

KUNKEL

BUILDING DESIGN

RECEIVED

28/07/2026

TOOWOOMBA

REGIONAL COUNCIL

drawing index	
01	SITE PLAN
02	LOWER FLOOR PLAN - UNIT 1
03	UPPER FLOOR PLAN - UNIT 1
04	ELEVATIONS - UNIT 1
05	LOWER FLOOR PLAN - UNIT 2
06	UPPER FLOOR PLAN - UNIT 2
07	ELEVATIONS - UNIT 2
08	LOWER FLOOR PLAN - UNIT 3
09	UPPER FLOOR PLAN - UNIT 3
10	ELEVATIONS - UNIT 3
11	LOWER FLOOR PLAN - UNIT 4
12	UPPER FLOOR PLAN - UNIT 4
13	ELEVATIONS - UNIT 4

Project:

MULTIPLE DWELLING UNITS

Client:

CLL INVESTMENTS PTY LTD

Address:

No. 51 TAYLOR STREET, TOOWOOMBA CITY Q 4350

Lot 3 ON SP184760

K

KUNKEL

BUILDING DESIGN

No 13 GODWIN PLACE . PELICAN WATERS . QLD . 4551

0409 612 231 | SHANE@KUNKELBUILDINGDESIGN.COM.AU

WWW.KUNKELBUILDINGDESIGN.COM.AU

QBCC Lic No 1136721

DRAWING NAME

COVER SHEET

DESIGNER

SD KUNKEL

REV

B

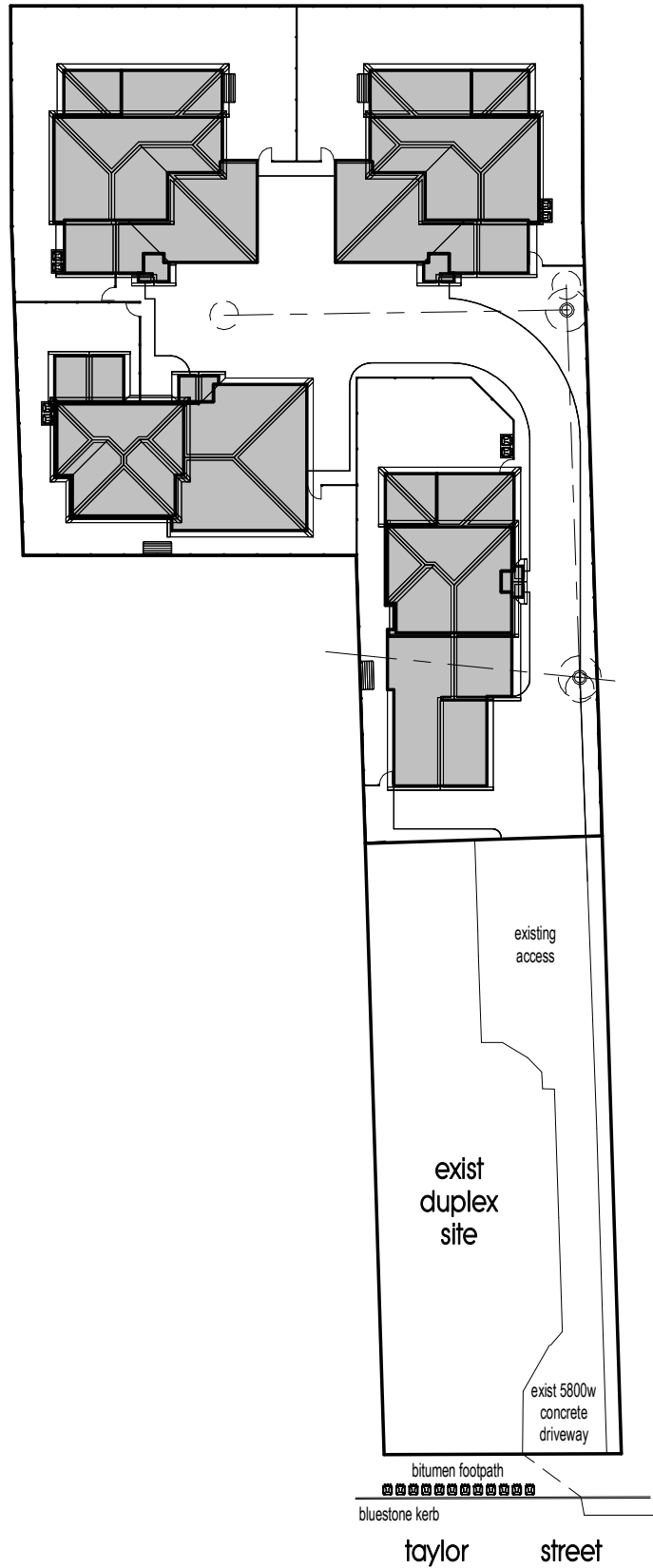
DATE

03/03/26

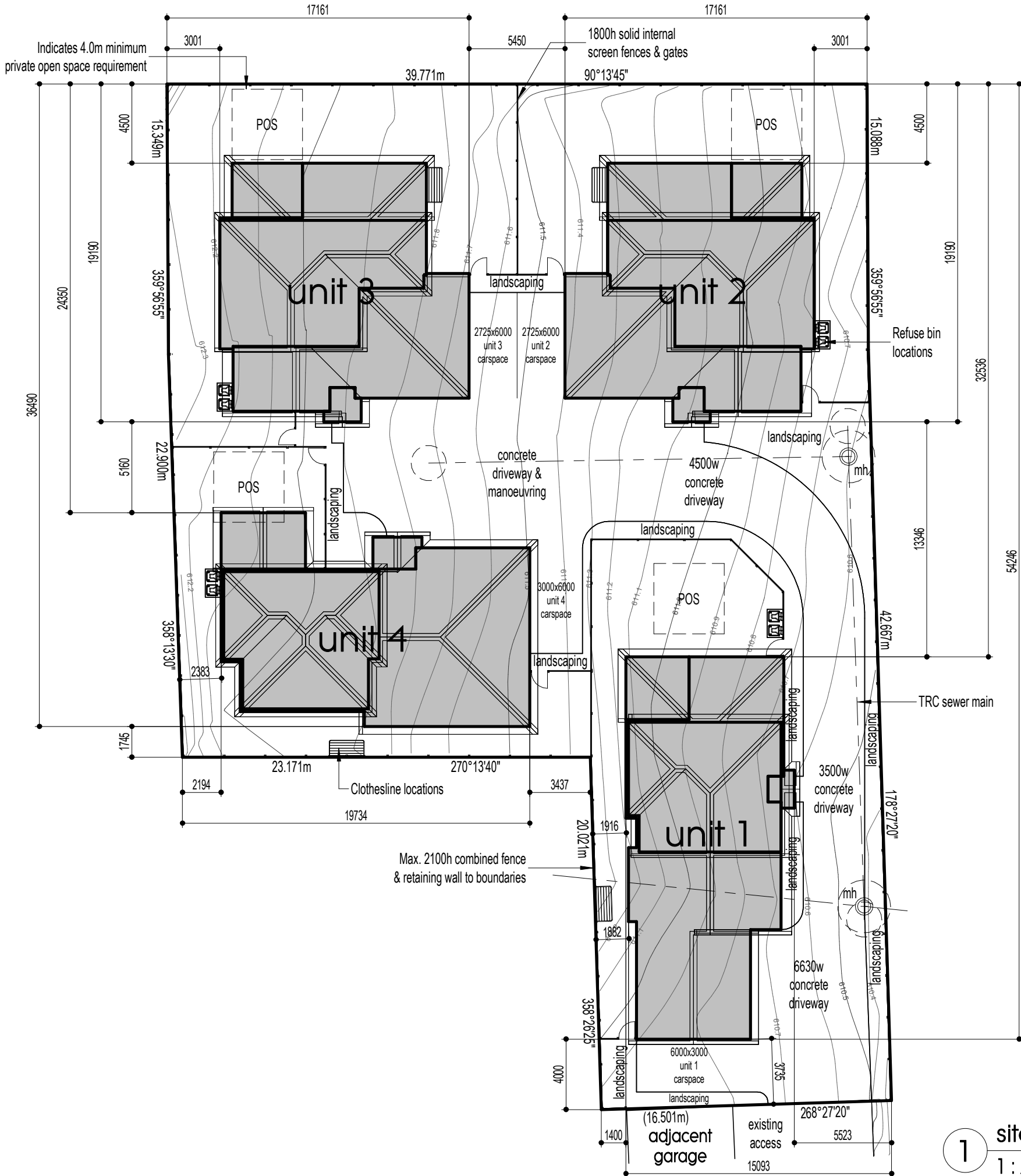
PROJECT NO

25.061

A3

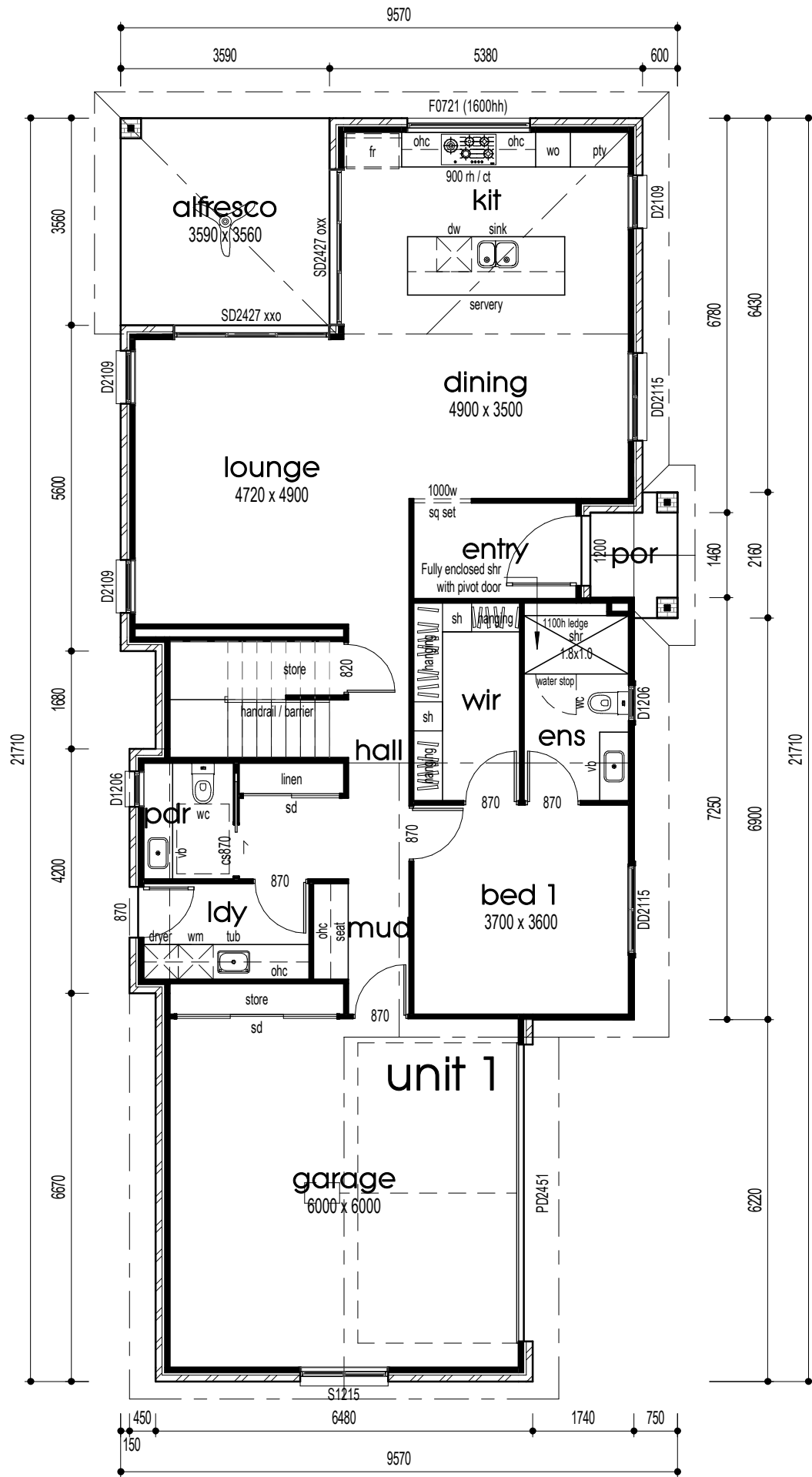


2 locality plan
1 : 500



1 site plan
1 : 250

notes		
1.	Survey information to be confirmed by Licensed Surveyor prior to construction. Where property boundary locations are not clear, the contractor shall organise an identification survey to locate required boundaries.	
2.	Extent of site earthworks to be confirmed by engineer &/or contractor on site prior to construction.	
3.	Contractor to confirm siting & orientation prior to setout. Location of buildings & building setout to be carried out by Licensed Surveyor. No footing or wall to encroach the property boundary.	
4.	All services to be located on site by contractor prior to construction.	
5.	Sewer main position is based on mapping/historical information by others & is indicative only. The builder/owner must have the sewer main accurately located & marked on the ground surface and the sewer position verified in relation to the building prior to commencing work.	
6.	Driveway to detail by others	
7.	Ground surface drainage pipe locations & configurations to detail by others.	
