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General Notes	General Notes	Compliance Notes	ABBREVIATIONS																																																																													
<p>This cover page must be circulated with all issued documentation.</p> <p>The information contained within this documentation is to the best of our knowledge accurate and correct. However, all information is indicative and exact dimensions, specifications and other relevant information should be sought from the appropriate source.</p> <p>Builder to confirm locations of all existing services on site prior to commencing any works.</p> <p>Shop drawings or fabrication figured dimensions take precedence over scaled dimensions, any discrepancies should be referred to Templo Design immediately.</p> <p>Builder to consult and build according to the landlords site specific design guidelines, fitout guide and latest lease plans and base building drawings supplied by landlord. Builder to refer to the landlords site specific guidelines and fit out guide to confirm whether any penetrations in blockwork walls are allowed.</p> <p>Contractors to ensure consistency between materials is maintained.</p> <p>Prepare and make good all surfaces and substrates as required to receive new finishes as per manufactures specification.</p> <p>Make good to all surfaces as required to match adjacent to surfaces.</p> <p>Chasing and core holes to be confirmed with engineer to determine any structural limitations on size and location.</p> <p>A/c registers, sprinklers and access panel locations to be advised/confirmed.</p> <p>Any cost variations must be approved by client prior to execution by builder, non-approved cost variations will not be met.</p> <p>All plans approved by centre/landlord/planning authority to be kept on site at all times.</p> <p>Builder to supply hot water unit and appropriate tundish or drainage as required to comply with statutory requirements. Shopfitter to confirm usage with client prior to installation.</p> <p>Each drawing from this documentation package to be read in conjunction with finishes schedule attached.</p> <p>If not noted on detail/typical elevations, refer to plan for finishes type and extent.</p> <p>Paint a/c grilles, a/c diffusers and access panels the same as adjacent ceiling finish unless otherwise noted.</p> <p>Appointed builder is responsible for any sub-contractors working from these drawings.</p> <p>Builder to ensure subcontractors have the complete set of documentations prior to commencement of project.</p> <p>Builder to ensure all codes of the SCA are met from all subcontractors working on this project.</p> <p>Works should be completed within the hours as instructed, landlord allowance for out of hours construction is required.</p> <p>At completion of the building project, certified and qualified persons to ensure that all the mechanical, hydraulic, plumbing, structural, electrical services the fire safety measures have been designed and installed in accordance with the required standards are to be provided by qualified persons.</p> <p>Kitchen and other food preparation areas designed and to be constructed in accordance with AS4674-2004 design, construction and fit-out of food premises.</p> <p><b>Ventilation</b></p> <p>All rooms to have adequate ventilation as required ventilation is to comply with part F&amp;D6 of the NCC.</p> <p>Mechanical ventilation is to be installed in accordance with the relevant provisions of AS1668.2-2012</p> <p>Requirements of the fire engineered solution in terms of mechanical ventilation will be strictly adhered to where applicable.</p> <p><b>Equipment</b></p> <p>All equipment on these drawings are shown indicatively.</p> <p>Contractor to confirm all dimensions and equipment requirements with client prior to installation.</p> <p>All equipment to be installed as per manufacturer's instructions.</p> <p>Contractor to confirm supply and installation of ALL equipment with client.</p> <p>Builder to provide appropriate and approved cutouts in joinery items as required to allow for cable access.</p> <p><b>Energy Efficiency</b></p> <p>New air-conditioning not forming part of the base building shall comply with all parts section J6 of the NCC.</p> <p>New air-conditioning ductwork in addition to that provided by base building to be insulated to achieve an R1.0 rating and is to be installed in accordance with AS/NZS 4859.1-2002.</p> <p>Artificial lighting not forming part of the base building is to comply with section J7 of the NCC.</p>	<p><b>Door Notes</b></p> <p>The unobstructed widths in the required exits, and in the paths of travel to the required exits except the doorways will not be less than 1000mm.</p> <p>Required exit doors will be readily openable without a key from the side that faces a person requiring egress, by a single handed downward action on a single device which is located between 900mm and 1200mm above the floor, in accordance with clause D3D26 of the NCC.</p> <p><b>Builder</b></p> <p>It is your responsibility to do an inspection while tendering to ensure on site conditions have accurately been documented. Templo Design will not take responsibility for any site discrepancy that results in a variation to the client.</p> <p>It is your responsibility to organise any site inspections required by the private certifier and/or council.</p> <p>It is your responsibility to secure all required certificates to enable the release of the occupation certificate ensuring that the OC is issued on time prior to trading.</p> <p><b>Joinery Finishes</b></p> <p>For finishes to joinery and adjacent areas refer to the finishes schedule.</p> <p>All loose furniture and joinery within existing perimeter built environment to be protected and masked off during commencement of any building works.</p> <p>If not noted on detail/typical elevations refer to plan for finishes type and extent.</p> <p>Builder to ensure no sharp edges on any joinery items.</p> <p>Conceal all fixings and screw cap all fixings.</p> <p>Use adhesives, fasteners and fixings capable of transmitting the loads imposed and to ensure the rigidity of the assembly, without splitting or damaging materials.</p> <p>Finish all exposed edges of the units with edge strips to match faces, unless otherwise noted.</p> <p>All hinges to high quality metal fitting of a concealed type provide in number and location necessary to prevent dropping of the door.</p> <p>All substrate surrounding cooking area as required to withstand/prevent heat transfer from all cooking equipment</p> <p>All stainless-steel substrate must have folded edge in one piece and then seal all panel joints on top.</p> <p>All substrates for benchtops, cupboards and joinery to be E0 or E1 MDF unless otherwise noted.</p> <p>All substrates for benchtops and cupboards for food tenancies, wet areas and kitchens to be waterproof plywood or equal unless otherwise noted.</p> <p><b>Wall Finishes</b></p> <p>Fire indices of materials, lining and surface finishes to comply with specification C2D11 of the NCC.</p> <p>Glazing partitions to be provided with manifestations, or markings of glass between 700-1200mm above the floor with an opaque band 20mm in height to prevent the pane being mistaken as a doorway or opening.</p> <p>Materials, linings and surface finishes used in the building will comply with the fire hazard properties in accordance with specification C2D11 of the NCC at completion of the project certification are to be submitted detailing compliance with this specification.</p> <p>All wet areas are required to be protected by a waterproof membrane which is turned up a minimum of 150mm at the floor/wall junction.</p> <p><b>Floor Finishes</b></p> <p>Refer to plans for floor finishes.</p> <p>All flooring is to be laid on clean, bound and appropriate substrates all flooring to be laid strictly in accordance with the manufacturer's instructions.</p> <p>Upon completion floor is to be cleaned as per manufacturer's instructions.</p> <p>Builder to assess whether floor needs to be topped to ensure a level surface is achieved between the existing floor and specified new floor finish prior to installing specified flooring, a recessed aluminium flatbar or similar demising strip to be provided at all floor finish junctions.</p> <p>Wet areas are to comply with the requirements of Part F2D2 of the NCC and protected in accordance with the relevant parts of AS3740.</p> <p>Refer to drawings for coving specification if applicable.</p> <p>All flooring penetrations to be treated in accordance with clause C4D15 of the NCC.</p> <p><b>TEMPLO DESIGN WILL NOT TAKE RESPONSIBILITY FOR PRIVATE CERTIFIERS NOT ISSUING AN OC WHICH MAY RESULT IN DELAYING TRADE.</b></p>	<p>All work to be in accordance with:</p> <ol style="list-style-type: none"> <li>National Construction Code (NCC).</li> <li>All relevant Australian standards (AS).</li> <li>All local bylaws including statutory regulations, local authority requirements and all conditions of councils or PCA's development / planning consent and the conditions of the construction certificate / building permit.</li> <li>All work to comply with the requirements of all other authorities and applicable laws including but not without limitation to any anti-discrimination legislation</li> <li>The Disability Discrimination Act *</li> </ol> <table border="1"> <thead> <tr> <th>STANDARD</th> <th>CODE</th> </tr> </thead> <tbody> <tr> <td>Design, Construction and Fit-out of food premises</td> <td>AS 4674</td> </tr> <tr> <td>Design for Access and Mobility apply.</td> <td>AS 1428.1 NCC - 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The NCC requires that disabled access is a key design consideration for both individuals stores and common areas. This documentation is not confirmation of and legal requirement and Templo Design will not be liable for any failure to comply with legislation or other regulatory requirements.</p>	STANDARD	CODE	Design, Construction and Fit-out of food premises	AS 4674	Design for Access and Mobility apply.	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THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED BY ANY MEANS (GRAPHIC, ELECTRICAL, OR MECHANICAL) WITHOUT PERMISSION FROM TEMPLO DESIGN</p> <p><b>DIMENSIONS</b> DIMENSIONS SHALL NOT BE OBTAINED BY SCALING. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE. SETOUT DIMENSIONS SHALL BE VERIFIED ON SITE PRIOR TO ANY WORK BEING CARRIED OUT. ANY PROBLEMS SHALL BE DIRECTED TO THE BUILDER FOR CLARIFICATION &amp; CORRECTION</p> <p><b>REAL PROPERTY DESCRIPTION</b></p> <p>LOT No: 14-17 &amp; 46-49 AREA: 4364m<sup>2</sup> RP No: RP16967 PARISH: Drayton COUNTY: Aubigny AUTHORITY: Toowoomba RC</p> <p><b>REVISION HISTORY</b></p> <table border="1"> <thead> <tr> <th>ISSUE</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td><b>A</b></td> <td>11/11/22</td> <td>Preliminary Issue_1</td> </tr> <tr> <td><b>S</b></td> <td>31/07/25</td> <td>Building A NC &amp; GPO's</td> </tr> <tr> <td><b>T</b></td> <td>21/10/25</td> <td>Bollards added</td> </tr> <tr> <td><b>U</b></td> <td>09/02/26</td> <td>Updated Dimensions</td> </tr> <tr> <td><b>V</b></td> <td>18/02/26</td> <td>Updated Dimensions</td> </tr> <tr> <td><b>W</b></td> <td>04/05/26</td> <td>Updated Carpark</td> </tr> <tr> <td><b>Y</b></td> <td>15/05/26</td> <td>Updated Bath 4 Landing</td> </tr> <tr> <td><b>Z</b></td> <td>19/05/26</td> <td>Updated Area Calcs</td> </tr> </tbody> </table> <p>JODIE MARK jodie@templodesign.com.au 07 3393 9159</p> <p><b>templo</b><sup>®</sup></p> <p>CYBER SERVICES GROUP QBCC: 15093960 ACN: 620 422 166 6/1631 WYNNUM ROAD, TINGALPA QUEENSLAND 4173 PH: (07) 3393 9159 cyberservicesgroup.com.au</p> <p>DRAWING TITLE</p> <p><b>GENERAL NOTES</b></p> <p>CLIENT Learning Pathways 49 Wallace Street Newtown Qld 4305</p> <p>SCALE AS SHOWN @A2</p> <p>19229 JOB No.</p> <p>Z REVISION</p> <p><b>SHEET</b></p> <p><b>1</b></p>	ISSUE	DATE	DESCRIPTION	<b>A</b>	11/11/22	Preliminary Issue_1	<b>S</b>	31/07/25	Building A NC & GPO's	<b>T</b>	21/10/25	Bollards added	<b>U</b>	09/02/26	Updated Dimensions	<b>V</b>	18/02/26	Updated Dimensions	<b>W</b>	04/05/26	Updated Carpark	<b>Y</b>	15/05/26	Updated Bath 4 Landing	<b>Z</b>	19/05/26	Updated Area Calcs
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## OPERATIONAL WORK, HEALTH & SAFETY NOTES

