stormwater quality improvement device (SQID) as uncontaminated stormwater to the stormwater system; and

64.3 Contaminants released to the wastewater system under and in accordance with a trade waste permit issued by Council under the *Water Supply (Safety and Reliability) Act 2008*.

#### **WASTE MANAGEMENT (GENERAL)**

65. All waste generated on the subject land must be managed in accordance with the waste management hierarchy as detailed in the *Waste Reduction and Recycling Act 2011*.

66. Waste generated by the development must be managed, stored and removed from the subject land in accordance with Section 5.1 of the approved Site Based Environmental Management Plan listed within this Development Approval.

## WASTE MANAGEMENT (BIN PROVISION & STORAGE)

67. Refuse storage facilities must be provided generally in accordance with the Approved Plans listed within this Development Approval and the following:

67.1 The size, mix and capacity of bins provided must be sufficient to accommodate the type and level of waste likely to be generated from the development having regard to the frequency of disposal or collection; and

67.2 Bins must be kept in a clean state and in good repair and fitted with tight-fitting lid assemblies designed to prevent ingress of pests and water.

## WASTE MANAGEMENT (REMOVAL)

68. Unless otherwise endorsed by Council in a waste management plan, arrangements for waste removal are provided in accordance with the following requirements:

68.1 Disposal of waste generated must be undertaken in accordance with the *Environmental Protection Regulation 2019*;

68.2 General waste must be collected and removed at periods not exceeding seven (7) days;

68.3 Bins must be stored at their place of permanent storage other than times ahead of or during waste removal; and

68.4 The waste collection method must ensure that waste is adequately managed to prevent escape of contamination.

## STORAGE OF LIQUID CHEMICALS

69. All liquid chemicals (including flammable liquids, agricultural and veterinary chemicals, waste oil, acid and lube oil) must be stored within dedicated impervious secondary containment stores, structures or devices and in a manner that complies with *Australian Standards AS1940 – The storage and handling of flammable and combustible liquids* and *AS 2507 – The storage and Handling of Agricultural and Veterinary Chemicals*.

## GENERAL ADVICES

### INFRASTRUCTURE CHARGES

1) Infrastructure charges are levied by way of an Infrastructure Charges Notice, issued pursuant to Section 119 of the *Planning Act 2016*.

### OTHER LAWS & REQUIREMENTS

2) This Development Approval relates to development requiring approval under the *Planning Act 2016* only. It is the approval holder's responsibility to obtain any other necessary approvals, licenses or permits required under State and Federal legislation or Council local law, prior to carrying out the development. Information with respect to other Council approvals, licenses or permits may be found on the Toowoomba Regional Council website. For information about State and Federal requirements please consult with these agencies directly.

3) Carrying out works on a road or interfering with the road or its operation will require a permit under *Subordinate Local Law No. 1.15 (2020)*. The application form can be found on Council's website at [www.tr.qld.gov.au](http://www.tr.qld.gov.au). For further information contact the Road Operations Branch through Council's Customer Service Centre on 131 872.

4) The development has only been assessed in accordance with the provisions of the *Toowoomba Regional Planning Scheme 2012*. No assessment has been made in respect of the provisions of the *Building Code of Australia* and/or the *Queensland Development Code*.

**WHEN APPROVAL STARTS TO HAVE EFFECT**

- 5) This Development Approval starts to have effect in accordance with the provisions of Section 71 of the *Planning Act 2016*.

**WHEN APPROVAL LAPSES**

- 6) This Development Approval will lapse in accordance with the provisions contained in Sections 85 and 88 of the *Planning Act 2016*, unless otherwise stated elsewhere within this Development Approval.

**EXCAVATION & FILLING**

- 7) The *Toowoomba Regional Planning Scheme 2012 (TRPS)* declares excavation and filling activity involving less than 50m<sup>3</sup> of material and excavation and filling activity to a depth or height lower than 1m to be accepted development. Any combination of excavation or filling where 50m<sup>3</sup> or more of fill is deposited on, or 50m<sup>3</sup> or more of excavated material is removed from the premises and excavation or filling is not associated with 'Building Work' as defined under the *Planning Act 2016*, must obtain an Operational Work approval from Council before commencing site works.

**WASTEWATER TREATMENT & DISPOSAL SYSTEM**

- 8) The establishment of a wastewater treatment and disposal system for the subject land requires a Compliance Permit to be obtained from Council under the *Plumbing and Drainage Act 2018*. The system must be designed in accordance with the *Queensland Plumbing and Wastewater Code* (Department of State Development and Infrastructure & Planning, 2007) and the *Australian & New Zealand Standard AS/NZS1547 On-site domestic wastewater management*.

Please contact Council's Plumbing and Drainage team via the Customer Service Centre for further information in respect of a Compliance Permit. Where a development exceeds the accommodation or use of 21 or more equivalent persons an Environmental Authority from the Department of Environment and Science will also be required.

**EQUITABLE ACCESS & FACILITIES**

- 9) The plans for the proposed building work have NOT been assessed for compliance with the requirements of the *National Construction Code – Building Code of Australia (Volume 1)* as they relate to people with disabilities.

In addition to the requirements of the National Construction Code as they relate to people with disabilities, one or more of the following may impact on the proposed building work:

- 9.1 The *Disability Discrimination Act 1992 (Cth)*;  
9.2 The *Anti-Discrimination Act 1991 (Qld)*; and  
9.3 The *Disability (Access to Premises - Buildings) Standards*.

**ENVIRONMENTAL HARM**

- 10) The *Environmental Protection Act 1994 (EP Act)* states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm.

Environmental harm includes environmental nuisance. In this regard persons and entities involved in the civil, earthworks, construction and operational phases of this development are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm. Environmental harm is defined by the EP Act as any adverse effect, or potential adverse effect (whether temporary or permanent and of whatever magnitude, duration or frequency) on an environmental value, and includes environmental nuisance.

Therefore, no person should cause any interference with the environment or amenity of the area by reason of the emission of noise, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, wastewater, waste products, grit, sediment, oil or otherwise, or cause hazards likely in the opinion of the Administering Authority to cause undue disturbance or annoyance to persons or affect property not connected with the use.

#### ENVIRONMENTALLY RELEVANT ACTIVITIES

- 11) Should the premises, or any part of the premises, be used for an "Environmentally Relevant Activity" as defined under Schedule 2 the *Environmental Protection Regulation 2019*, separate approval is required by the relevant Administering Authority in accordance with the *Environmental Protection Act 1994* and where applicable the *Planning Act 2016* before such use commences.

#### WATER POLLUTION

- 12) In accordance with the *Environmental Protection Act 1994*, all sand, silt, mud, paint, cement, concrete, construction material and demolition material, and other such waste material must not be deposited or placed where it could reasonably be expected to travel into a roadside gutter, stormwater drain or watercourse. On the spot fines apply for such offences.

#### ABORIGINAL CULTURAL HERITAGE ACT 2003

- 13) There may be a requirement to establish a Cultural Heritage Management Plan and/or obtain approvals pursuant to the *Aboriginal Cultural Heritage Act 2003* ("ACH Act").