8.	Roof stormwater is to discharge to local government requirements and approvals. UPVC surface drain pipes with a min. 1:100 fall to comply with H2D2 of the BCA & AS/NZS 3500.3. Refer to roof drainage plan for layout and calculations.	
10.	Do not scale off drawings, use figured dimensions only. Any dimensions not nominated must be referred to the Designer for confirmation. Contractor shall verify all dimensions on site prior to construction.	
property details		
No. 51 Taylor Street Toowoomba City QLD 4350		
Toowoomba Regional Council Locality - Toowoomba City Lot 3 on SP184760		
Zone - Low / Medium Density Residential Precinct - Urban Residential Overlays - Airport Environs - Neighbourhood Character		
Site Area - 1846m ² Site Cover (Max. 50.0%) - 38.2% (704.8m ²)		
Impervious Site Cover (Max. 70.0%) - 60.1% (1110.4m ²)		
Landscape Area - <80.0% of Front Setback Additional Landscaping (min. 1.5m wide) - 36.1% (667.3m ²)		
Private Open Space (Min 16.0m ² / 4.0m width) - Unit 1 - 83.9m ² - Unit 2 - 145.7m ² - Unit 3 - 145.4m ² - Unit 4 - 59.4m ²		
Garage Frontage (Max 30.0% of width of Site) - 0.0%		
signatures		
owner / s		
builder		



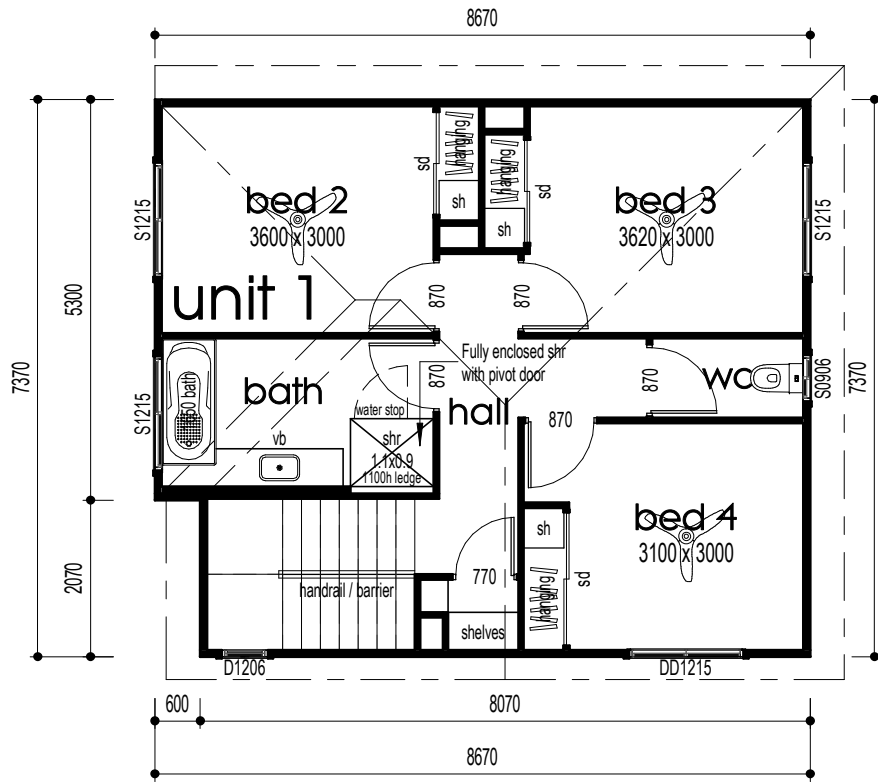
1 lower floor plan
1 : 100

- notes**
1. All works to be carried out in accordance with the BCA, Australian Standards, Local Council requirements, QDC guidelines & all other relevant by-laws & authorities.
 2. All works to be carried out in accordance with the DA (if required) & BA including drawings & conditions.
 3. Refrigerator, dishwasher & washing machine as shown on plan are not included with contract unless otherwise stated.
 4. All wet areas, materials & installation of wet area components & systems to be in accordance with clause H4D2 & H4D3 of the BCA.
 5. All glazing to be installed in accordance with clause H1D8 of the BCA.
 6. Required stairway to be installed in accordance with clause H5D2 of the BCA.
 7. Required handrail & barrier to be installed in accordance with clause H5D3 of the BCA.
 8. Door frame heights - internal 2390
- external 2435
 9. Joinery height 2400 UNO.
 10. All dimensions & design information to be confirmed on site.
 11. All dimensions are frame to frame.