### 1. FALLS, SLIPS, TRIPS

#### a) WORKING AT HEIGHTS DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury wherever a person is required to work in a situation where falling more than two metres is a possibility.

#### DURING OPERATION OR MAINTENANCE

*For houses or other low-rise buildings where scaffolding is appropriate:*

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

*For buildings where scaffold, ladders, trestles are not appropriate:*

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

#### ANCHORAGE POINTS

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

#### b) SLIPPERY OR UNEVEN SURFACES

#### FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

#### FLOOR FINISHES By Owner

If designer has not yet been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS/NZ 197:1999 and AS/NZ 4586:2004.

#### STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

### 2. FALLING OBJECTS

#### LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work areas.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

#### BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

### 3. TRAFFIC MANAGEMENT

#### For building on a major road, narrow road or steeply sloping road:

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

#### For building where on-site loading/unloading is restricted:

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

#### For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

### 4. SERVICES

#### GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

#### Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warnings signs used prior to any construction, maintenance or demolition commencing.

#### Locations with overhead power lines:

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

### 5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or in the case of electrical equipment not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

### 6. HAZARDOUS SUBSTANCES

#### ASBESTOS

#### For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to:

1990 – it therefore may contain asbestos

1986 – it therefore is likely to contain asbestos

either in cladding material or in fire retardant insulation material. In either case the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

#### POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

#### TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

#### VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

#### SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protection against inhalation of harmful materials should be used when installing, removing or working near bulk insulation material.

#### TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

### 7. CONFINED SPACES

#### EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated areas should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

#### ENCLOSED SPACES

#### For buildings with enclosed spaces where maintenance or other access may be required:

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

#### SMALL SPACES

#### For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

### 8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

### 9. OPERATIONAL USE OF BUILDING

#### RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

#### NON-RESIDENTIAL BUILDINGS

#### For non-residential buildings where the end-use has not been identified:

This building has been designed to the requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.

#### For non-residential buildings where the end use is known:

This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

### 10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ3012 and all licensing requirements. All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

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#### REAL PROPERTY DESCRIPTION

LOT No: 14-17 & 46-49  
 AREA: 4364m<sup>2</sup>  
 RP No: RP16967  
 PARISH: Drayton  
 COUNTY: Aubigny  
 AUTHORITY: Toowoomba RC

#### REVISION HISTORY

ISSUE	DATE	DESCRIPTION
<b>A</b>	<b>11/11/22</b>	<b>Preliminary Issue_1</b>
<b>S</b>	<b>31/07/25</b>	<b>Building A NC &amp; GPO's</b>
<b>T</b>	<b>21/10/25</b>	<b>Ballards added</b>
<b>U</b>	<b>09/02/26</b>	<b>Updated Dimensions</b>
<b>V</b>	<b>18/02/26</b>	<b>Updated Dimensions</b>
<b>W</b>	<b>04/05/26</b>	<b>Updated Carpark</b>
<b>Y</b>	<b>15/05/26</b>	<b>Updated Bath 4 Landing</b>
<b>Z</b>	<b>19/05/26</b>	<b>Updated Area Calc's</b>

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 QUEENSLAND 4173  
 PH: (07) 3393 9159  
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#### DRAWING TITLE

#### OWHS NOTE

CLIENT  
 Learning Pathways  
 49 Wallace Street  
 Newtown Qld 4305

SCALE  
 AS SHOWN @A2

19229  
 JOB No.

Z  
 REVISION

#### SHEET

2

ISSUE FOR CONSTRUCTION.

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT

THIS INCLUDES (but is not excluded to):

OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS and DEMOLISHERS.

**PROPERTY DESCRIPTION**

LOT No Lot 14-17 & 46-49  
 STREET No 49  
 STREET NAME Wallace Street  
 LOCALITY Newtown Qld 4305  
 PARISH Drayton  
 COUNTY Aubigny  
 RP RP16967  
 AREA 4364m<sup>2</sup>

**NOTES**

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ALL SURVEY DATA TAKEN FROM DWG/PDF COPY BY OTHERS. CYBER DRAFTING & DESIGN TAKE NO RESPONSIBILITY OF THE PROPOSED SLAB & PAD LEVELS DUE TO THE POSSIBILITY OF IN-ACCURACY OF THE DISCLOSURE PLAN.

VERIFY ALL BEARINGS AND DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. ALL MISSING PEGS TO BE RE-INSTATED PRIOR TO ANY CONSTRUCTION. NOTIFY HEAD CONTRACTOR IMMEDIATELY OF ANY DISCREPANCIES IN SETOUT DIMENSIONS. DO NOT START CONSTRUCTION UNTIL ALL BOUNDARIES ARE CONFIRMED.

ENSURE ALL DRAWINGS AND ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITIES PRIOR TO USE.