The ACH Act establishes a cultural heritage duty of care which provides that: "A person who carries out an activity must take all reasonable and practicable measures to ensure the activity does not harm Aboriginal cultural heritage." It is an offence to fail to comply with the duty of care. Substantial monetary penalties may apply to individuals or corporations breaching this duty of care. Injunctions may also be issued by the Land Court, and the Minister administering the ACH Act may also issue stop orders for an activity that is harming or is likely to harm Aboriginal cultural heritage or the cultural heritage value of Aboriginal cultural heritage.

You should contact the Department of Aboriginal and Torres Strait Islander Partnerships (DATSIP) Cultural Heritage Unit on 07 3247 6212 to discuss any obligations under the ACH Act.

#### FIRE ANTS

- 14) The State of Queensland has been declared a quarantine area for the Red Imported Fire Ant. Should this approval involve the movement of restricted items from areas of known infestation the provisions of the *Biosecurity Act 2014* apply, compliance with statutory provisions must be achieved.

#### REASONS FOR RECOMMENDATION

The change application has been assessed with regard to the applicable assessment framework as identified within this report. The proposed changes are considered to be generally acceptable. It is therefore recommended that the development approval be changed as identified above.

A Statement of Reasons is not required to be published for a minor change application, in accordance with Section 83(8) of the *Planning Act 2016*.

**DELEGATE'S DECISION:**

I have reviewed the report for this application in accordance with the Relevant Instruments, Statutory and Non-Statutory Provisions and in accordance with Council's process and procedures. I agree with the responsible officer's recommendation that the request be Approved subject to the Conditions contained in the recommendation. I exercise delegation in accordance with the delegations adopted by the Toowoomba Regional Council.



Richard Green  
Lead Senior Planner, Planning Branch

Decision Date: 30 June 2026

## CORPORATE PLAN REFERENCE

### Strategic Action 2.3.3

Ensure development aligns with community sentiment, through effective and efficient assessment, with the planning scheme, planning instruments, codes and legislation.

## BACKGROUND

SITE DETAILS				
Site Address	2329 Millmerran-Cecil Plains Road, KURROWAH QLD 4357			
Real Property Description	Lot 2 RP51323, Lot 10 SP343587, Emt A SP343587			
Site Area	736.543 ha			
Owner	DHP Poultry Property Company Pty Ltd			
SITE CHARACTERISTICS				
Current Land Use	Intensive Animal Industry			
Site Frontage/s	Millmerran Cecil Plains Road			
Road/s	Order of Road	Width of Road Reserve	Width of Pavement	Road Material
Millmerran Cecil Plains Road	Regional Arterial	80m	5m	Bitumen
Easements	Emt A on SP343587			
Existing Structures	Existing Intensive Animal Industry Sheds			
Infrastructure	The site does not feature any connections to Council's reticulated networks.			
Topography	The site is relatively flat and has been subject to limited earthworks to establish the existing structures.			
Street Trees	No street trees will be disturbed.			
PLANNING SCHEME SITE DATA				
Current Planning Scheme	Toowoomba Regional Planning Scheme 2012 (Version 28)			Adopted: 28 November 2022
Zone	Rural Zone			
Precinct	200 ha Precinct			
Overlays	Environmental Significance Overlay <ul style="list-style-type: none"> <li>- Areas of Ecological Significance Buffer</li> <li>- Areas of Ecological Significance</li> </ul> Agricultural Land Overlay <ul style="list-style-type: none"> <li>- Agricultural Land</li> </ul> Flood Hazard Overlay <ul style="list-style-type: none"> <li>- Balance Mixed</li> <li>- Low Flood Risk</li> <li>- Vulnerable Uses Restriction Area</li> <li>- Flood Plain Area</li> </ul>			
Infrastructure Charges Resolution	Charges Resolution No. 7			Adopted: 19 August 2025
SURROUNDS:				
Direction	Land Use	Zone/Precinct		
North	Rural	Rural Zone		
East	Rural	Rural Zone		
South	Rural & Intensive Animal Industry	Rural Zone		
West	Rural & Intensive Animal Industry	Rural Zone		

<b>APPLICATION HISTORY</b>			
<b>Application No.</b>	<b>Description</b>	<b>Decision Date</b>	<b>Decision</b>
MCUI/2003/3510	Intensive Animal Industry (100,000 Birds)	18 June 2003	Approved
MCUI/2003/3510/A	Request to Change Approval	6 March 2015	Withdrawn
3038.99:00	Intensive Poultry Rearing Sheds	21 July 1999	Approved
3675/04.05	Extension to Poultry Rearing Shed Approval	21 April 2005	Approved
RAL/2023/2474	Reconfiguring a Lot Two (2) Lots into Two (2) Lots	17 July 2023	Approved
MCUI/2015/542	Intensive Animal Industry	31 July 2015	Approved
MCUI/2015/542/A	Request for Negotiated Decision Notice	13 October 2015	Approved

<b>APPROVED DEVELOPMENT</b>		
<b>Type of Approval</b>	Development Permit	
<b>Approved Development</b>	Increase Existing Poultry Shed Capacity and introduce two (2) new Poultry Sheds	
<b>Variations Sought</b>	Not applicable	
<b>Level of Assessment</b>	Impact	
<b>Submissions Received</b>	Objection:	One (1) submission (Original Approval)
	Support:	N/A
<b>Decision Notice Issued</b>	20 April 2005 (Original Approval)	

<b>CHANGE APPLICATION</b>	
<b>Applicant Name</b>	DHP Poultry Property Company Pty Ltd
<b>Type of Application</b>	Change Application
<b>Type of Change</b>	Minor Change
<b>Public Notification</b>	Not required for a Minor Change
<b>Application Received</b>	22 August 2025

## CONSULTATION UNDERTAKEN

### Internal Referrals

<b>Internal Referral Partner</b>	<b>Referral / Response</b>
Development Engineering and Plumbing	Recommended requested changes be Approved subject to conditions
Development Services Environmental	Recommended requested changes be Approved subject to conditions
Infrastructure Charges Unit	Recommended requested changes be Approved.

### Public Notification

Public notification was carried out for the original application. During the notification period, one (1) submission was accepted by the assessment manager and considered during the assessment of the application. This submission has been considered to the extent relevant to the proposed changes as per the assessment within this report.