- legend**
- Interconnected smoke alarm. Install in accordance with clause H3D6 of the BCA & AS 3786
 - Floor waste gully - confirm location on site.
 - Hot water system - confirm location on site.
 - External hose tap - confirm location on site.
 - External roof downpipe - confirm location on site. Refer to roof drainage plan for layout & calculations.
 - Air conditioning condenser unit - confirm location on site.
 - Wall mounted air conditioner unit - confirm location on site.
 - Roof skylight.
 - Mechanical exhaust fan to comply with clause H4D7 of the BCA - duct to open air.
 - Min. 900mm dia. ceiling fan with speed controller.
 - Ceiling access location.

floor areas	
lower floor area - unit 1	162.2 m²
porch area - unit 1	2.7 m²
alfresco area - unit 1	12.8 m²
upper floor area - unit 1	62.7 m²
total area	240.3 m²

signatures	
owner / s	
builder	



- notes**
1. All works to be carried out in accordance with the BCA, Australian Standards, Local Council requirements, QDC guidelines & all other relevant by-laws & authorities.
 2. All works to be carried out in accordance with the DA (if required) & BA including drawings & conditions.
 3. Refrigerator, dishwasher & washing machine as shown on plan are not included with contract unless otherwise stated.
 4. All wet areas, materials & installation of wet area components & systems to be in accordance with clause H4D2 & H4D3 of the BCA.
 5. All glazing to be installed in accordance with clause H1D8 of the BCA.
 6. Protection of openable windows in upper floor bedrooms to comply with clause 11.3.7 of ABCB Housing Provisions.
 7. Required stairway to be installed in accordance with clause H5D2 of the BCA.
 8. Required handrail & barrier to be installed in accordance with clause H5D3 of the BCA.
 9. Door frame heights - internal 2390
- external 2435
 10. Joinery height 2400 UNO.
 11. All dimensions & design information to be confirmed on site.
 12. All dimensions are frame to frame.

- legend**
- Interconnected smoke alarm. Install in accordance with clause H3D6 of the BCA & AS 3786
 - Floor waste gully - confirm location on site.
 - Hot water system - confirm location on site.
 - External hose tap - confirm location on site.
 - External roof downpipe - confirm location on site. Refer to roof drainage plan for layout & calculations.
 - Air conditioning condenser unit - confirm location on site.
 - Wall mounted air conditioner unit - confirm location on site.
 - Roof skylight.
 - Mechanical exhaust fan to comply with clause H4D7 of the BCA - duct to open air.
 - Min. 900mm dia. ceiling fan with speed controller.
 - Ceiling access location.

floor areas	
lower floor area - unit 1	162.2 m ²
porch area - unit 1	2.7 m ²
alfresco area - unit 1	12.8 m ²
upper floor area - unit 1	62.7 m ²
total area	240.3 m ²

