



Toowoomba Regional Council

Water and Waste Services Group

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Town Planning Report

Grapetree Road (10/SP106682)

Grapetree QLD

Development Permit for a Material Change of Use for a
Utility Installation (Water Reservoir – R10010 and
associated infrastructure)

Impact Assessment

Prepared by Water and Waste Group

Prepared for Toowoomba Regional Council

27 July 2026

1.0 Executive Summary

This report has been prepared on behalf of Toowoomba Regional Council (“the applicant”) in support of a development application lodged over land located at on Grapetree Road described in the Council system as Thompson Road, Grapetree QLD 4352 (Lot 10/SP106682) (“subject site”) for a Development Permit for a Material Change of Use for a Utility Installation (Water Reservoir – R10010 and associated infrastructure) (“proposed development”).

The development application seeks approval to establish a new reinforced concrete 700kL Water Reservoir over the subject site. Upon commissioning of the new reservoir an existing water reservoir on Lot 3 RP117988 Grapetree Road PECHEY QLD 4352 will be decommissioned and disposed.

The proposed development involves:

- Installation of a new 700kL reservoir and associated site works;
- A mesh security fence with secure front gate;
- Installation/reuse of a stormwater runoff and management system for the site;
- Constructing an all-weather driveway.

The proposed development will be established and operated by Toowoomba Regional Council and will provide an improved water supply (quality and quantity) for the township of Crows Nest and meet fire flow demands of a bushfire prone region. The proposed development is required due to increased demand being placed on the existing reservoir due to continued regional growth and addressing deficiencies of fire fighting storage requirements.

The proposed development is a project identified within the Local Government Infrastructure Plan (LGIP). The reference for this infrastructure is R10010 and is shown within Table 7 of Water Supply Network Extrinsic Material Report of Local Government Infrastructure Plan.

The development application is subject to Impact Assessment as the Utility Installation involves bulk storage of water.

The development application does not trigger referral to any concurrence or advice agencies.

The key considerations of this development application which have been assessed as part of this town planning report include:

- Suitability of the Proposed Land Use – the proposed development involves the establishment of a water reservoir. The reservoir will provide water to the township of Crows Nest with improved water supply infrastructure for consumption and firefighting storage. The infrastructure is necessary to facilitate the planning intent of the Toowoomba Regional Planning Scheme, being to promote urban development within the locality and to this end, is identified under the Local Government Infrastructure Plan.
- Design Requirements – the proposed development is required to be located at the higher point of the local landscape to achieve functional design. The reservoir replaces the existing reservoir currently located on Lot 3 RP117988 and it will have a maximum height of 5m. It should be noted that 5m is substantially less than the height of 10.5m (rural zone code, rural character, AO 7.1) which is the accepted building height for the locality. To this end, it is considered that, with the imposition of standard design conditions (lighting, landscaping and fencing), the proposed development can be established without an unreasonable impact on visual amenity within the surrounding area.

Commented [SS1]: Check validity

Commented [SS2R1]: Based on rural character AO 7.1 (pg204 of zone codes) Building height (other than silos, windmills and ag-infra) should not exceed 10.5m in height above natural ground level.

The proposed development is considered to be generally consistent with the requirements of the Toowoomba Regional Planning Scheme 2012 (“planning scheme”) or can be conditioned to comply. Therefore, it is requested that the development application be approved subject to the reasonable and relevant conditions.