ALL SITE DRAINAGE TO BE CHARGED TO STREET D TO LEGAL POINT OF DISCHARGE IN COMPLIANCE WITH AS/NZ 3500 &/OR NCC 2019 VOL. 2. PARTS 3.1.2 & 3.5.2

**AREA ANALYSIS**

TOTAL SITE AREA	4368m <sup>2</sup>
<b>BUILT AREA</b>	
EXISTING CHILD CARE	889m <sup>2</sup>
EXISTING RESIDENTIAL HOUSE	180m <sup>2</sup>
TOTAL BUILDING AREA	1069m <sup>2</sup>
<b>PROPOSED</b>	
EXISTING CHILD CARE	889m <sup>2</sup>
PROPOSED CHILD CARE	153m <sup>2</sup>
NEW DECKS	148m <sup>2</sup>
TOTAL BUILDING AREA	1190m <sup>2</sup>
<b>GFA</b>	
EXISTING	647m <sup>2</sup>
PROPOSED	800m <sup>2</sup>
<b>HARDSTAND (driveway/path)</b>	
EXISTING	
CHILD CARE	885m <sup>2</sup>
RESIDENTIAL HOUSE	25m <sup>2</sup>
TOTAL HARDSTAND	910m <sup>2</sup>
<b>PROPOSED</b>	
TOTAL HARDSTAND	1156m <sup>2</sup>
<b>TOTAL USABLE OUTDOOR PLAY AREA</b>	
EXISTING	1300m <sup>2</sup>
(min 672m <sup>2</sup> required for 96 places)	
<b>PROPOSED</b>	1689m <sup>2</sup>
(min 833m <sup>2</sup> required for 119 places)	

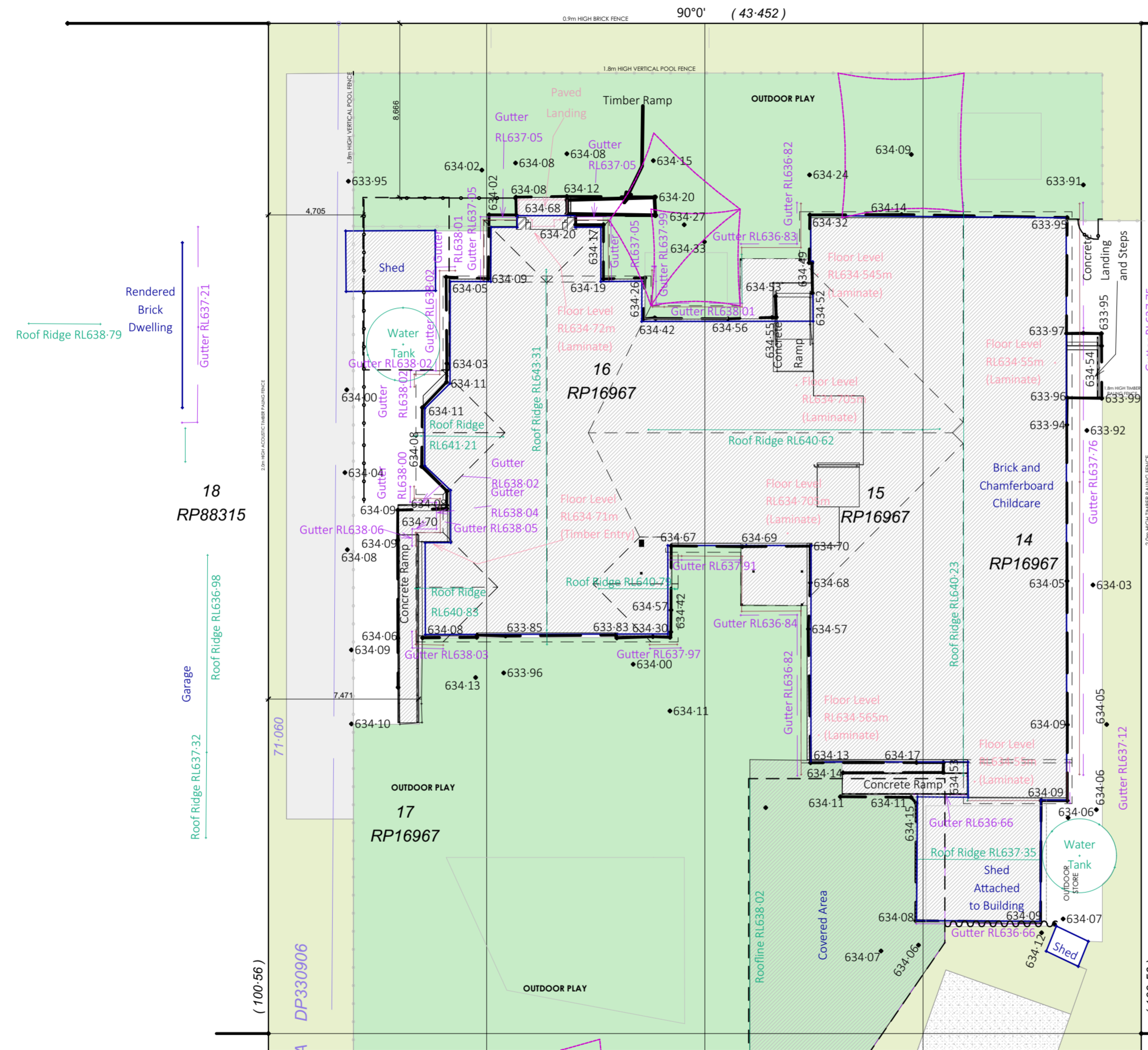
**PARKING SCHEDULE**

<b>EXISTING</b>	
STAFF/VISITOR PARKING	21 SPACES
ACCESSIBLE PARKING	1 SPACE
TOTAL	22 SPACES
<b>PROPOSED</b>	
STAFF/VISITOR PARKING	30 SPACES
ACCESSIBLE PARKING	1 SPACE
TOTAL	31 SPACES

	EXISTING FOOTPRINT
	BUILDING FOOTPRINT
	OUTDOOR PLAYSCAPE
	LANDSCAPING
	DRIVEWAY

**RUSSELL STREET**

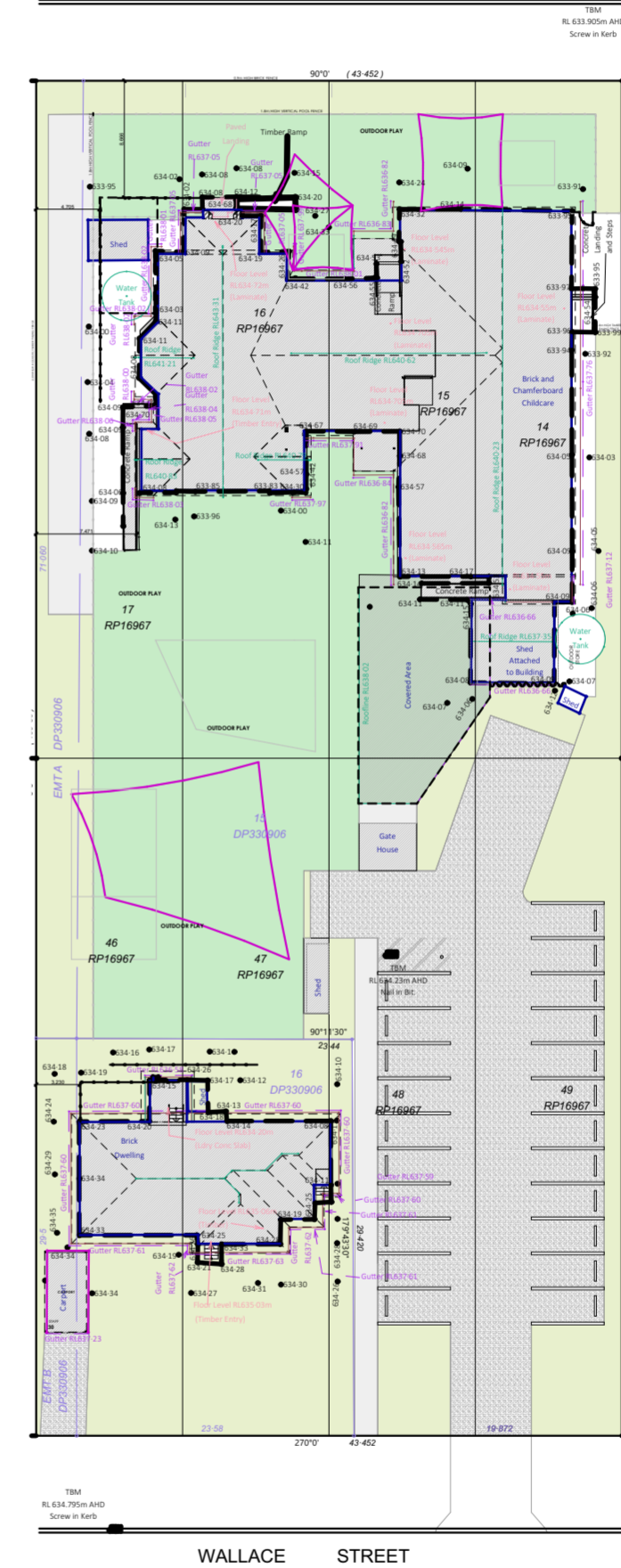
TBM  
 RL 633.905m AHD  
 Screw in Kerb



**EXISTING SITE PLAN - BUILDING A**

Scale: 1:200

**RUSSELL STREET**



**OVERALL SITE PLAN**

Scale: 1:500

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**REAL PROPERTY DESCRIPTION**

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**REVISION HISTORY**

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DRAWING TITLE

**EXISTING SITE PLAN - BUILDING A**

CLIENT  
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 49 Wallace Street  
 Newtown Qld 4305