signatures

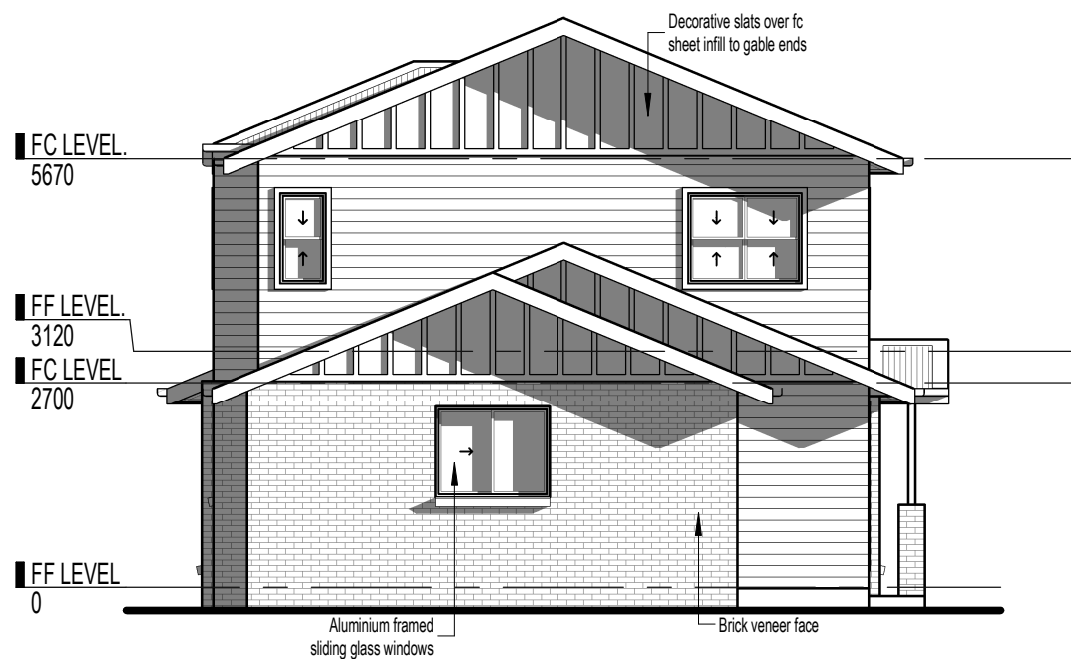
owner/s

builder

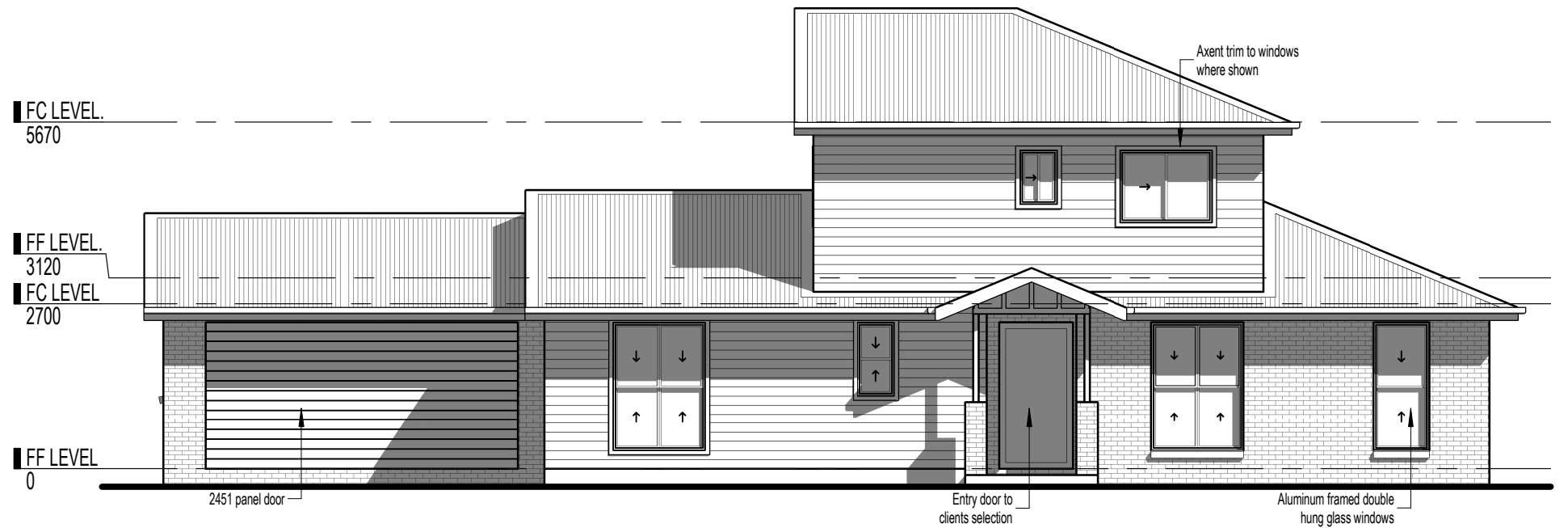
1 upper floor plan
1 : 100



2 elevation to north
1 : 100



4 elevation to south
1 : 100

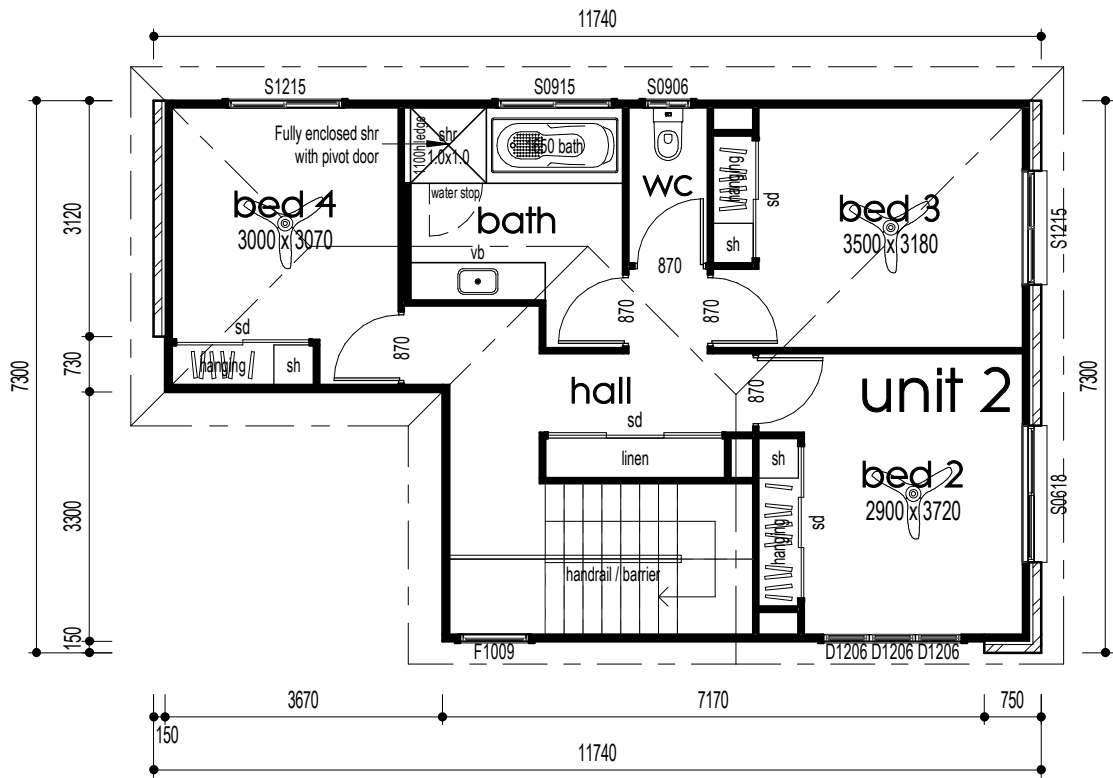


1 elevation to east
1 : 100



3 elevation to west
1 : 100

signatures	
owner/s	
builder	



1 upper floor plan
1 : 100

- notes**
1. All works to be carried out in accordance with the BCA, Australian Standards, Local Council requirements, QDC guidelines & all other relevant by-laws & authorities.
 2. All works to be carried out in accordance with the DA (if required) & BA including drawings & conditions.
 3. Refrigerator, dishwasher & washing machine as shown on plan are not included with contract unless otherwise stated.
 4. All wet areas, materials & installation of wet area components & systems to be in accordance with clause H4D2 & H4D3 of the BCA.
 5. All glazing to be installed in accordance with clause H1D8 of the BCA.
 6. Protection of openable windows in upper floor bedrooms to comply with clause 11.3.7 of ABCB Housing Provisions.
 7. Required stairway to be installed in accordance with clause H5D2 of the BCA.
 8. Required handrail & barrier to be installed in accordance with clause H5D3 of the BCA.
 9. Door frame heights - internal 2390
- external 2435
 10. Joinery height 2400 UNO.
 11. All dimensions & design information to be confirmed on site.
 12. All dimensions are frame to frame.

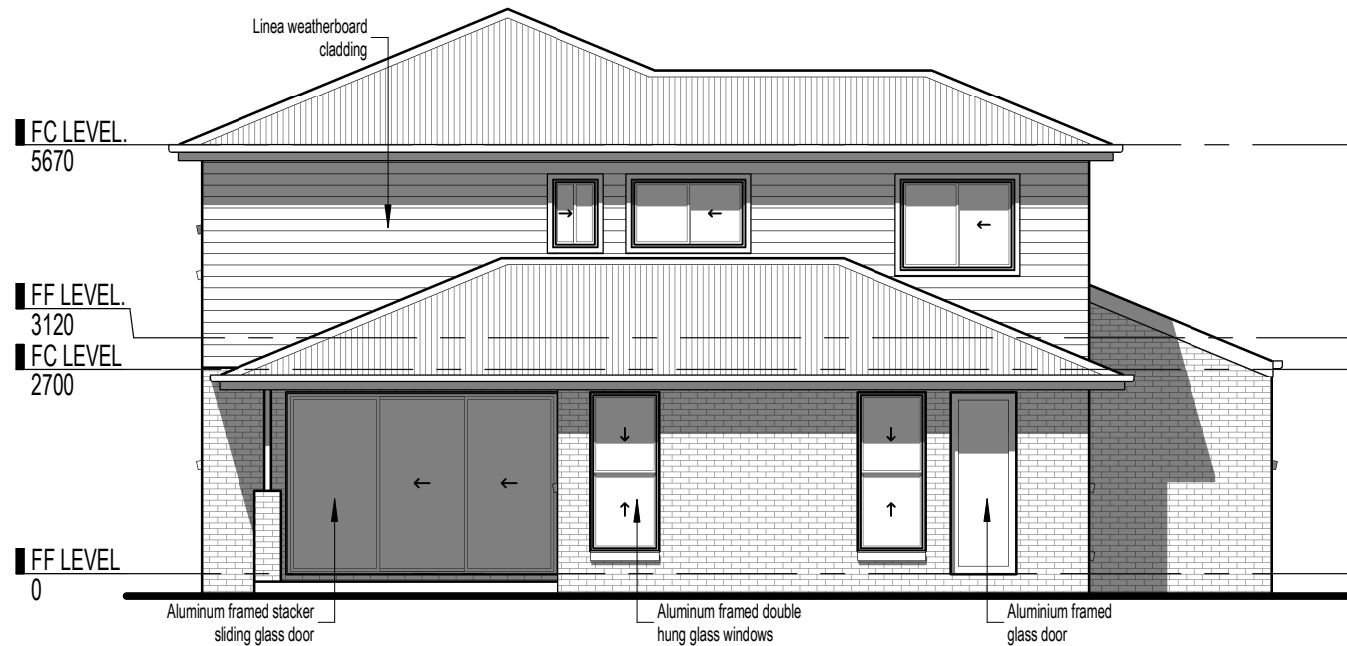
- legend**
- Interconnected smoke alarm. Install in accordance with clause H3D6 of the BCA & AS 3786
 - Floor waste gully - confirm location on site.
 - Hot water system - confirm location on site.
 - External hose tap - confirm location on site.
 - External roof downpipe - confirm location on site. Refer to roof drainage plan for layout & calculations.
 - Air conditioning condenser unit - confirm location on site.
 - Wall mounted air conditioner unit - confirm location on site.
 - Roof skylight.
 - Mechanical exhaust fan to comply with clause H4D7 of the BCA - duct to open air.
 - Min. 900mm dia. ceiling fan with speed controller.
 - Ceiling access location.

floor areas	
lower floor area - unit 2	160.3 m²
porch area - unit 2	3.5 m²
alfresco area - unit 2	12.4 m²
upper floor area - unit 2	71.3 m²
total area	247.6 m²