## ISSUES, RISKS AND RESPONSES – ASSESSMENT

### Assessment Framework

Section 81 of the *Planning Act 2016* establishes the following parameters in relation to the assessment of change applications for minor changes:

- (2) *In assessing the change application, the responsible entity must consider—*
  - (a) *the information the applicant included with the application; and*
  - (b) *if the responsible entity is the assessment manager—any properly made submissions about the development application or another change application that was approved; and*
  - (c) *any pre-request response notice or response notice given in relation to the change application; and*
  - (d) *if the responsible entity is, under section 78A(3), the Minister—all matters the Minister would or may assess against or have regard to, if the change application were a development application called in by the Minister; and*
  - (da) *if paragraph (d) does not apply—all matters the responsible entity would or may assess against or have regard to, if the change application were a development application; and*
  - (e) *another matter that the responsible entity considers relevant.*
- (3) *Subsections (4) and (5) apply if the responsible entity must, in assessing the change application under subsection (2)(d) or (da), consider—*
  - (a) *a statutory instrument; or*
  - (b) *another document applied, adopted or incorporated (with or without changes) in a statutory instrument.*
- (4) *The responsible entity must consider the statutory instrument, or other document, as in effect when the development application for the development approval was properly made.*
- (5) *However, the responsible entity may give the weight the responsible entity considers is appropriate, in the circumstances, to—*
  - (a) *the statutory instrument or other document as in effect when the change application was made; or*
  - (b) *if the statutory instrument or other document is amended or replaced after the change application is made but before it is decided—the amended or replacement instrument or document; or*
  - (c) *another statutory instrument—*
    - (i) *that comes into effect after the change application is made but before it is decided; and*
    - (ii) *that the responsible entity would have been required to consider if the instrument had been in effect when the development application for the development approval was properly made.*

### **Assessment of Proposed Changes – Change to Conditions of the Development Approval**

Changes to the conditions of approval have been proposed by the applicant. The following table identifies the proposed changes, the relevant representations made by the applicant, and the officer's assessment of the proposed changes.

## Assessment of Proposed Changes – Change to Conditions of the Development Approval

No.	Original Condition	Proposed Amended Condition	Relevant Representation	Officer's Assessment	Condition to be Recommended
1.	That the applicant obtain all necessary approvals and permits prior to the commencement of any work which may be required under any Acts, Regulations or Local Laws and further, that the applicant comply with the provisions of all other relevant Acts, Regulations and Local Laws and the provisions of the Town Planning Scheme for the whole of the Shire of Millmerran for the purpose required in the zone in which the land is situated.	-	The applicant made no representations regarding this condition.	Condition 1 is recommended for deletion.  Condition 1 was imposed as part of the original 2004 approval and is not fit for purpose under the current Planning Scheme and environmental regulations. As part of this change request, a number of original conditions including Condition 1 which are no longer required/relevant have been deleted in favour of a modern condition set.	<del>That the applicant obtain all necessary approvals and permits prior to the commencement of any work which may be required under any Acts, Regulations or Local Laws and further, that the applicant comply with the provisions of all other relevant Acts, Regulations and Local Laws and the provisions of the Town Planning Scheme for the whole of the Shire of Millmerran for the purpose required in the zone in which the land is situated.</del>
2.	That the permit shall lapse at the expiration of four years unless the development has been substantially commenced.	-	The applicant made no representations regarding this condition.	Condition 2 is recommended for deletion.  Condition 2 was imposed as part of the original 2004 approval and is not fit for purpose under the current Planning Scheme and environmental regulations. As part of this change request, a number of original conditions including Condition 2 which are no longer required/relevant have been deleted in favour of a modern condition set.	<del>That the permit shall lapse at the expiration of four years unless the development has been substantially commenced.</del>
3.	An authorised person within the meaning of that term as contained in the Local Government Act 1993, as amended, may enter upon the land the subject of this consent for the purpose of ascertaining whether the conditions of this consent have been or are being complied with or to inspect work carried out under the terms of this consent at any time between the hours of 5.00am and 10.00pm on any day during the period of the consent.	-	The applicant made no representations regarding this condition.	Condition 3 is recommended for deletion.  Condition 3 was imposed as part of the original 2004 approval and is not fit for purpose under the current Planning Scheme and environmental regulations. As part of this change request, a number of original conditions including Condition 3 which are no longer required/relevant have been deleted in favour of a modern condition set.	<del>An authorised person within the meaning of that term as contained in the Local Government Act 1993, as amended, may enter upon the land the subject of this consent for the purpose of ascertaining whether the conditions of this consent have been or are being complied with or to inspect work carried out under the terms of this consent at any time between the hours of 5.00am and 10.00pm on any day during the period of the consent.</del>
4.	That the applicant complies with all concurrence conditions as required by the Main Roads Department.	-	The applicant made no representations regarding this condition.	Condition 4 is recommended for deletion.  Condition 4 was imposed as part of the original 2004 approval and is not fit for purpose under the current Planning Scheme and environmental regulations. As part of this change request, a number of original conditions including Condition 4 which are no longer required/relevant have been deleted in favour of a modern condition set.	<del>That the applicant complies with all concurrence conditions as required by the Main Roads Department.</del>
5-70	A number of new conditions have been added in order to clarify the	-	-	-	Conditions 5 through 70 have been

<p>approved use, allow for greater parameters of approval, and to impose requirements that are relevant to the approved development. The original approval lacked the level of detail that is provided with a modern Approval under the current planning scheme and environmental regulations. As such the original approval lacked certainty about what was approved and failed to impose proper requirements and conditions on the development.</p> <p>As such, additional conditions of approval being Conditions 5–69 have been imposed to reflect the high intensity nature of the site and to ensure that the outcomes sought by the planning scheme for such a development are achieved. It should be noted that the revised condition set maintains the existing rights authorised under the existing approvals to the extent of the current established built form (e.g. shed structures, infrastructure) and site capacity, whilst ensuring the site operations including proposed new sheds and infrastructure complies with current requirements of the planning scheme and regulations.</p>				<p>added to the approval to reflect the proposed changes and the current state of the site, as well as regulating additional development that has been approved since the 2005 approval on the site under current regulations and planning scheme requirements.</p>
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## FINANCIAL / RESOURCE IMPLICATIONS

There is no financial or resource implication associated with this decision.

A revised infrastructure charges notice will be issued for the development in conjunction with a decision regarding the change application.

## Human Rights Act 2019 CONSIDERATIONS

The *Human Rights Act 2019* provides that it is unlawful for a public agency to act or make a decision in a way that is not compatible with human rights, or to fail to give proper consideration to a human right. This necessitates understanding the human rights that are protected. When making decisions or taking actions, consideration needs to be given to how that may impact on a person's human rights. Where there is a restriction on a person's human rights the restriction must be no greater than is justifiable to protect the rights of others or the community at large.

In assessing this application consideration has been given to the following sections of the *Human Rights Act 2019*:

Section 15 – Recognition and equality before the law  
Section 24 – Property rights

It is the opinion of the decision maker that no human rights have been limited.

## CONCLUSION

The change application has been assessed with regard to the applicable assessment framework as identified within this report. The proposed changes are considered to be generally acceptable. It is therefore recommended that the development approval be changed as identified above.

A Statement of Reasons is not required to be published for a minor change application, in accordance with Section 83(8) of the *Planning Act 2016*.