2.0 Site Details and Summary of Application

Table 1: Site Details

SITE DETAILS		
Site Address	Thompson Road, Grapetree QLD 4352	
Real Property Description	Lot 10/SP106682	
Site Area	2223m ²	
Owner	Toowoomba Regional Council	
SITE CHARACTERISTICS		
Current Land Use	Vacant	
Site Frontage/s	Currently unconstructed road frontage from Grapetree Rd south. Concept design include all weather road construction to accommodate MRV.	
Easements	Not applicable. Easement exist on site for water infrastructure that are not impacted.	
Existing Structures	None currently. Ancillary fencing and power infrastructure is included in design.	
Infrastructure	Various Council water infrastructure and easements	
Street Trees	Not applicable	
Other Features	Not applicable	
PLANNING SCHEME SITE DATA		
Current Planning Scheme	Toowoomba Regional Planning Scheme 2012 (Version 28)	Adopted: 28/11/2022
Zone	Rural Zone	
Precinct	100 ha minimum Precinct	
Overlays	• Agricultural land • Flood hazard • Water resource catchment	
Infrastructure Charges Resolution	Charges Resolution No. 6	Adopted: 10/12/2024
SURROUNDS:		
Direction	Land Use	Zone/Precinct

North	Rural Use	Rural Zone/ 100ha minimum Precinct
East	Rural Use	Rural Zone/ 100ha minimum Precinct
South	State Conservation Forest	State Govt Conservation and Forestry Precinct
West	Rural Use	Rural Zone/ 100ha minimum Precinct

Table 2: Site History

APPLICATION HISTORY			
Application No.	Description	Decision Date	Decision
Not applicable			

Table 3: Development Details

PROPOSED DEVELOPMENT	
Name of Applicant	Toowoomba Regional Council
Type of Application	Development Permit for a Material Change of Use
Proposed Development	Utility Installation (Water Reservoir)
Variations Sought	Not applicable
Level of Assessment	Impact
Gross Floor Area	The Utility Installation (Water Reservoir) is considered to be plant for the purposes of distributing water. It is not considered to be GFA as per item (a) of the GFA definition in Schedule 1 of the Planning Scheme.
Service Vehicle Provision	MRV access to site
Referral Agencies	Not applicable
State Planning Policy	• Category X on the regulated vegetation management map • Bushfire prone area – Potential impact buffer • Priority Agricultural Area (PAA) - Agricultural land classification - class A and B • Climatic regions - stormwater management design objectives • Water resource catchments
Regional Plan Designations	Darling Down Regional Plan

Planning Scheme	<u>Relevant Parts</u> Part 3 Strategic Framework <u>Development Codes</u> 9.4.2 Environmental Standards Code 9.4.3 Integrated Water Cycle Management Code 9.4.4 Landscaping Code 9.4.6 Transport, Access and Parking Code 9.4.7 Works and Services Code
Zone	<u>Zones</u> 6.6.6 Rural Zone Code
Overlays	<u>Overlays</u> 8.2.3 Flood Hazard Overlay Code 8.6.2 Agricultural Land Overlay Code 8.6.3 Water Resource Catchments Overlay Code
LGIP	The works are identified as R10010 in the LGIP Schedule of Works.



Figure 1- Aerial Photograph
(source – IntraMaps)

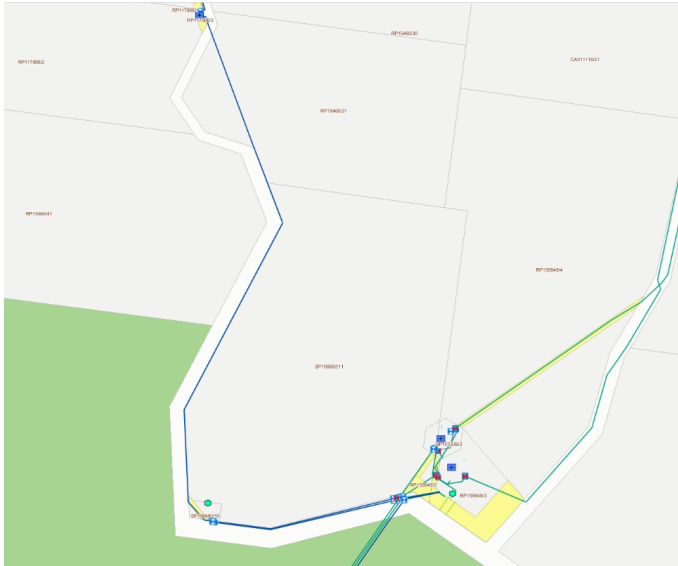


Figure 2- Cadastral Plan
(source – IntraMaps)