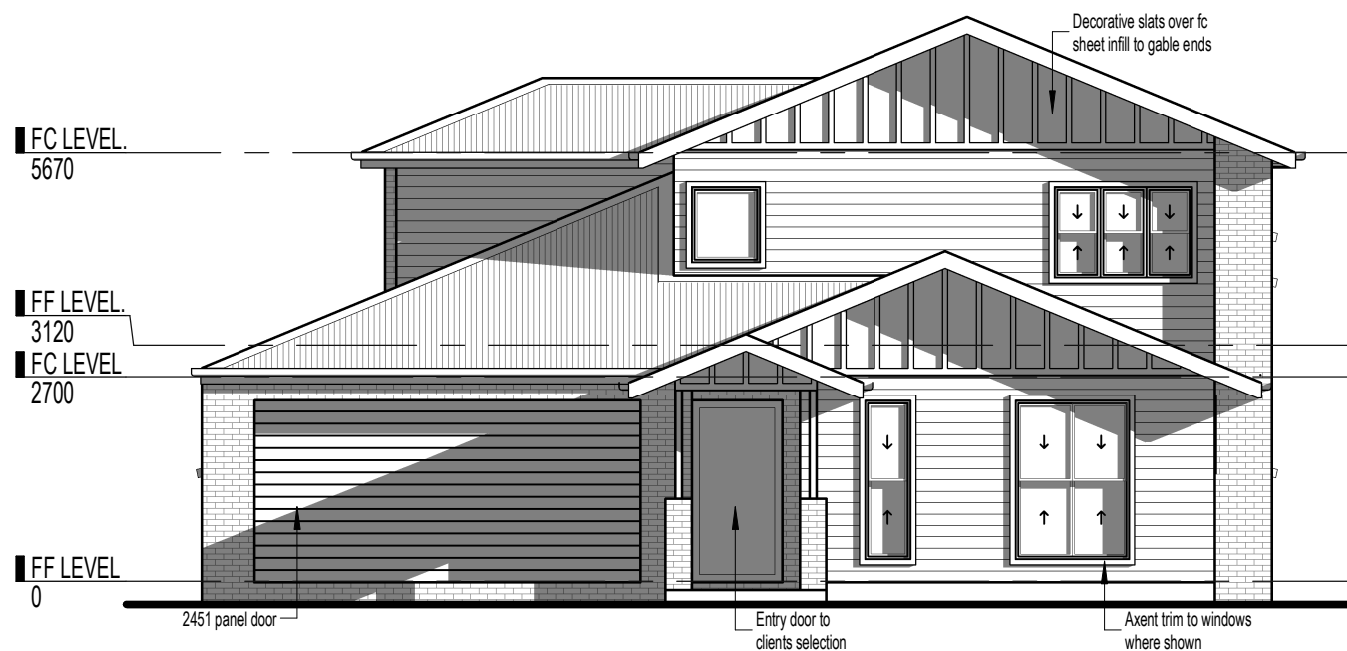
signatures

owner/s

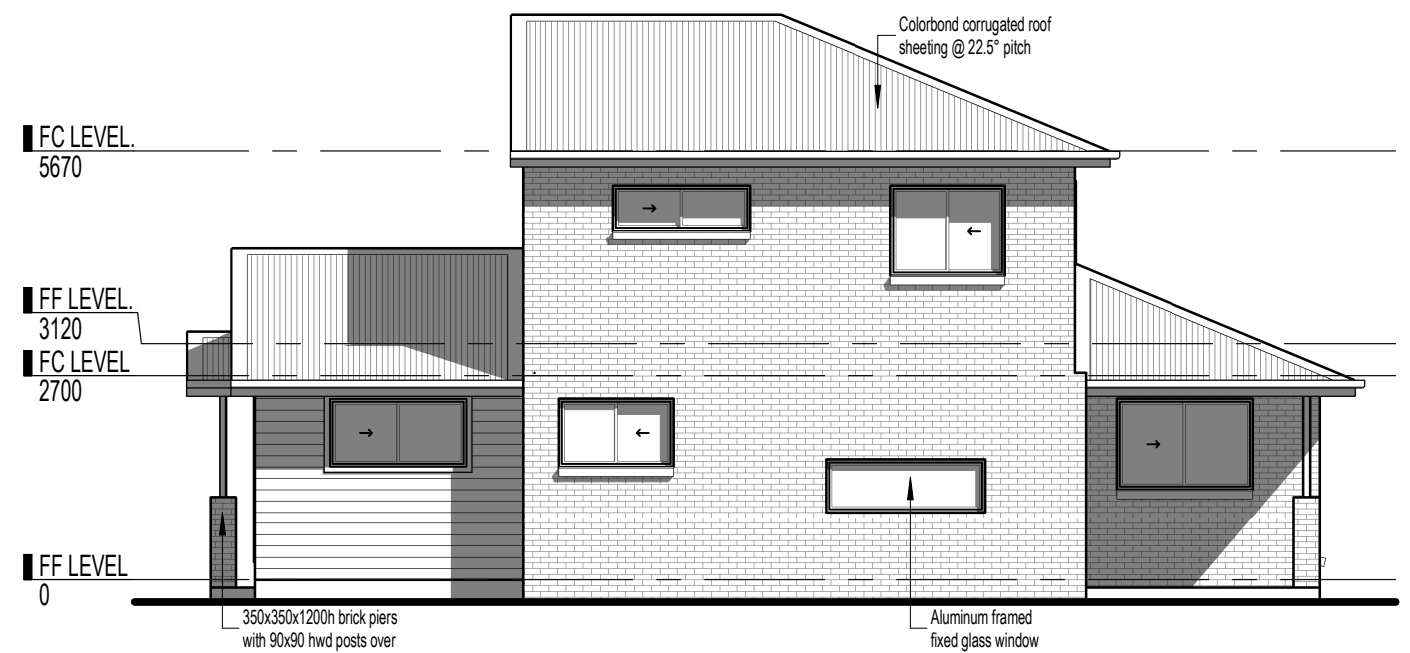
builder



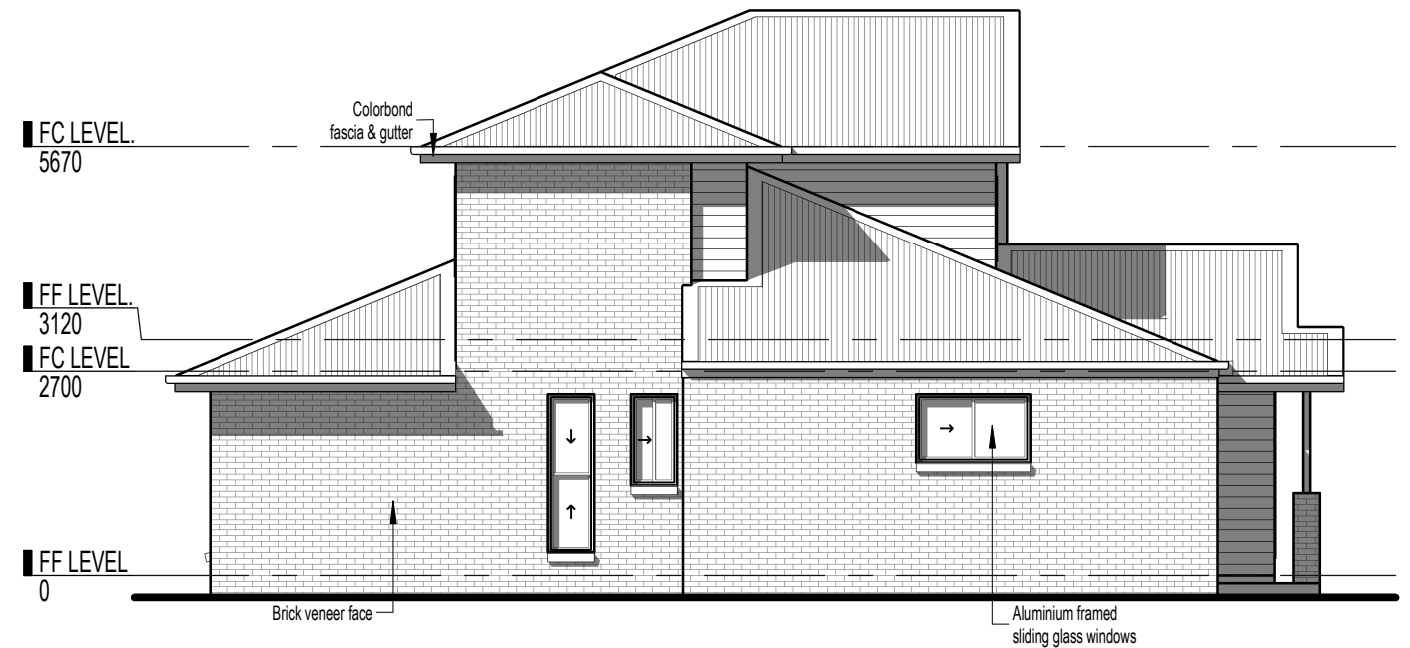
2 elevation to north
1 : 100



4 elevation to south
1 : 100

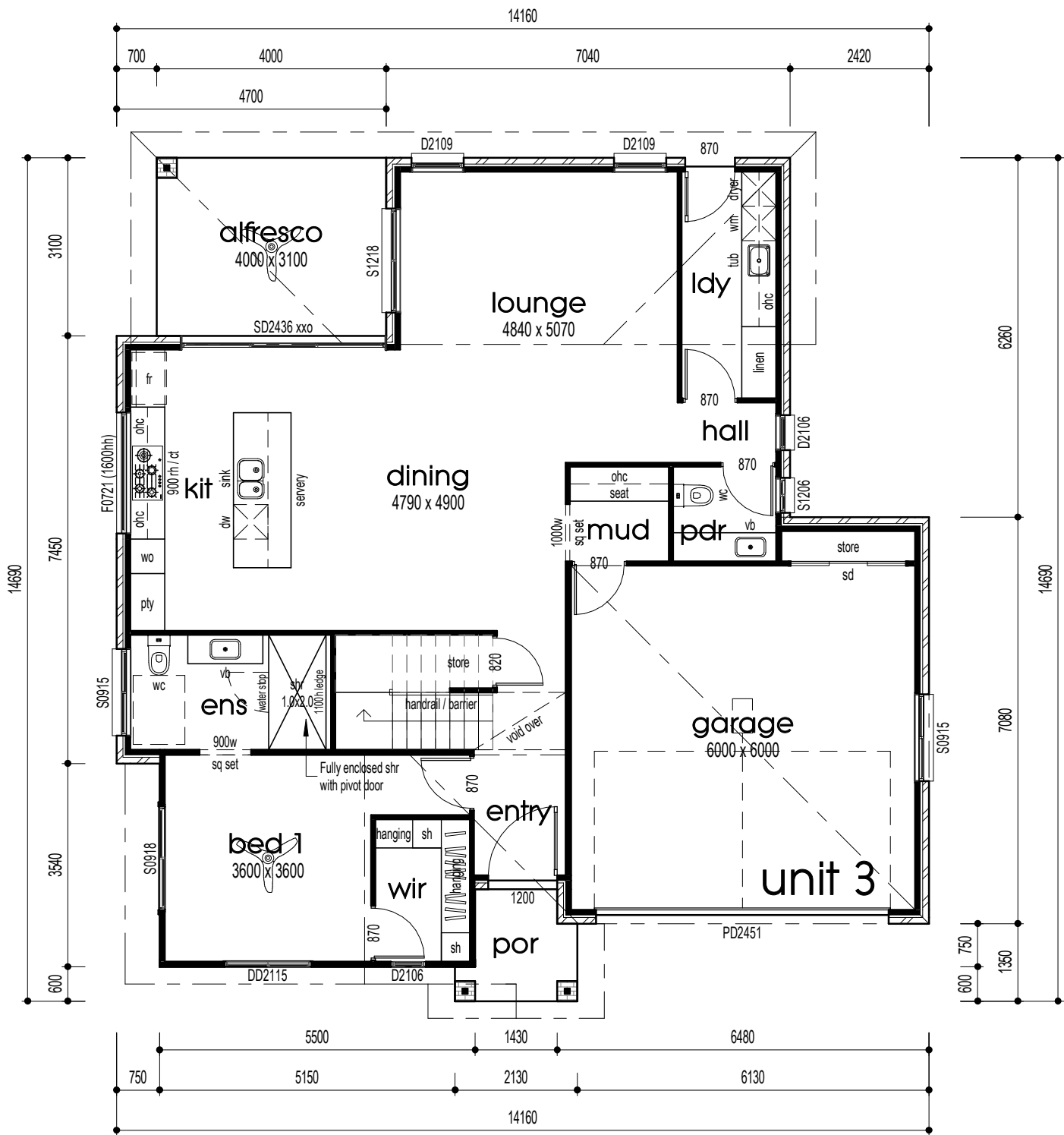


1 elevation to east
1 : 100



3 elevation to west
1 : 100

signatures	
owner/s	
builder	



1 lower floor plan
1 : 100

- notes**
1. All works to be carried out in accordance with the BCA, Australian Standards, Local Council requirements, QDC guidelines & all other relevant by-laws & authorities.
 2. All works to be carried out in accordance with the DA (if required) & BA including drawings & conditions.
 3. Refrigerator, dishwasher & washing machine as shown on plan are not included with contract unless otherwise stated.
 4. All wet areas, materials & installation of wet area components & systems to be in accordance with clause H4D2 & H4D3 of the BCA.
 5. All glazing to be installed in accordance with clause H1D8 of the BCA.
 6. Required stairway to be installed in accordance with clause H5D2 of the BCA.
 7. Required handrail & barrier to be installed in accordance with clause H5D3 of the BCA.
 8. Door frame heights - internal 2390
- external 2435
 9. Joinery height 2400 UNO.
 10. All dimensions & design information to be confirmed on site.
 11. All dimensions are frame to frame.

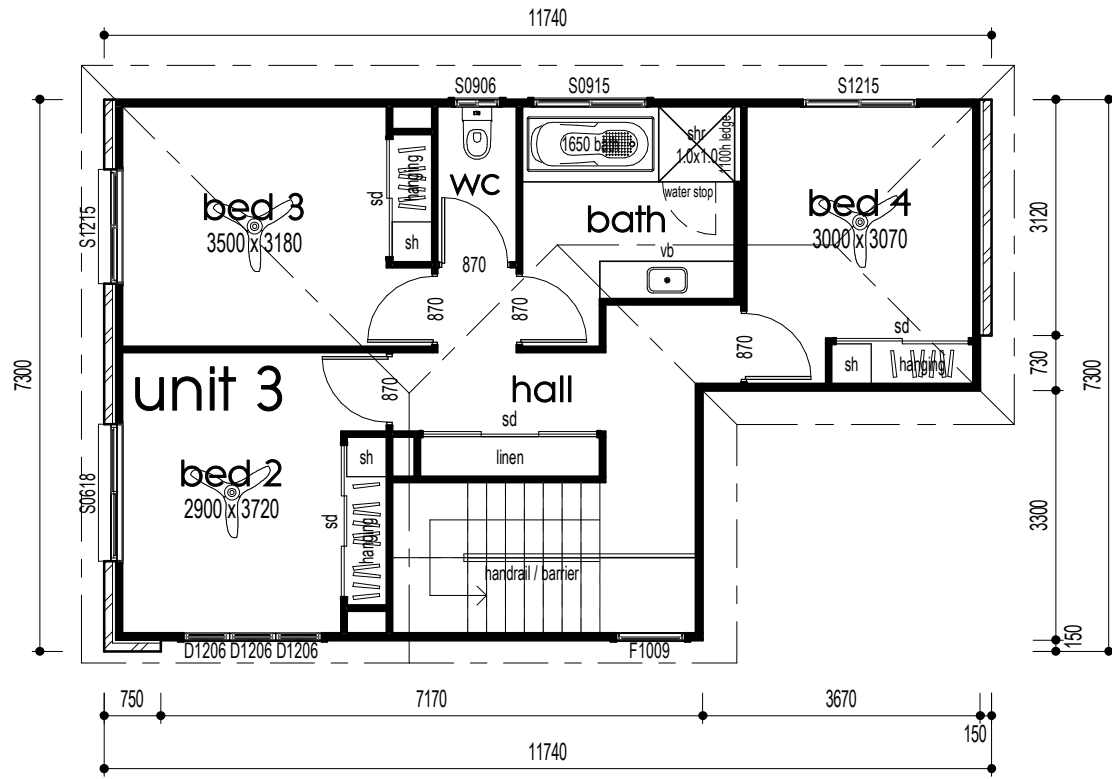
- legend**
- Interconnected smoke alarm. Install in accordance with clause H3D6 of the BCA & AS 3786
 - Floor waste gully - confirm location on site.
 - Hot water system - confirm location on site.
 - External hose tap - confirm location on site.