## ATTACHMENT/S

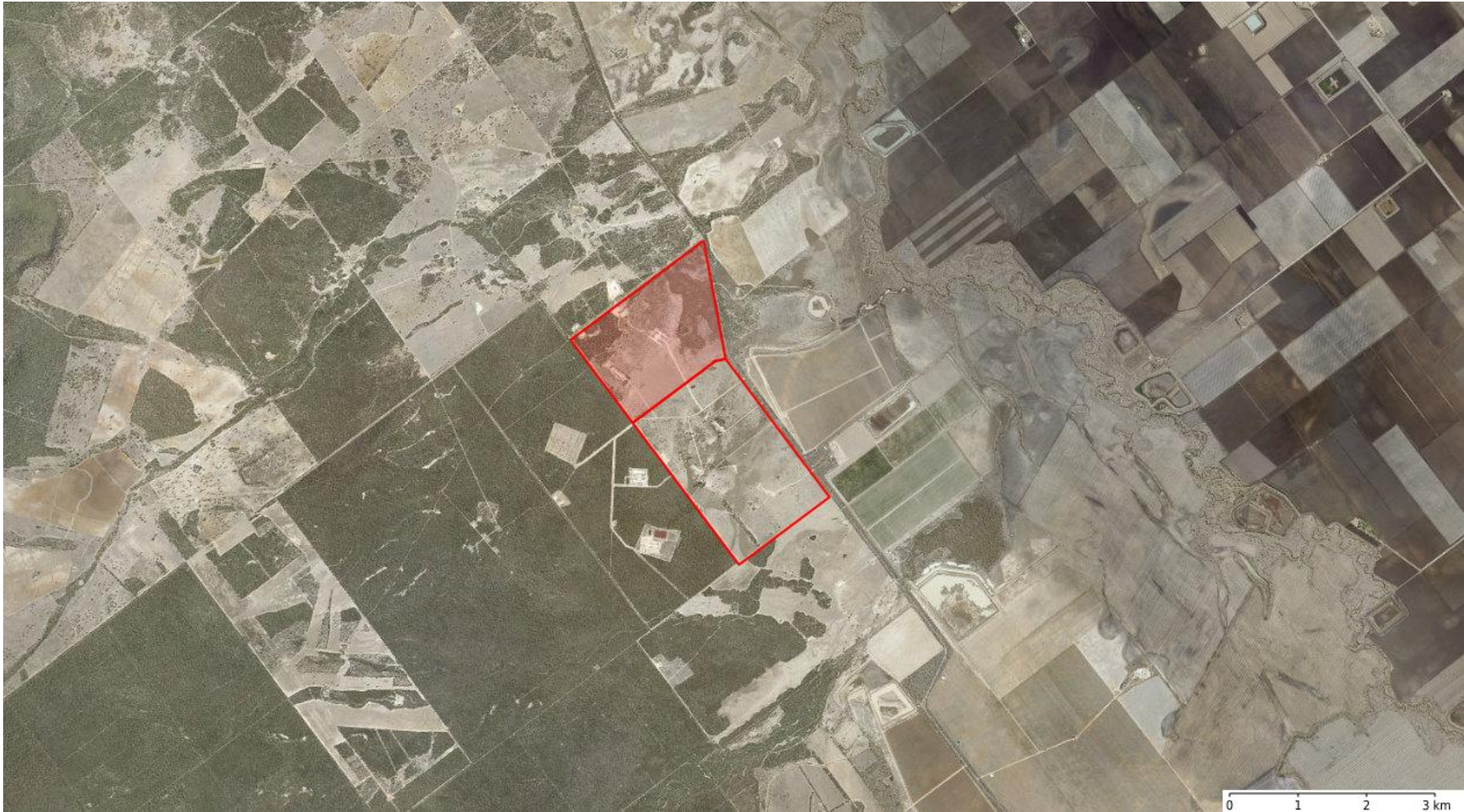
Attachment	1	of	4	Aerial Imagery
Attachment	2	of	4	Zoning Map
Attachment	3	of	4	Overlay Map
Attachment	4	of	4	Proposed Plans