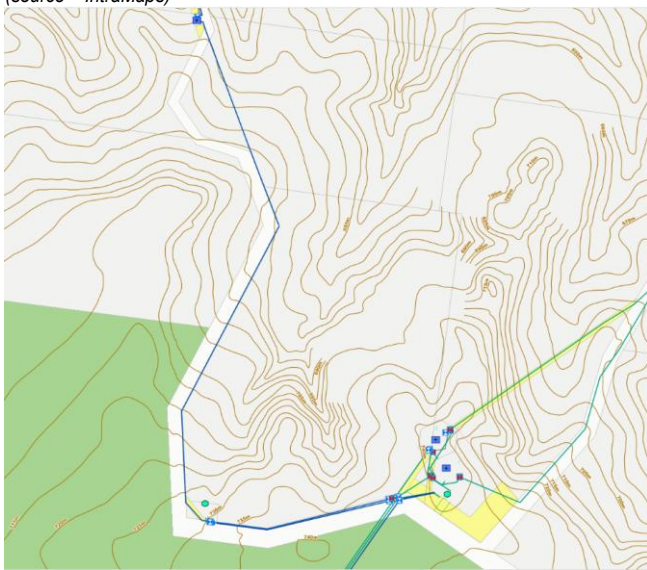


Figure 3- Contour Plan
(source – IntraMaps)

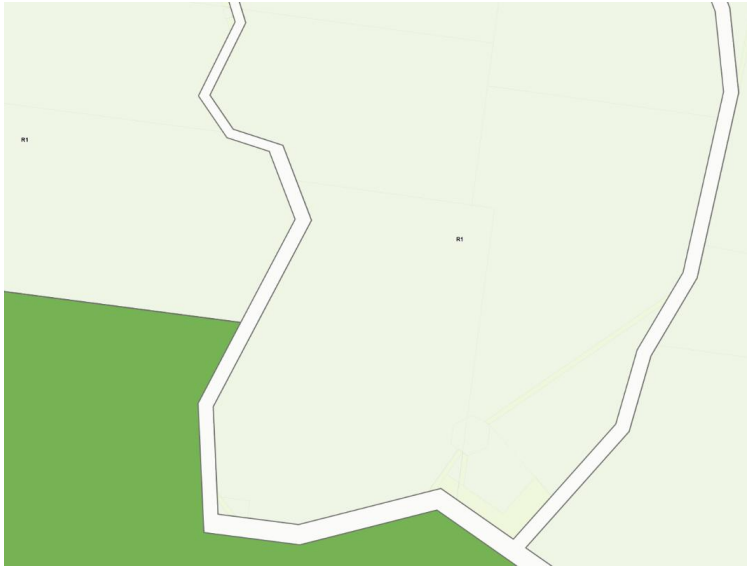


Figure 4- Zoning Plan
(source – IntraMaps)

3.0 Proposed Development

The development application seeks approval to establish a Water Reservoir on the subject site, located at Thompson Road, Grapetree (Lot 10/SP106682).

The proposed Water Reservoir will be established and operated by Toowoomba Regional Council to provide a water network with improved capacity and service standards and firefighting flow for Crows Nest.

The proposed Water Reservoir is a project that is identified within the Local Government Infrastructure Plan (LGIP). The map reference for this infrastructure is R10010 and is shown within Table 7 of Water Supply Network Extrinsic Material Report of Local Government Infrastructure Plan.

The proposed development will involve:

- Installation of a new 700kL reservoir and associated site works;
- A mesh security fence with secure front gate;
- Installation/reuse of a stormwater runoff and management system for the site;
- Constructing an all-weather driveway.

To achieve adequate pressure so that the proposed water network will function effectively, the water reservoir is required to be constructed on the subject site.

The land falls slightly to the west and north and as such minor earthworks are required to deliver a larger consistent and level platform than currently exists on the subject site. The earthworks involve cutting into the southern property boundary from the east and ending in slight fill to the west.