SCALE  
 AS SHOWN @ A2

19229  
 JOB No.



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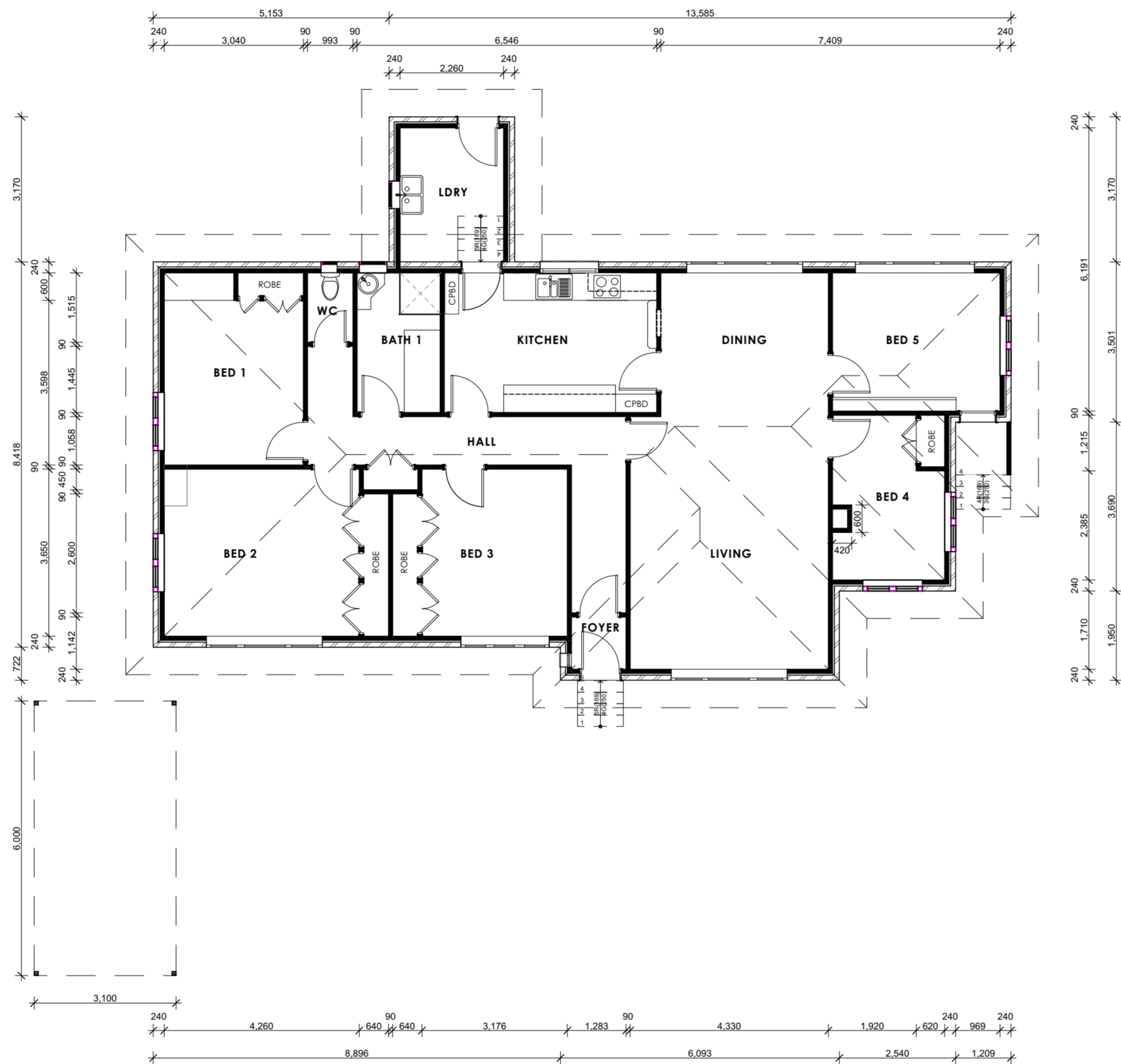
3

ISSUE FOR CONSTRUCTION.





**EXISTING GROUND FLOOR - BUILDING B**  
Scale: 1:100



AREA - EXISTING	
ID	AREA
Building A	646.2
Building B	152.4
	<b>798.6 m<sup>2</sup></b>

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SCALE  
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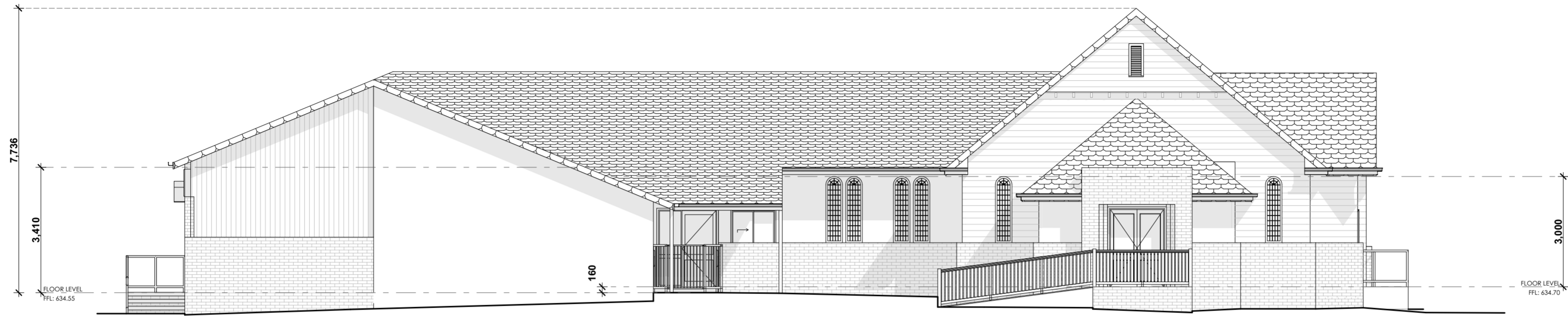


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JOB No.

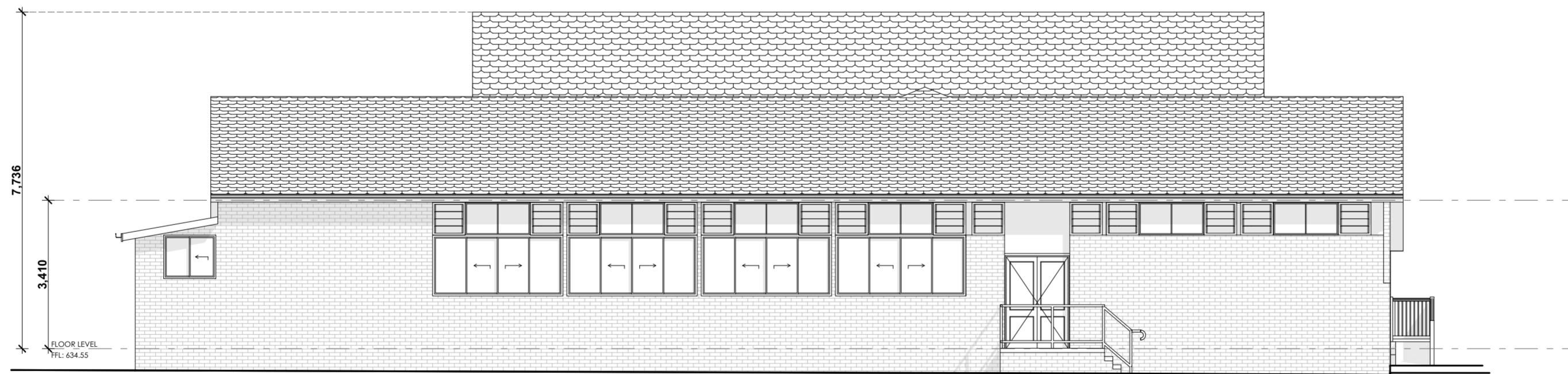
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6



**NORTH ELEVATION - BUILDING A**  
Scale: 1:100



**EAST ELEVATION - BUILDING A**  
Scale: 1:100

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**DRAWING TITLE**

**EXISTING ELEVATIONS - BUILDING A**

CLIENT  
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49 Wallace Street  
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SCALE  
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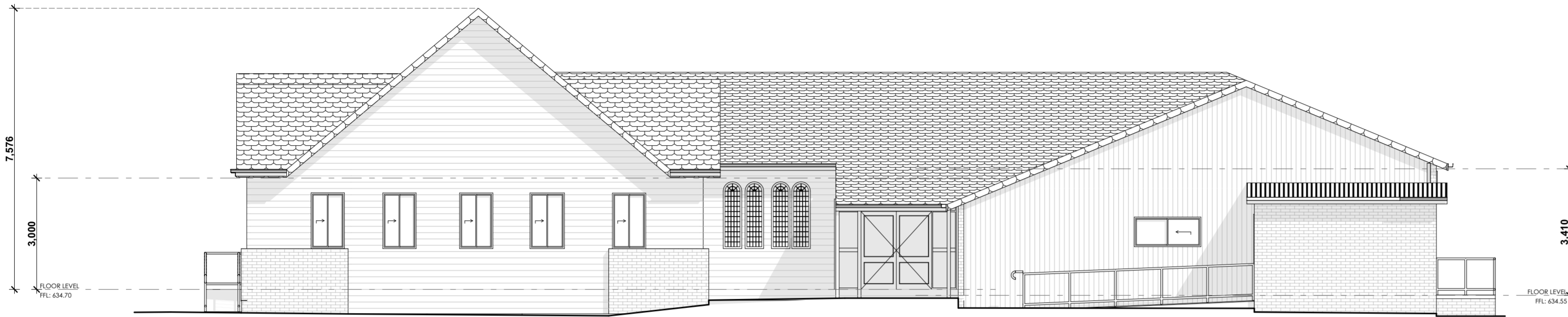
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7

ISSUE FOR CONSTRUCTION.