## SCHEDULES

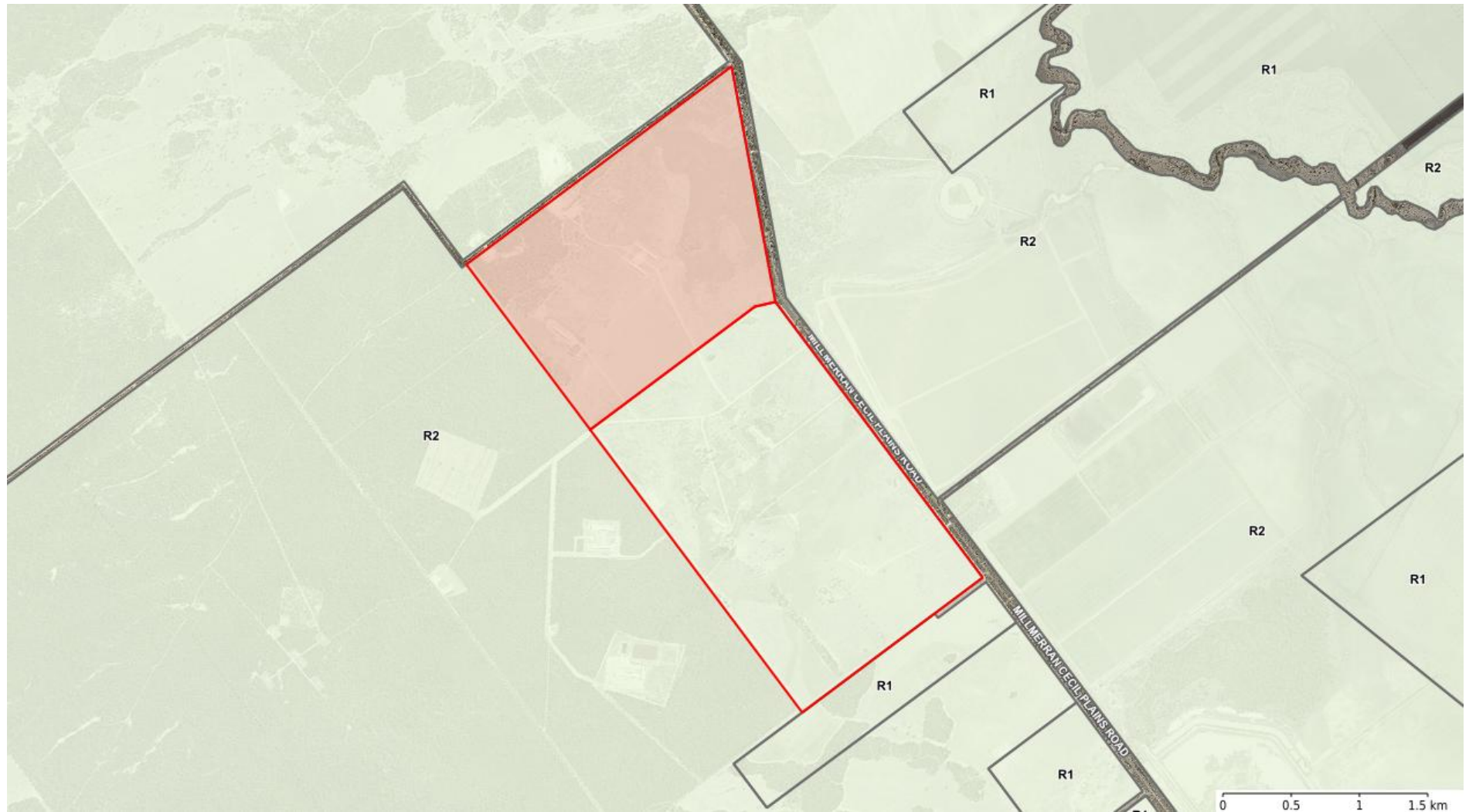
Nil

**ATTACHMENTS**

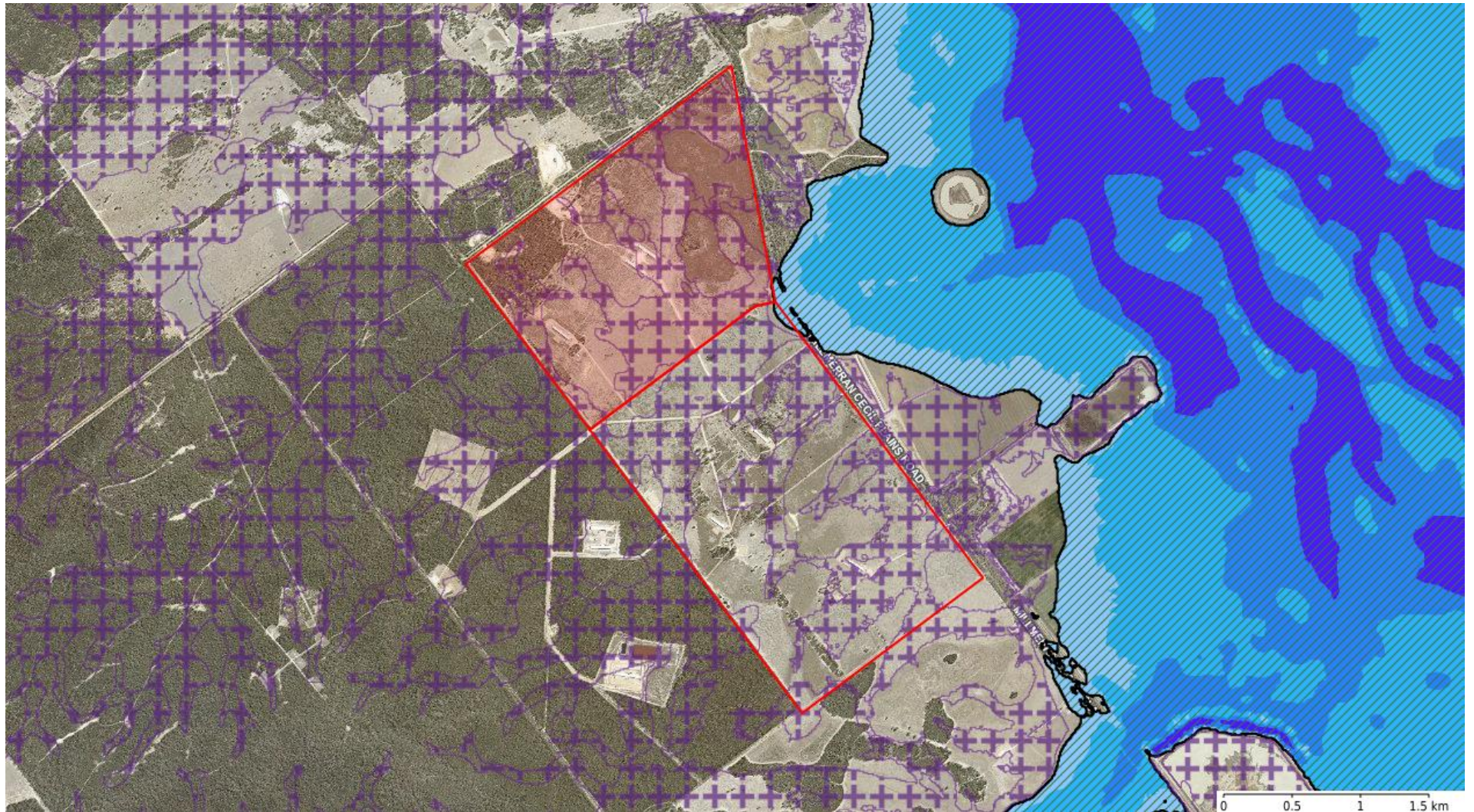
**Attachment 1 of 4 — Aerial Imagery**



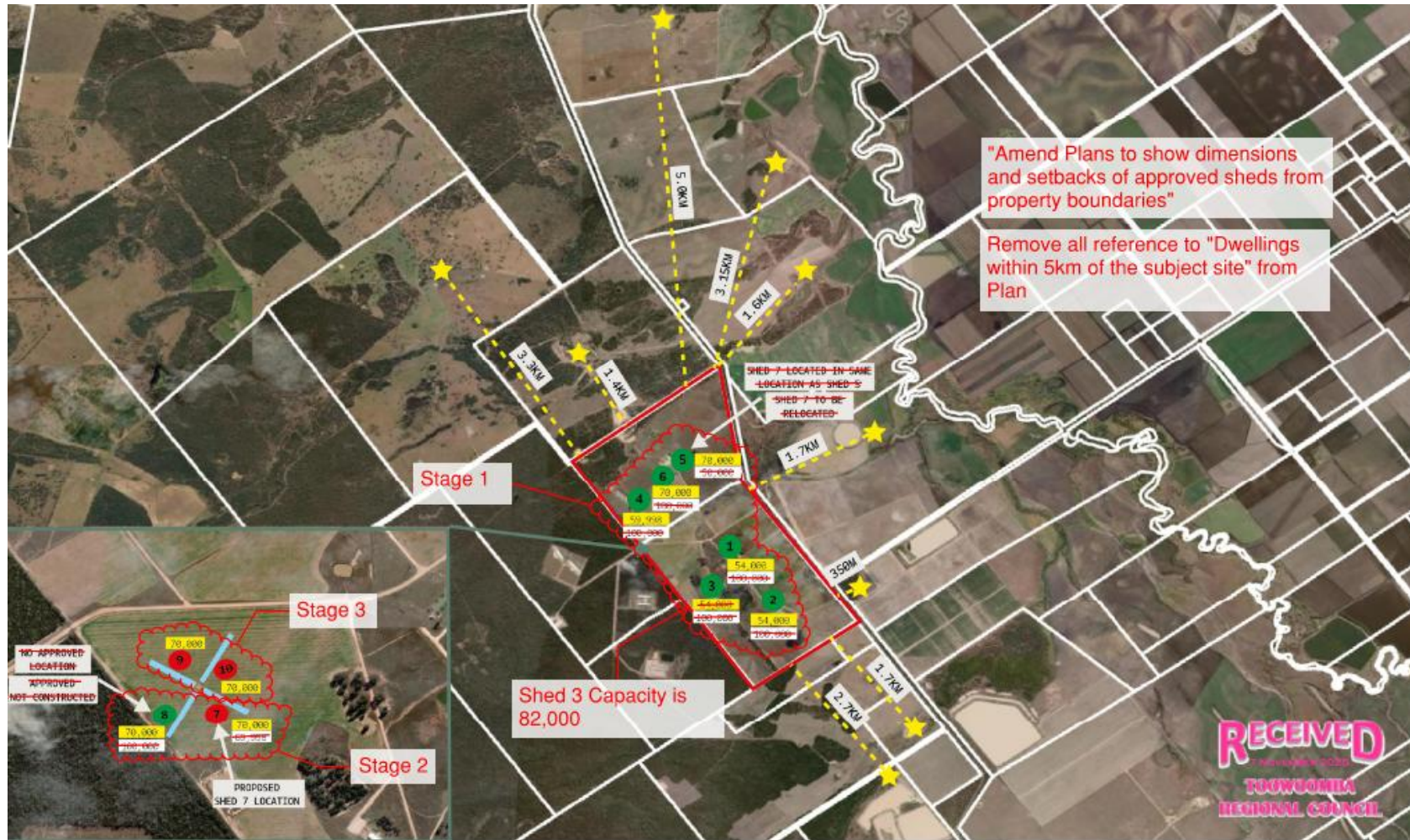
Attachment 2 of 4 — Zoning Map



Attachment 3 of 4 — Overlay Map



Attachment 4 of 4 — Proposed Plans



LEGEND:

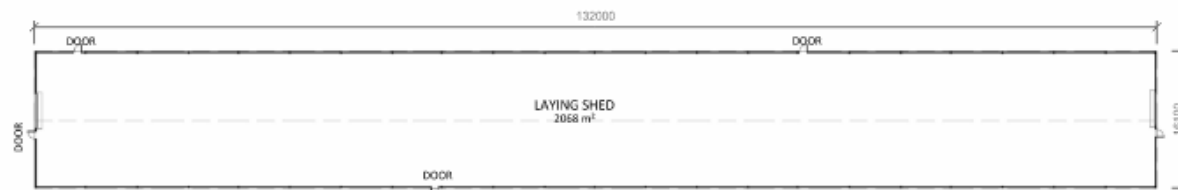
- SUBJECT SITE - LOT 2 ON RP51323 AND PART OF LOT 10 ON SP343587
- EXISTING SHED
- PROPOSED CAPACITY
- ★ DWELLINGS WITHIN 5KM OF THE SUBJECT SITE
- NEW SHED / INCREASE IN CAPACITY
- APPROVED CAPACITY

Plan No:	J00993_2025_10_22
Plan Name:	Site Plan



SCALE: NTS SOURCE: OLD GLOBE  
 THE CONTENT OF THIS DOCUMENT INCLUDES THIRD PARTY DATA. PROPERTY PROJECTS AUSTRALIA PTY LTD DOES NOT GUARANTEE THE ACCURACY OF SUCH DATA.





1 Proposed Floor Plan  
1 : 500

GFA AREA TABLE

BUILDING GFA	2125 m <sup>2</sup>
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ELLERSLIE FARMS | LBD 25-0404  
MILLMERRAN CECIL PLAINS RD, KURROWAH | SULLIVANS FARM

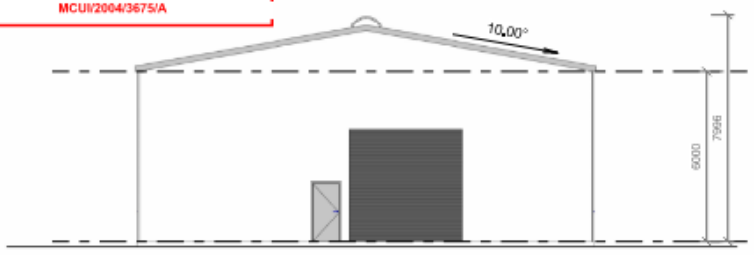
10 ~~SHED FLOOR PLAN~~ Shed 7, 8, 9, & 10 Floor Plan  
19/08/25 | DA APPROVAL | A

Wind Rating N3 Scale 1 : 500 A3  
Scale Bar 1:100 0 2 4m

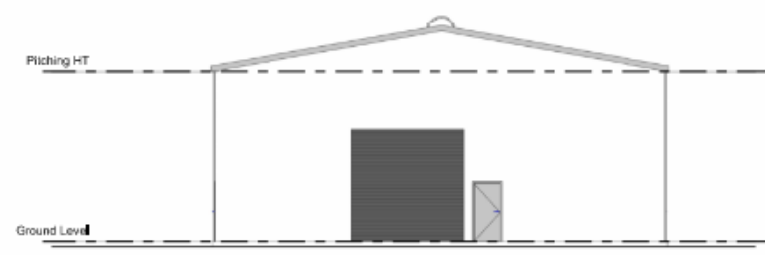
**TOOWOOMBA REGIONAL COUNCIL**  
**AMENDED PLAN**  
**REQUIRED TO BE SUBMITTED FOR**  
**APPROVAL**  
 Refer to Condition Number(s)  
 Condition 10 & Condition 11  
 referred to in Council's Decision Notice dated  
 InsertDate  
 This plan is subject to conditions of Approval Number  
 MCUI/2004/3675/A