 - External roof downpipe - confirm location on site. Refer to roof drainage plan for layout & calculations.
 - Air conditioning condenser unit - confirm location on site.
 - Wall mounted air conditioner unit - confirm location on site.
 - Roof skylight.
 - Mechanical exhaust fan to comply with clause H4D7 of the BCA - duct to open air.
 - Min. 900mm dia. ceiling fan with speed controller.
 - Ceiling access location.

floor areas	
lower floor area - unit 3	160.3 m ²
porch area - unit 3	3.5 m ²
alfresco area - unit 3	12.4 m ²
upper floor area - unit 3	71.3 m ²
total area	247.6 m ²

signatures

owner/s

builder



1 upper floor plan
1 : 100

- notes**
1. All works to be carried out in accordance with the BCA, Australian Standards, Local Council requirements, QDC guidelines & all other relevant by-laws & authorities.
 2. All works to be carried out in accordance with the DA (if required) & BA including drawings & conditions.
 3. Refrigerator, dishwasher & washing machine as shown on plan are not included with contract unless otherwise stated.
 4. All wet areas, materials & installation of wet area components & systems to be in accordance with clause H4D2 & H4D3 of the BCA.
 5. All glazing to be installed in accordance with clause H1D8 of the BCA.
 6. Protection of openable windows in upper floor bedrooms to comply with clause 11.3.7 of ABCB Housing Provisions.
 7. Required stairway to be installed in accordance with clause H5D2 of the BCA.
 8. Required handrail & barrier to be installed in accordance with clause H5D3 of the BCA.
 9. Door frame heights - internal 2390
- external 2435
 10. Joinery height 2400 UNO.
 11. All dimensions & design information to be confirmed on site.
 12. All dimensions are frame to frame.