The water reservoir will have a maximum height of 5m above the proposed design level and a diameter of no greater than 15m.

Vehicular access will be provided by constructing access from Grapetree Road. Access arrangements allow for a Medium Rigid Vehicle (MRV) to enter and exit the site in a forward gear. Additionally, refuse collection will not be required to access the facility with any waste being removed from the site by maintenance staff. The planning scheme does not require car parking or service vehicle access for "Utility Installation". Notwithstanding, there will be ample hardstand available at the top of the all-weather access for parking of vehicles.

The proposed reservoir will be surrounded by a 2.1m high chain wire fence with landscaping being provided along the property boundary.

The proposed development will not have any permanent on-site staff, with access to the site only being required intermittently for maintenance purposes. Accordingly, there will be no need for the provision of wastewater facilities.

Stormwater will be managed on the subject site. The subject site is currently connected to electrical supply and telecommunications.

Commented [SS3]: Check with BJ

4.0 Assessment Against the State Legislative Framework

Prohibited Development	The proposed development is not prohibited, as established giving consideration to all relevant instruments which can provide prohibitions under the Planning Act 2016 and Planning Regulation 2017. Therefore, the applicant has the right to make a development application under Section 50 of the Planning Act 2016.
Referral Agencies	The development application does not require trigger any referrals.
Southeast Queensland Regional Plan	The subject site is not located within the Urban Footprint of the SEQ Regional Plan.
Darling Downs Regional Plan	The proposed development will increase fire flow capabilities and support future urban development within the Priority Living Area identified under the plan without compromising productive agricultural land or encroaching on established resource or agricultural activities.

State Planning Policy	The area near subject land is identified as being affected by Natural Hazards Risk and Resilience (Bushfire Prone Area). The proposed development complies as follows: • The proposed development will be an unmanned facility that will only be attended for maintenance. The proposed development is located outside of the mapped hazard area and is required to be established at its current location to achieve a functional water supply network including a fire fighting network. The proposed development is not considered to materially increase risk of harm to any persons or property as a result of bushfire. • The proposed development will create a wildlife hazard or penetrate the height restriction zone.
Temporary State Planning Policy	The subject land is not currently affected by a Temporary State Planning Policy.

Commented [SS4]: Check with TAO

5.0 Assessment Against the Local Legislative Framework

Strategic Plan	The proposed development: • Is consistent with the planning intent for the settlement pattern objectives as it will facilitate further urban development within Crows Nest; • Will not compromise the natural environment objective as the subject site does not have any significant environmental values with the site formerly being used as a water treatment plant; • Will facilitate the establishment of water infrastructure that is identified within the LGIP and therefore the proposed development is consistent with the infrastructure and services objective.
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Zoning Rural Zone	- The proposed development is for the delivery of infrastructure identified in the Local Government Infrastructure Plan (LGIP) and is required to service the existing activities occurring in the Rural Zone. - The proposed development is situated at a high point on the subject site and replaces the existing reservoir at a different site. - The proposed development will only be maintained between the hours of 7:00 am to 7:00 pm Monday to Saturday, unless in the case of an emergency. - The proposed development is either proposed to be landscaped or sealed outside the reservoir footprint. - The proposed development may be conditioned to ensure compliance with: - Environmental Protection (Air) Policy 2008 - Environmental Protection (Noise) Policy 2008 - Australian Standard AS4282 Control of the Obtrusive Effects of Outdoor Lighting - Australian Standard AS 1158.1.1 – Road Lighting – Vehicular Traffic (Category V) Lighting – Performance and Installation Design Requirements. - The proposed development is of a scale that is consistent with the surrounding area (being only 5m in height). - The proposed development responds to subject site's topography, drainage, access, vegetation and adjoining land use, such that any earthworks are minimised.
Local Government Infrastructure Plan (LGIP)	The proposed development, being a Utility Installation (Water Reservoir), has been identified within the LGIP. The map reference for this infrastructure is R10010 and is shown within Table SC3.2:1 of Schedule 3: Local Government Infrastructure Plan Mapping and Tables.