**SOUTH ELEVATION - BUILDING A**  
Scale: 1:100



**WEST ELEVATION - BUILDING A**  
Scale: 1:100

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**EXISTING ELEVATIONS - BUILDING A**

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8

ISSUE FOR CONSTRUCTION.



**SOUTH ELEVATION - BUILDING B**  
Scale: 1:100



**WEST ELEVATION - BUILDING B**  
Scale: 1:100



**NORTH ELEVATION - BUILDING B**  
Scale: 1:100



**EAST ELEVATION - BUILDING B**  
Scale: 1:100

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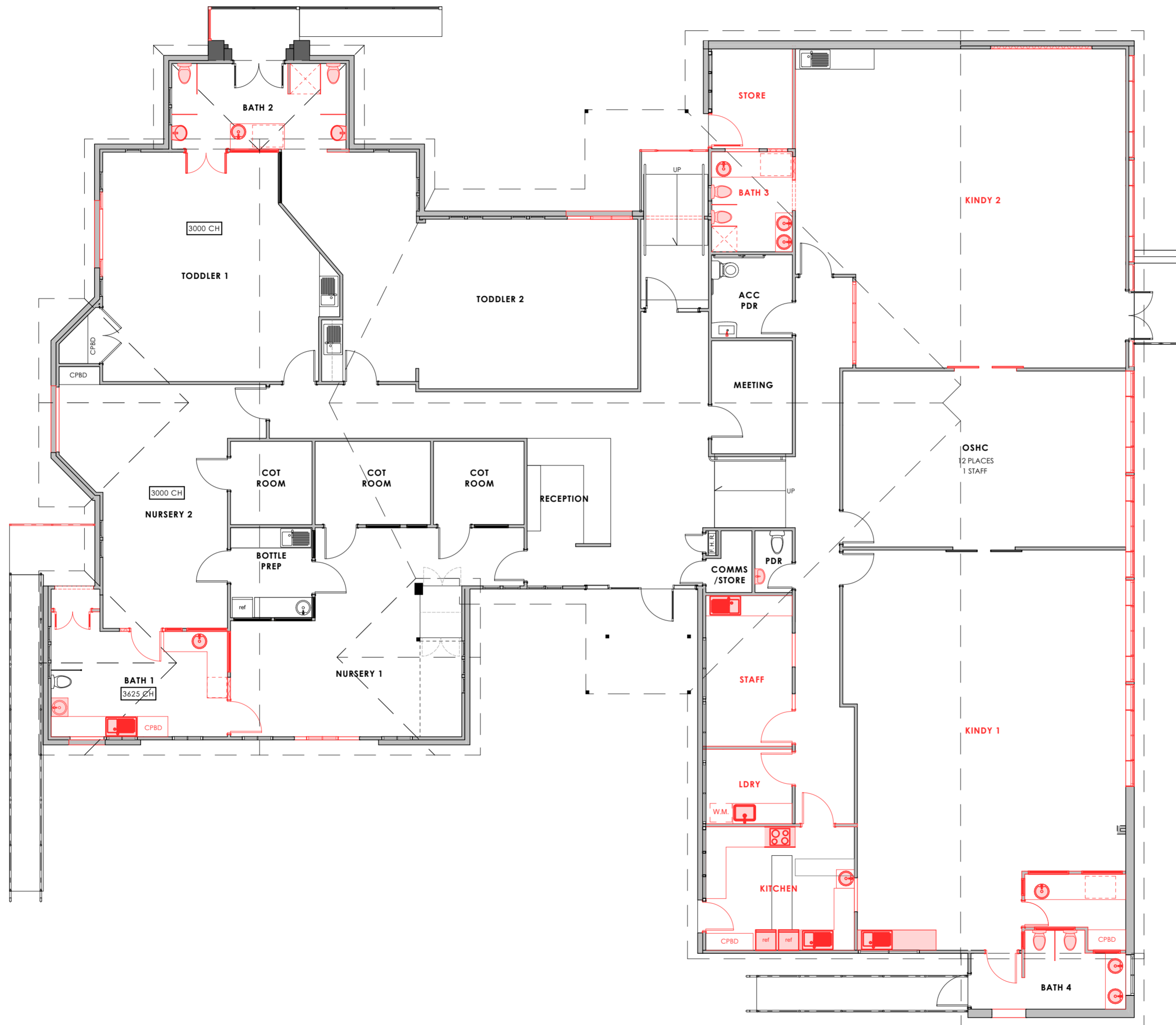
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- EXISTING ELEMENTS
- ELEMENTS TO BE DEMOLISHED
- PROPOSED ELEMENTS



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DRAWING TITLE

**DEMOLITION PLAN - CC**

CLIENT  
 Learning Pathways  
 49 Wallace Street  
 Newtown Qld 4305

SCALE  
 AS SHOWN @ A2



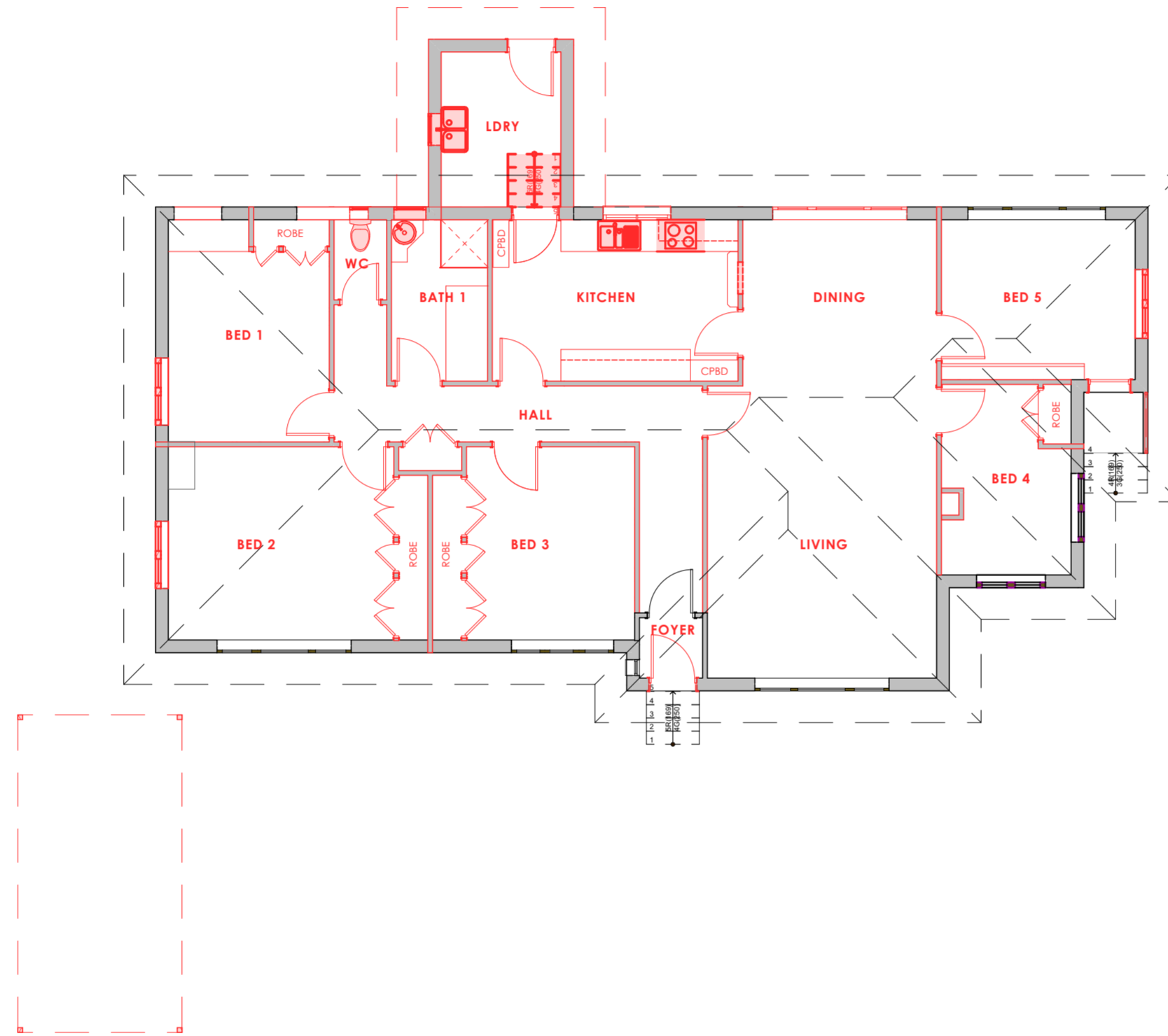
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10

- EXISTING ELEMENTS
- ELEMENTS TO BE DEMOLISHED
- PROPOSED ELEMENTS



**DEMOLITION PLAN - HOUSE**  
Scale: 1:100

ISSUE FOR CONSTRUCTION.