- legend**
- Interconnected smoke alarm. Install in accordance with clause H3D6 of the BCA & AS 3786
 - Floor waste gully - confirm location on site.
 - Hot water system - confirm location on site.
 - External hose tap - confirm location on site.
 - External roof downpipe - confirm location on site. Refer to roof drainage plan for layout & calculations.
 - Air conditioning condenser unit - confirm location on site.
 - Wall mounted air conditioner unit - confirm location on site.
 - Roof skylight.
 - Mechanical exhaust fan to comply with clause H4D7 of the BCA - duct to open air.
 - Min. 900mm dia. ceiling fan with speed controller.
 - Ceiling access location.

floor areas	
lower floor area - unit 3	160.3 m²
porch area - unit 3	3.5 m²
alfresco area - unit 3	12.4 m²
upper floor area - unit 3	71.3 m²
total area	247.6 m²

signatures

owner / s

builder



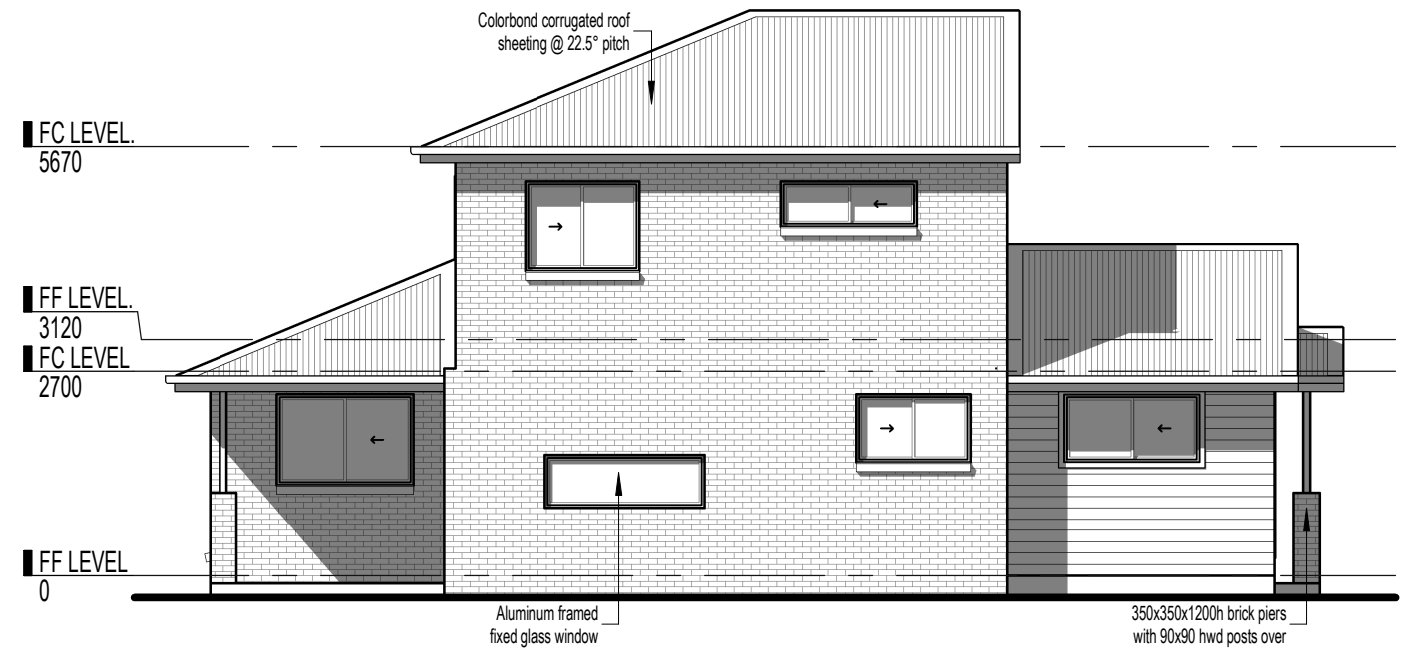
2 elevation to north
1 : 100



4 elevation to south
1 : 100

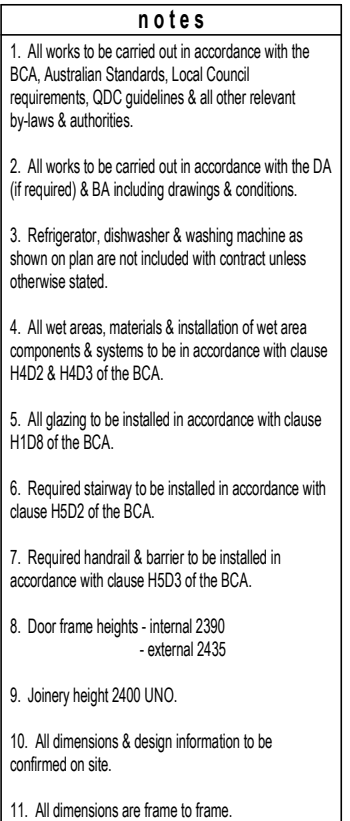


1 elevation to east
1 : 100



3 elevation to west
1 : 100

signatures	
owner/s	
builder	

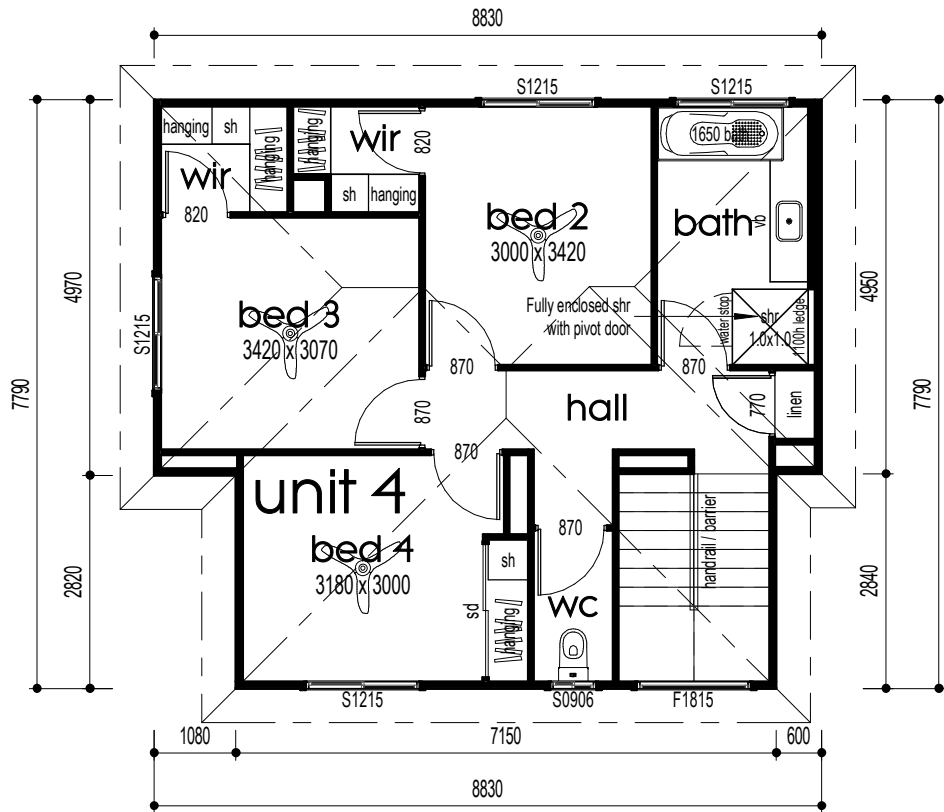


	Interconnected smoke alarm. Install in accordance with clause H3D6 of the BCA & AS 3786
	Floor waste gully - confirm location on site.
	Hot water system - confirm location on site.
	External hose tap - confirm location on site.
	External roof downpipe - confirm location on site. Refer to roof drainage plan for layout & calculations.
	Air conditioning condenser unit - confirm location on site.
	Wall mounted air conditioner unit - confirm location on site.
	Roof skylight.
	Mechanical exhaust fan to comply with clause H4D7 of the BCA - duct to open air.
	Min. 900mm dia. ceiling fan with speed controller.
	Ceiling access location.

lower floor area - unit 4	154.7 m ²
porch area - unit 4	4.6 m ²
alfresco area - unit 4	15.4 m ²
upper floor area - unit 4	64.0 m ²
total area	238.7 m ²

owner/s
builder

1 lower floor plan
1 : 100



- notes
1.

All works to be carried out in accordance with the BCA, Australian Standards, Local Council requirements, QDC guidelines & all other relevant by-laws & authorities.
2.

All works to be carried out in accordance with the DA (if required) & BA including drawings & conditions.
3.

Refrigerator, dishwasher & washing machine as shown on plan are not included with contract unless otherwise stated.
4.

All wet areas, materials & installation of wet area components & systems to be in accordance with clause H4D2 & H4D3 of the BCA.
5.

All glazing to be installed in accordance with clause H1D8 of the BCA.
6.

Protection of openable windows in upper floor bedrooms to comply with clause 11.3.7 of ABCB Housing Provisions.
7.

Required stairway to be installed in accordance with clause H5D2 of the BCA.
8.

Required handrail & barrier to be installed in accordance with clause H5D3 of the BCA.
9.

Door frame heights - internal 2390
- external 2435
10.

Joinery height 2400 UNO.
11.

All dimensions & design information to be confirmed on site.
12.

All dimensions are frame to frame.