Overlays • Agricultural Land • Environmental Significance • Bushfire Hazard • Water Resources Catchment	• The proposed development though located within agricultural land overlay, was previously used for Crows Nest Water Treatment Plant facility. The proposed development will help with fire fighting flow and aid with supply requirement based on growth data in Crows Nest. • The proposed development is located within the environmental significance (biodiversity corridor). Notwithstanding, the subject site is cleared and has been the site of previous water treatment plant for many years. • The proposed development is located near medium bushfire risk area however presents minimal risk to the safety of people and property. The proposed development will be unmanned, with persons only attending the subject site from time to time for maintenance. The proposed development will be constructed with non-flammable building materials e.g. concrete and has a reduced level of vegetation due to historically activities. The proposed development being a water reservoir will provide infrastructure to manage bushfire mitigation. • The proposed development is in water resources catchment overlay. However, this work will not impact the quality or quantity of flow entering the catchment.
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Development Codes • Environmental Standards Code • Integrated Water Cycle Management Code • Landscaping Code • Transport, Access and Parking Code • Works and Services Code	• The operation and maintenance of plant and equipment on the subject site has been designed (and may be conditioned) to meet specific legislative requirements so as not to cause nuisance at close by sensitive receivers. Additionally, all hardstand areas will be appropriately sealed and maintained and screening landscaping provided to the site. • No full-time employees are required to be located on-site, accordingly there will be no requirement for on-site refuse collection. Any maintenance waste will be removed at the time of undertaking maintenance. • The proposed development will maintain stormwater management solutions to ensure there are no unacceptable impacts on surrounding or downstream properties. Additionally, any other specific stormwater management requirements may be conditioned. It is not considered that a detailed assessment is required given reuse of hardstand areas on the subject site. • Landscaping is proposed along the property boundary to provide screening and amenity as detailed on plans. Any specific landscaping requirements, including a landscape plan may be conditioned. • The planning scheme does not specify a parking rate for a Utility Installation. The proposed development will not generate a need for on-site parking as vehicular access will only be required when maintenance is required to be undertaken. Access to the subject site for a MRV will be achievable. • The subject site is currently serviced by all relevant services including electricity and telecommunications. Wastewater provision is not considered necessary as the proposed development will not be a manned facility.
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Commented [SS5]: Confirm with WIS - active team

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6.0 Key Development Considerations

The proposal is generally consistent with the intent for non-residential development on the subject site. However, detailed below are the key aspects of the proposed development and further relevant information.

- Suitability of the Proposed Land Use – the proposed development involves the establishment of a water reservoir. The reservoir will provide water to the township of Crows Nest with improved water supply infrastructure (quantity and quality) and enhanced firefighting capabilities. The infrastructure is necessary to facilitate the planning intent of the Toowoomba Regional Planning Scheme, being to support growth and development within the locality and to this end, is identified under the Local Government Infrastructure Plan.

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- Design Requirements – the proposed development is required to be located at the higher point of the local landscape to achieve functional design. The reservoir replaces an existing reservoir currently located on Lot 3RP117988 Grapetree Road. It should be noted that 5m is substantially less than the height of 10.5m (rural zone code, rural character, AO 7.1) which is the accepted building height for the locality. To this end, it is considered that, with the imposition of standard design conditions (lighting, landscaping and fencing), the proposed development can be established without an unreasonable impact on visual amenity within the surrounding area.

7.0 Conclusion and Recommendations

This report has been prepared in support of an impact assessable development application lodged over land located at Thompson Road, Grapetree (Lot 10/SP106682)

Specifically, this development application seeks approval for the following aspects of development:

- Development Permit for a Material Change of Use for a Utility Installation (Water Reservoir -R10010 and associated infrastructure)

This town planning report demonstrates that the proposed development, on balance complies with the relevant assessment benchmarks or, in the event of any non-compliance, development conditions can be imposed to achieve compliance.