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**DEMOLITION PLAN - HOUSE**

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 Newtown Qld 4305

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 AS SHOWN @ A2



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**PROPERTY DESCRIPTION**

LOT No Lot 14-17 & 46-49  
 STREET No 49  
 STREET NAME Wallace Street  
 LOCALITY Newtown Qld 4305  
 PARISH Drayton  
 COUNTY Aubigny  
 RP RP16967  
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ALL SITE DRAINAGE TO BE CHARGED TO STREET D TO LEGAL POINT OF DISCHARGE IN COMPLIANCE WITH AS/NZ 3500 &/OR NCC 2019 VOL. 2, PARTS 3.1.2 & 3.5.2

**AREA ANALYSIS**

TOTAL SITE AREA	4368m <sup>2</sup>
<b>BUILT AREA</b>	
EXISTING CHILD CARE	889m <sup>2</sup>
EXISTING RESIDENTIAL HOUSE	180m <sup>2</sup>
TOTAL BUILDING AREA	1069m <sup>2</sup>
<b>PROPOSED</b>	
EXISTING CHILD CARE	889m <sup>2</sup>
PROPOSED CHILD CARE	153m <sup>2</sup>
NEW DECKS	148m <sup>2</sup>
TOTAL BUILDING AREA	1190m <sup>2</sup>
<b>GFA</b>	
EXISTING	647m <sup>2</sup>
PROPOSED	800m <sup>2</sup>
<b>HARDSTAND (driveway/path)</b>	
EXISTING	
CHILD CARE	885m <sup>2</sup>
RESIDENTIAL HOUSE	25m <sup>2</sup>
TOTAL HARDSTAND	910m <sup>2</sup>
<b>PROPOSED</b>	
TOTAL HARDSTAND	1156m <sup>2</sup>
<b>TOTAL USABLE</b>	
<b>OUTDOOR PLAY AREA</b>	
EXISTING	1300m <sup>2</sup> (min 672m <sup>2</sup> required for 96 places)
<b>PROPOSED</b>	1689m <sup>2</sup> (min 833m <sup>2</sup> required for 119 places)

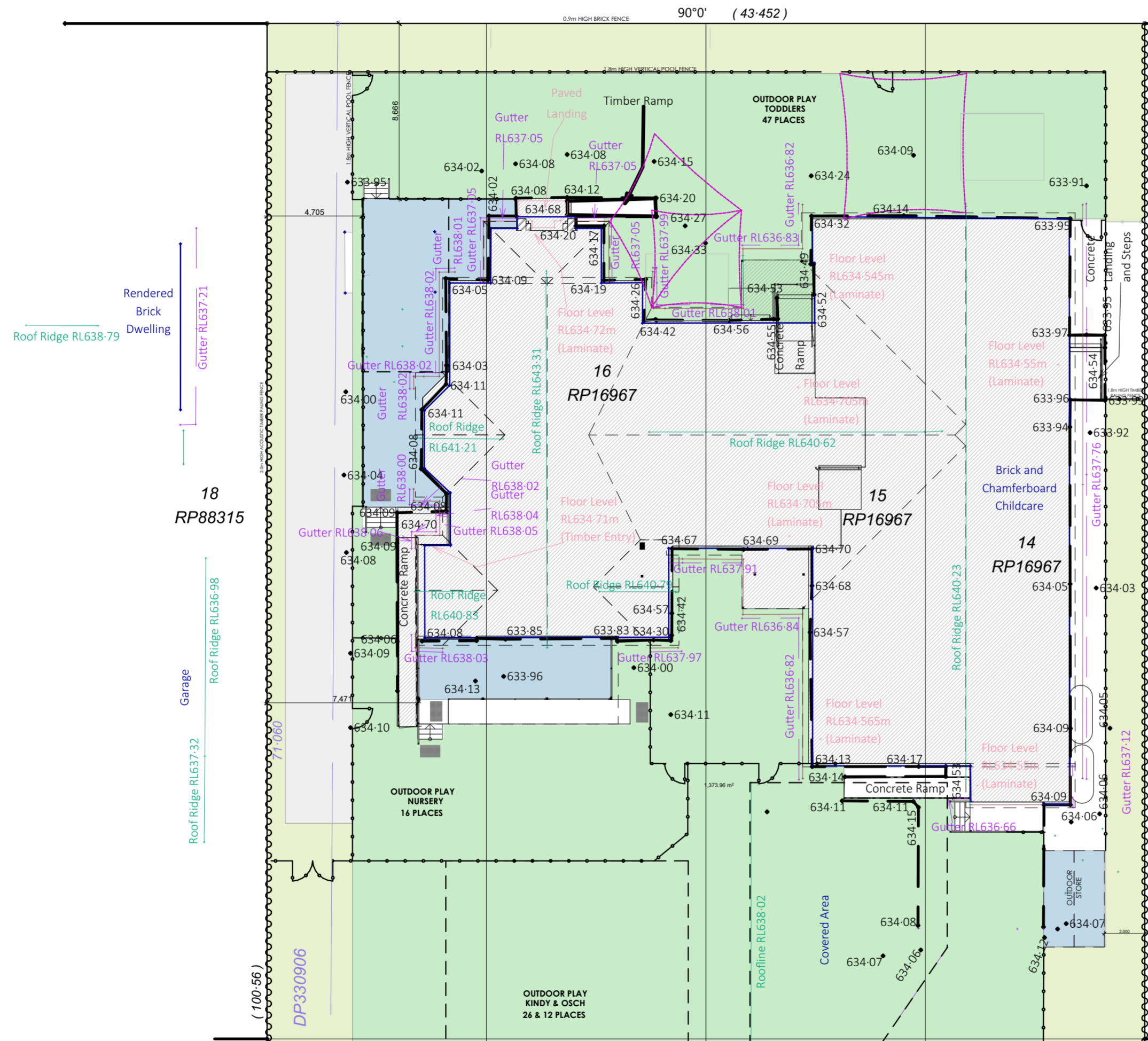
**PARKING SCHEDULE**

<b>EXISTING</b>	
STAFF/VISITOR PARKING	21 SPACES
ACCESSIBLE PARKING	1 SPACE
TOTAL	22 SPACES
<b>PROPOSED</b>	
STAFF/VISITOR PARKING	30 SPACES
ACCESSIBLE PARKING	1 SPACE
TOTAL	31 SPACES