**1 NORTH ELEVATION**  
1 : 400



**3 EAST ELEVATION.**  
1 : 150



**2 WEST ELEVATION.**  
1 : 150



**4 SOUTH ELEVATION**  
1 : 400



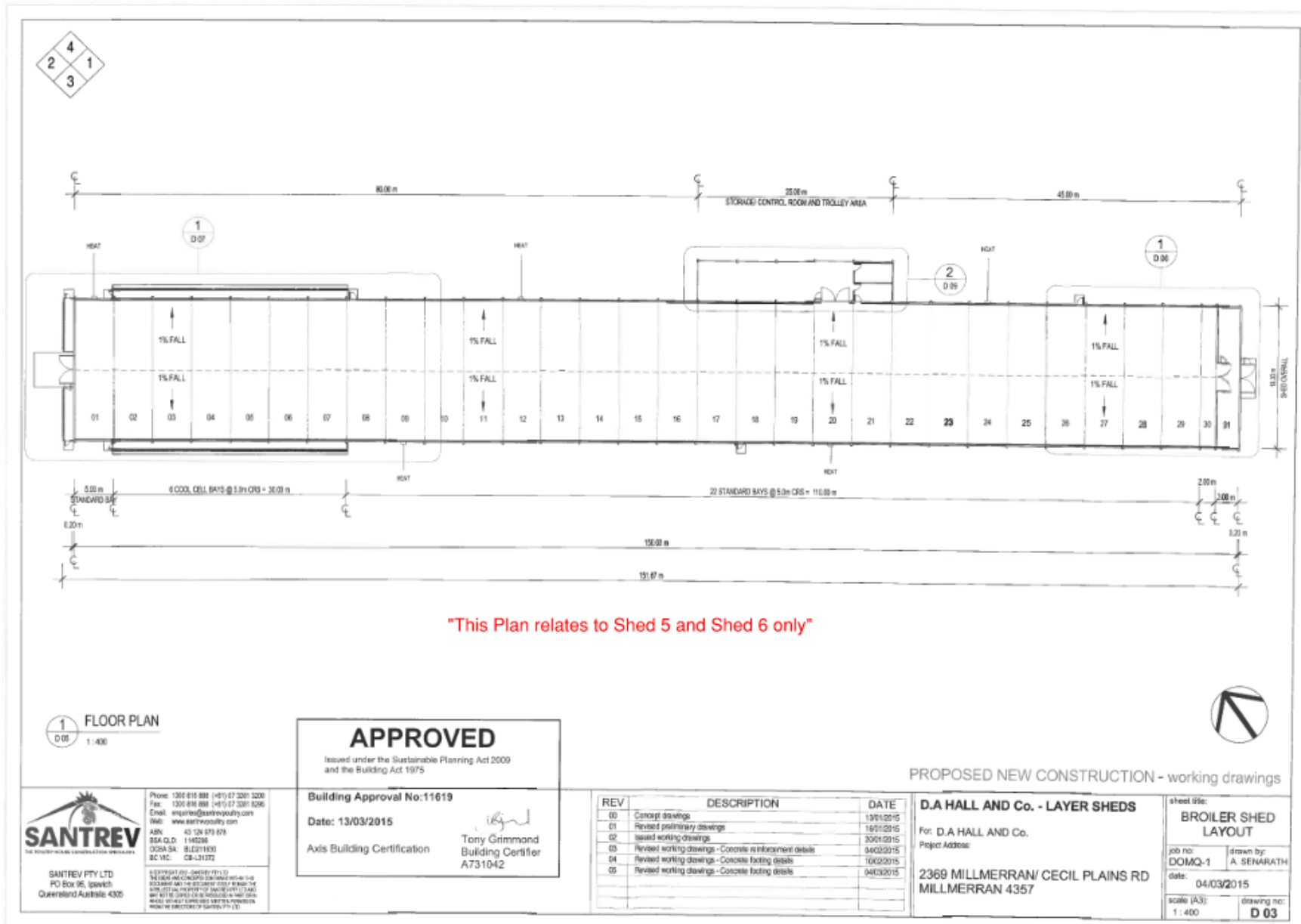
**LANGTON BUILDING DESIGN**  
 EATIE LANGTON  
 0401 072 937

ELLERSLIE FARMS  
 MILLMERRAN CECIL PLAINS RD, KURROWAH

LBD 25-0404  
 SULLIVANS FARM

20 ~~SHEDELEVATIONS~~ Shed 7, 8, 9, & 10 Elevations  
 19/08/25 | DA APPROVAL | A

Wind Rating N3 S<sub>1</sub> As Indicated A3  
 Scale Bar 1:100  
 0 2 4 m



"This Plan relates to Shed 5 and Shed 6 only"

1 FLOOR PLAN  
D01 1:400

**APPROVED**  
Issued under the Sustainable Planning Act 2009  
and the Building Act 1975

Building Approval No:11619  
Date: 13/03/2015  
Axis Building Certification

*Tony Grimmond*  
Tony Grimmond  
Building Certifier  
A731042

PROPOSED NEW CONSTRUCTION - working drawings

**SANTREV**  
THE RIVERMILL ENGINEERING CONSULTANTS

SANTREV PTY LTD  
PO Box 96, Ipswich  
Queensland Australia 4305

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BSA QLD: 1148296  
DCA SA: 81021153  
BC WC: CB-21372

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Building Approval No:11619  
Date: 13/03/2015  
Axis Building Certification

*Tony Grimmond*  
Tony Grimmond  
Building Certifier  
A731042

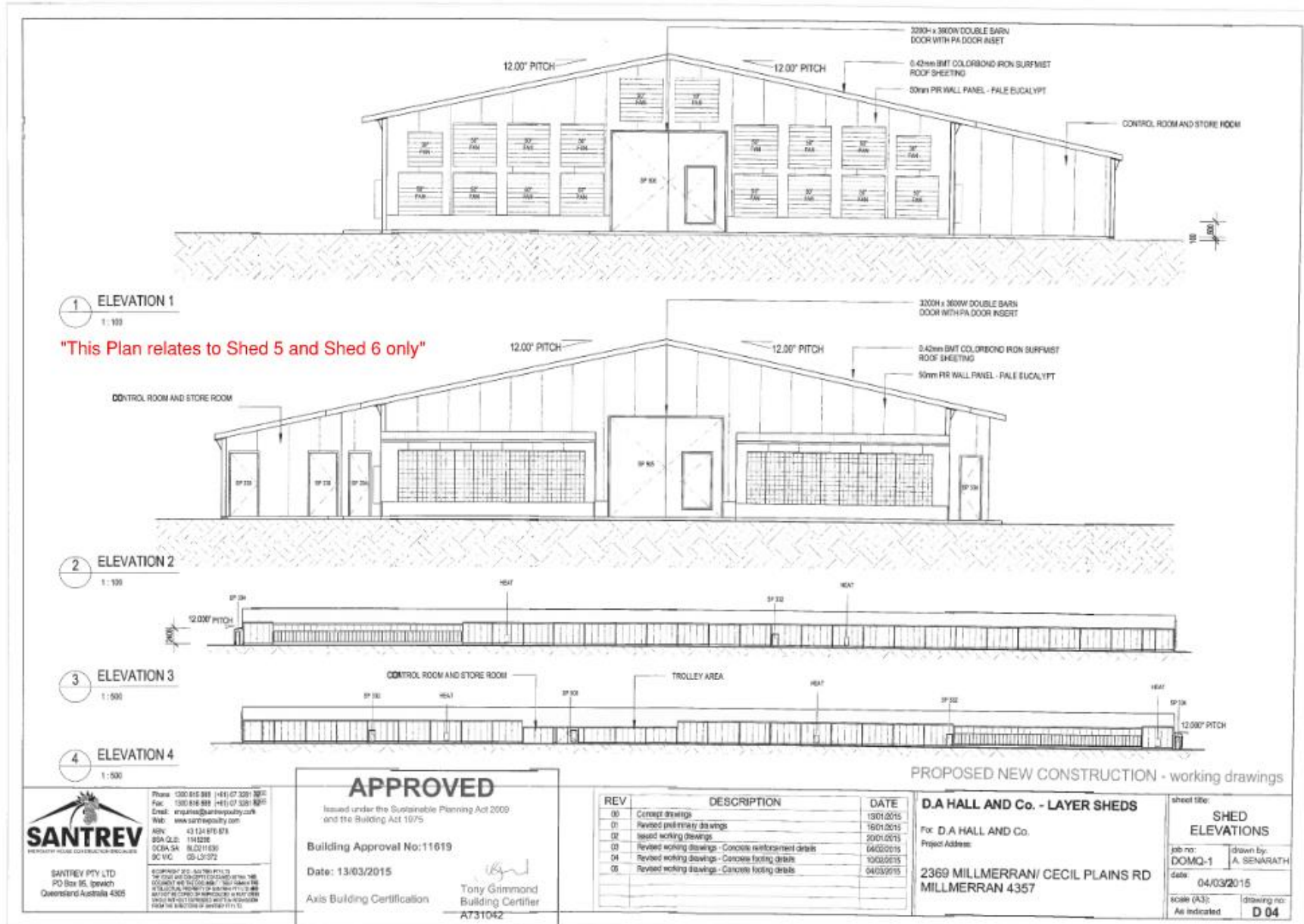
REV	DESCRIPTION	DATE
00	Concept drawings	13/01/2015
01	Revised preliminary drawings	18/01/2015
02	Issued working drawings	20/01/2015
03	Revised working drawings - Concrete rebar details	04/02/2015
04	Revised working drawings - Concrete footing details	10/02/2015
05	Revised working drawings - Concrete footing details	04/03/2015