- legend
- Interconnected smoke alarm. Install in accordance with clause H3D6 of the BCA & AS 3786
- Floor waste gully - confirm location on site.
- Hot water system - confirm location on site.
- External hose tap - confirm location on site.
- External roof downpipe - confirm location on site. Refer to roof drainage plan for layout & calculations.
- Air conditioning condenser unit - confirm location on site.
- Wall mounted air conditioner unit - confirm location on site.
- Roof skylight.
- Mechanical exhaust fan to comply with clause H4D7 of the BCA - duct to open air.
- Min. 900mm dia. ceiling fan with speed controller.
- Ceiling access location.

floor areas

lower floor area - unit 4	154.7 m²
porch area - unit 4	4.6 m²
alfresco area - unit 4	15.4 m²
upper floor area - unit 4	64.0 m²
total area	238.7 m²

signatures

owner / s

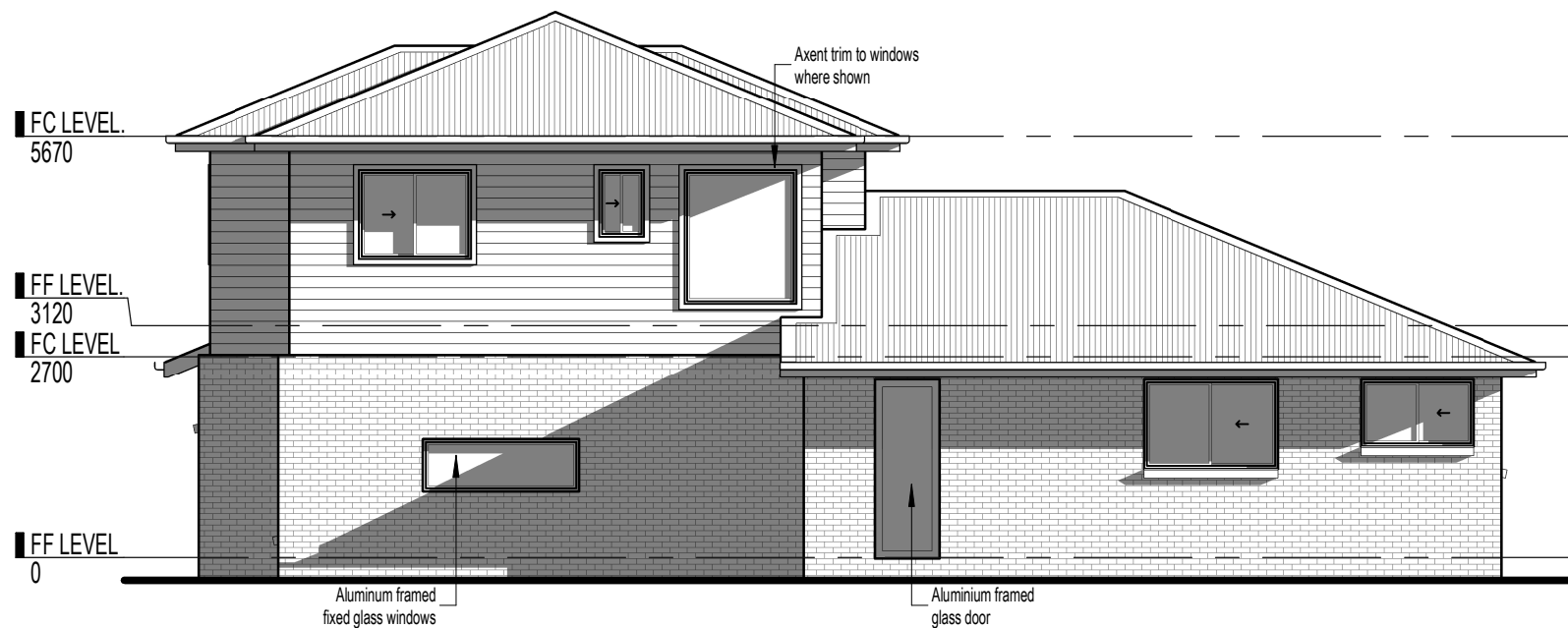
builder

1 upper floor plan

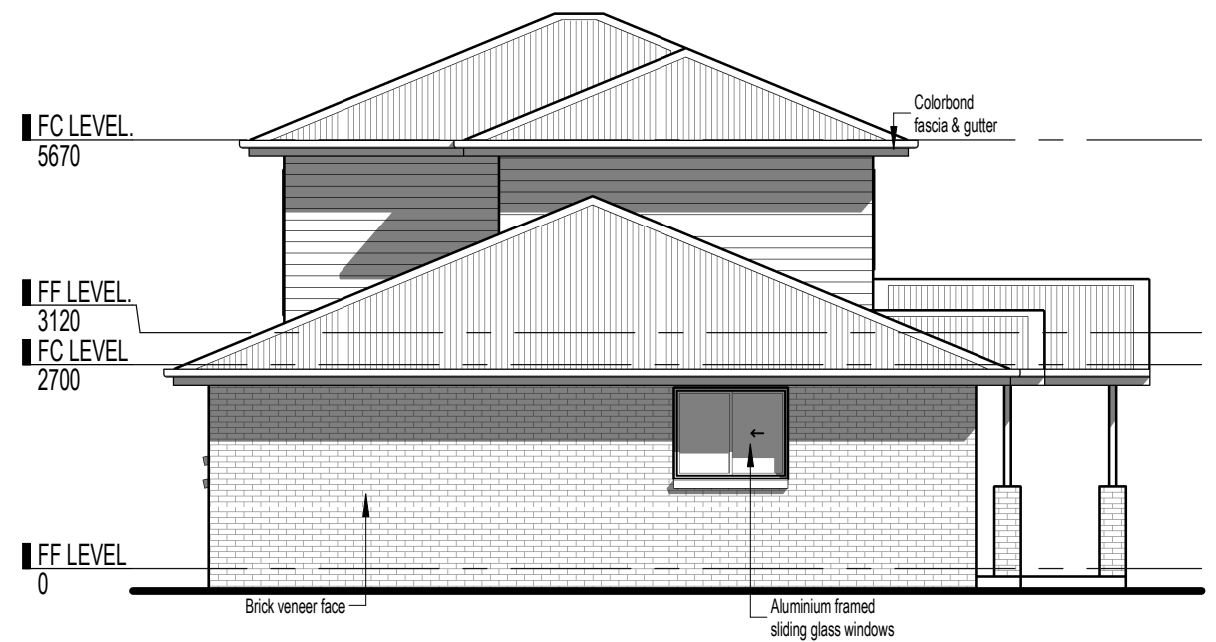
1 : 100



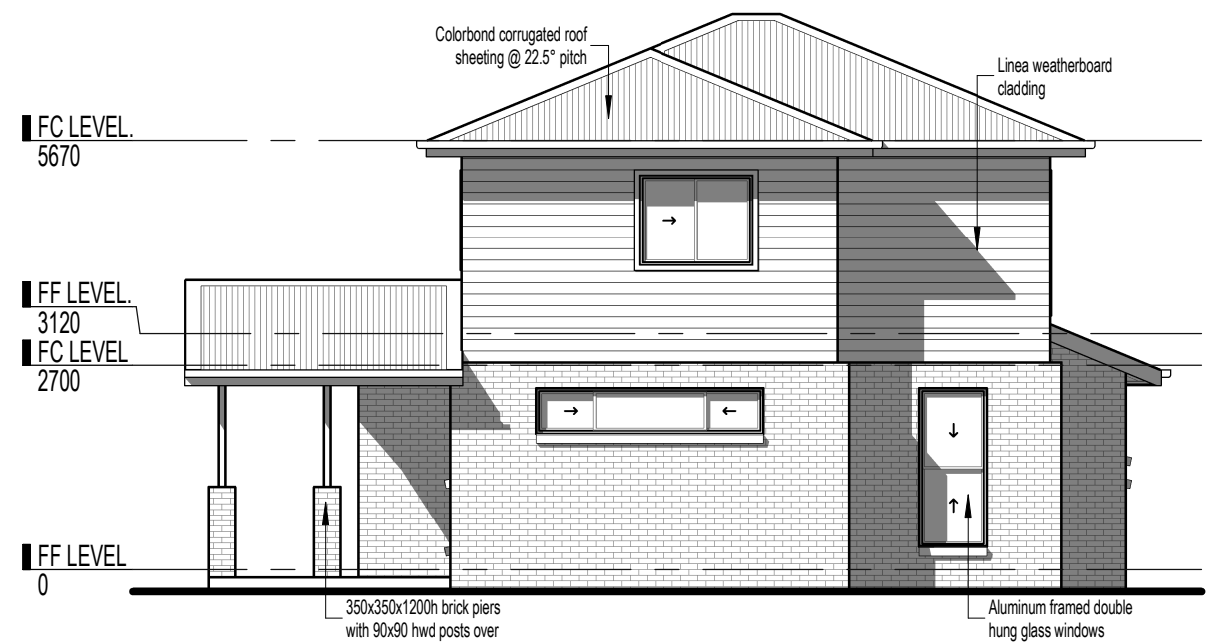
2 elevation to north
1:100



4 elevation to south
1:100



1 elevation to east
1:100



3 elevation to west
1:100

signatures	
owner/s	
builder	