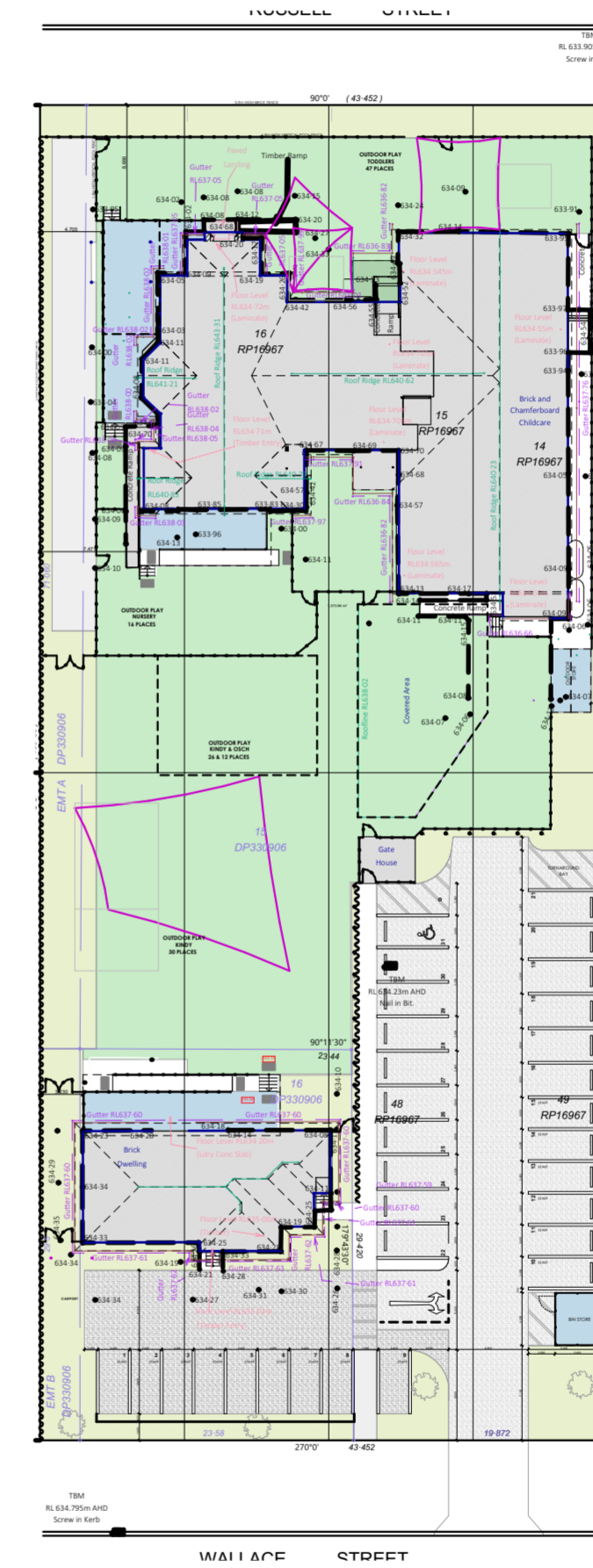
- EXISTING FOOTPRINT
- BUILDING FOOTPRINT
- OUTDOOR PLAYSCAPE
- LANDSCAPING
- DRIVEWAY
- PATH - 8FC
- BOLLARD AT MAXIMUM 1800mm SPACING

**RUSSELL STREET**

TBM  
 RL 633.905m AHD  
 Screw in Kerb



**PROPOSED SITE PLAN - BUILDING A**  
 Scale: 1:200



**OVERALL SITE PLAN**  
 Scale: 1:500

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**REAL PROPERTY DESCRIPTION**

LOT No: 14-17 & 46-49  
 AREA: 4364m<sup>2</sup>  
 RP No: RP16967  
 PARISH: Drayton  
 COUNTY: Aubigny  
 AUTHORITY: Toowoomba RC

**REVISION HISTORY**

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W	04/05/26	Updated Carpark
Y	15/05/26	Updated Bath 4 Landing
Z	19/05/26	Updated Area Calcs

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 jodie@templo.com.au  
 07 3393 9159



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 ACN: 620 422 166  
 6/1631 WYNNUM ROAD, TINGALPA  
 QUEENSLAND 4173  
 PH: (07) 3393 9159  
 cyberservicesgroup.com.au

DRAWING TITLE

**PROPOSED SITE PLAN - BUILDING A**

CLIENT  
 Learning Pathways  
 49 Wallace Street  
 Newtown Qld 4305

SCALE  
 AS SHOWN @ A2

19229  
 JOB No.



Z  
 REVISION

SHEET

12

ISSUE FOR CONSTRUCTION.

**PROPERTY DESCRIPTION**

LOT No Lot 14-17 & 46-49  
 STREET No 49  
 STREET NAME Wallace Street  
 LOCALITY Newtown Qld 4305  
 PARISH Drayton  
 COUNTY Aubigny  
 RP RP16967  
 AREA 4364m<sup>2</sup>

**NOTES**

USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE DRAWINGS FROM PLANS

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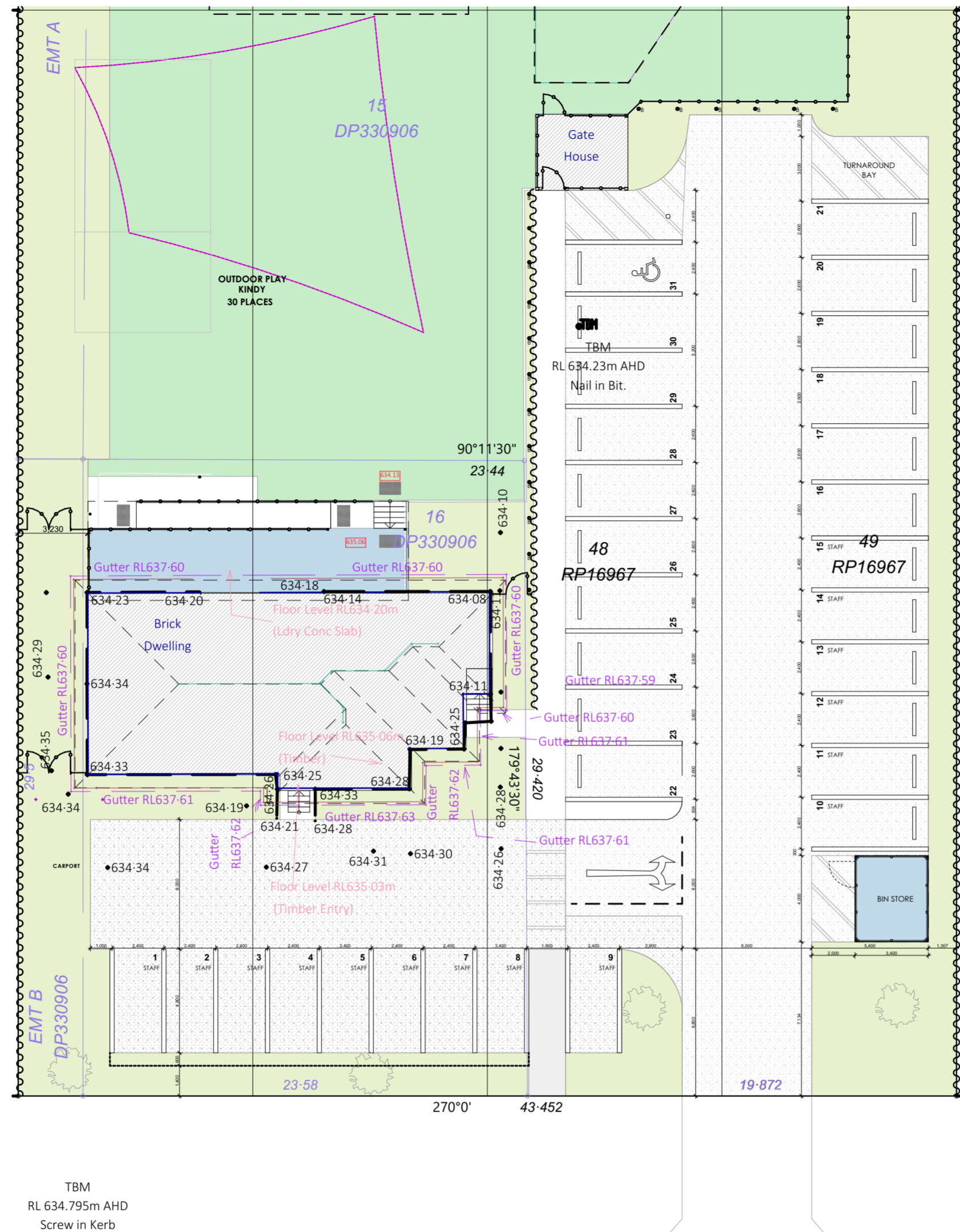
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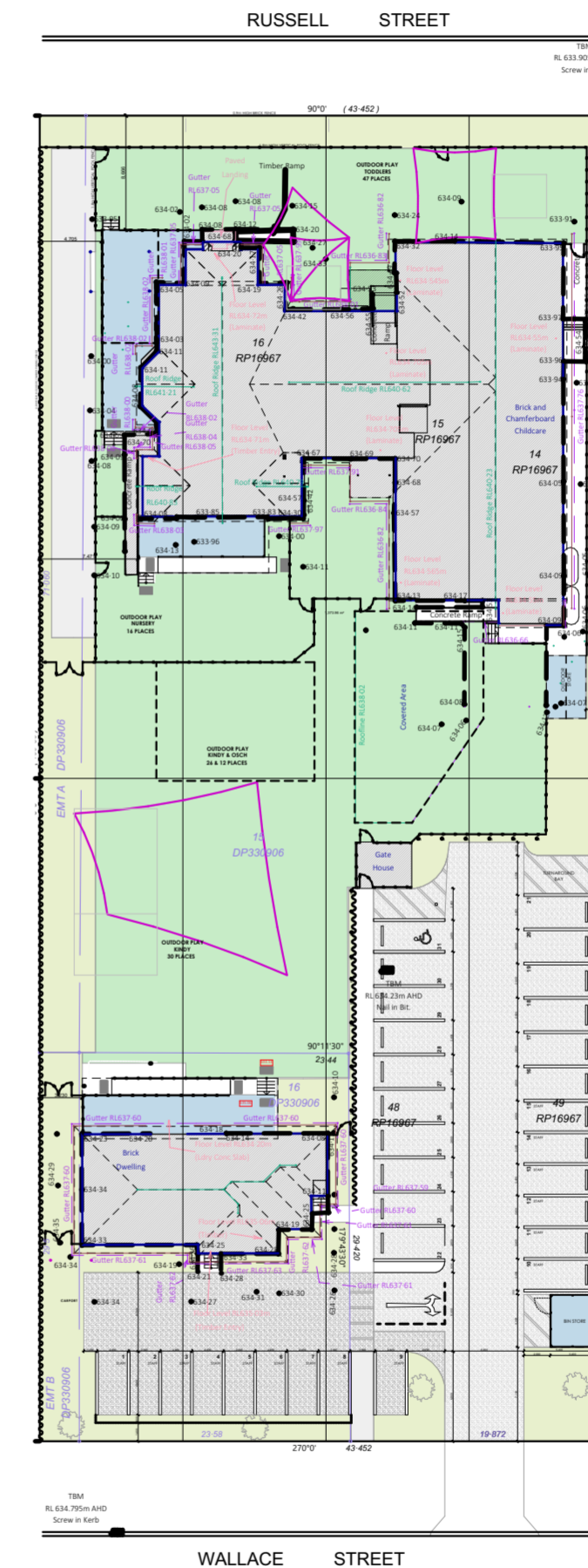
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<b>TOTAL</b>	31 SPACES