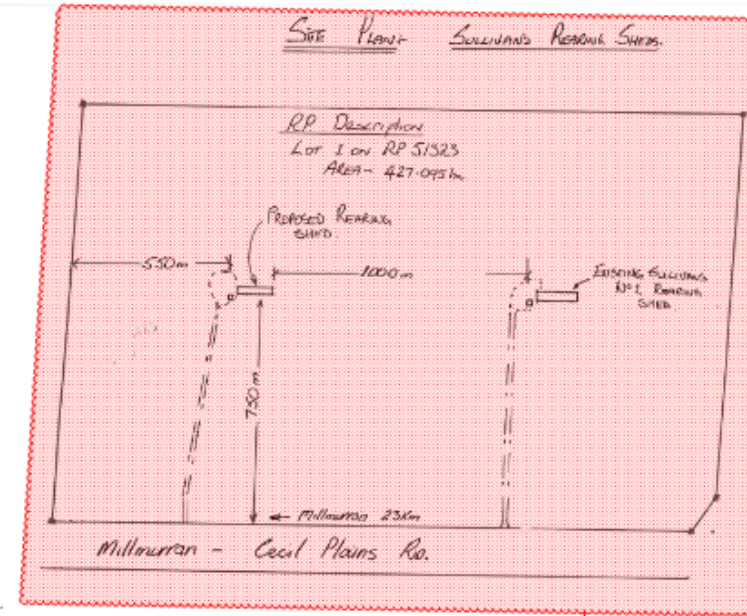
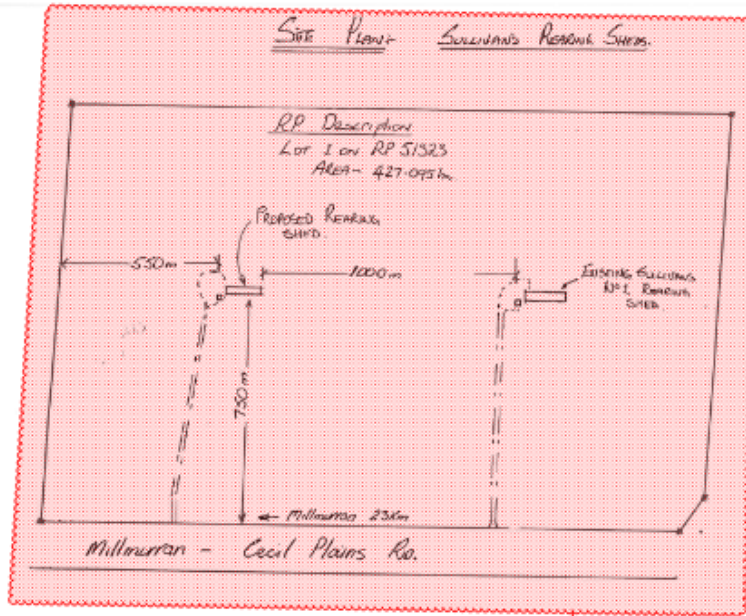
**D.A HALL AND Co. - LAYER SHEDS**  
For: D.A HALL AND Co.  
Project Address:  
2369 MILLMERRAN/ CECIL PLAINS RD  
MILLMERRAN 4357

sheet title:  
**BROILER SHED LAYOUT**

job no: DOMQ-1  
date: 04/03/2015  
scale (A3): 1:400  
drawing no: D 03

drawn by: A. SENARATH





Plan Name: Shed 1, 2, and 3 Floor Plan

Does not form part of this approval.

**TODOWOMBA REGIONAL COUNCIL**  
AMENDED PLAN  
REQUIRED TO BE SUBMITTED FOR APPROVAL  
Refer to Council's Handbook  
Conditions 10 & Condition 11  
Refer to Council's Decision Notice sheet  
10/00000000  
This plan is subject to conditions of approval/condition

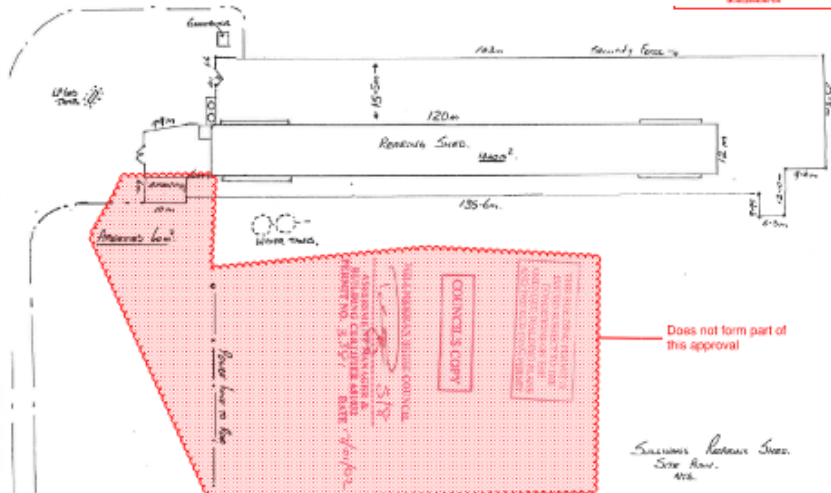
"This Plan relates to Sheds 1, 2, and 3 only"

Plan Name: Shed 1, 2, and 3 Floor Plan

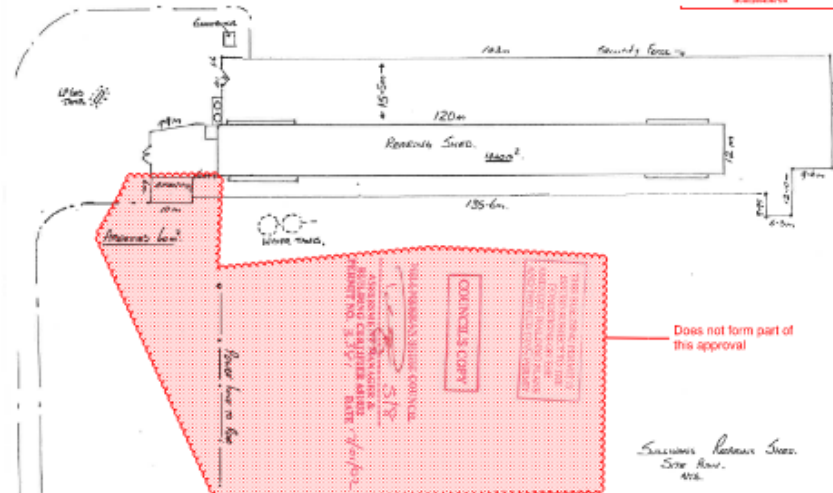
Does not form part of this approval.

**TODOWOMBA REGIONAL COUNCIL**  
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