-  EXISTING FOOTPRINT
-  BUILDING FOOTPRINT
-  OUTDOOR PLAYSCAPE
-  LANDSCAPING
-  DRIVEWAY



**PROPOSED SITE PLAN**  
Scale: 1:200



**OVERALL SITE PLAN**  
Scale: 1:500

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**REAL PROPERTY DESCRIPTION**

LOT No: 14-17 & 46-49  
 AREA: 4364m<sup>2</sup>  
 RP No: RP16967  
 PARISH: Drayton  
 COUNTY: Aubigny  
 AUTHORITY: Toowoomba RC

**REVISION HISTORY**

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 cyberservicesgroup.com.au

DRAWING TITLE

**PROPOSED SITE PLAN - BUILDING B**

CLIENT  
 Learning Pathways  
 49 Wallace Street  
 Newtown Qld 4305

SCALE  
 AS SHOWN @ A2

19229  
 JOB No.



Z  
 REVISION

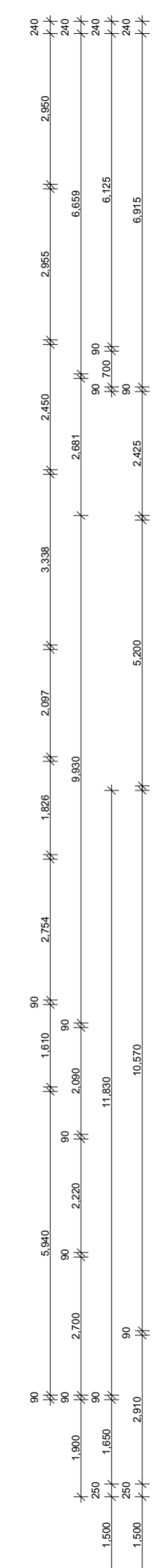
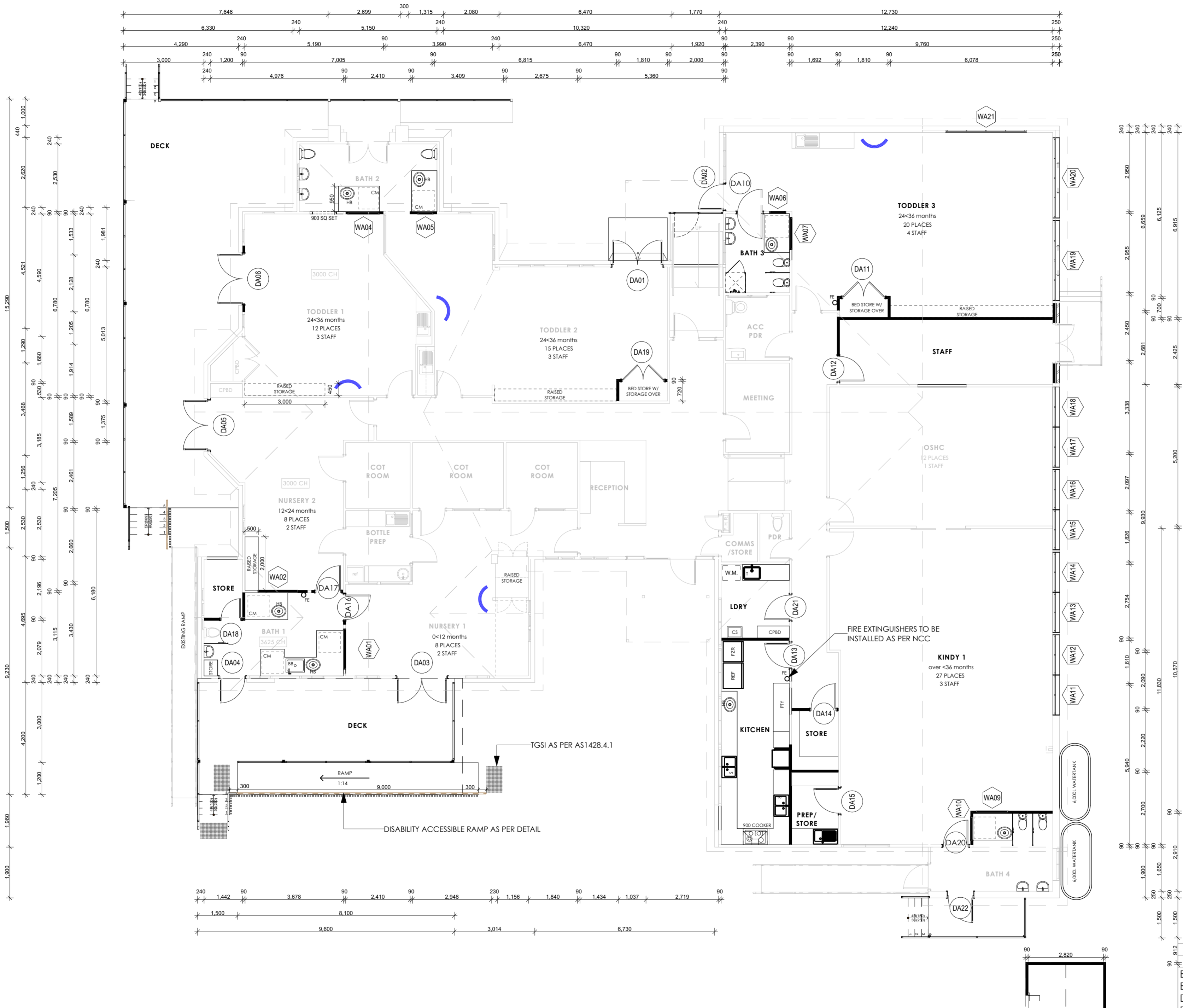
SHEET

13

ISSUE FOR CONSTRUCTION.

# PROPOSED FLOOR PLAN - BUILDING A

Scale: 1:100



AREA - NEW	
ID	AREA
Building A	651.7
Building B	153.1
Deck 1	69.6
Deck 3	46.6
Deck 2	31.6
<b>952.6 m<sup>2</sup></b>	

**GENERAL NOTES**

- CEILING HEIGHTS ARE TO BE CONFIRMED AS PER REFLECTED CEILING PLANS.
- ALL DIMENSIONS ARE TO WALL STRUCTURAL FRAMES.
- ALL DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO CABINERY CONSTRUCTION.
- REFER TO CABINET MAKER PLANS FOR JOINERY DETAILS.
- REFER TO SETOUT PLAN FOR ADDITIONAL DIMENSIONS.
- EXISTING STRUCTURE AND FIXTURES ARE SHOWN AS INDICATIVE AND MAY AFFECT SURROUNDING ELEMENTS. ADJACENT WALLS, DOORS, AND WINDOWS MUST BE SITE MEASURED.
- ALL FENCING TO BE COMPLIANT WITH AS 1926.1.
- TACTILE GROUND SURFACE INDICATORS AS PER AS/NZS 1428.4.1.
- EXISTING LOAD BEARING MEMBERS HAVE NOT BEEN IDENTIFIED. BUILDER TO BE CONFIRMED ON SITE PRIOR TO ANY DEMOLITION.

 CONVEX MIRROR

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 RP No: RP16967  
 PARISH: Drayton  
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DRAWING TITLE  
**PROPOSED FLOOR PLAN - BUILDING A**  
 CLIENT  
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 49 Wallace Street  
 Newtown Qld 4305

SCALE  
 AS SHOWN @ A2

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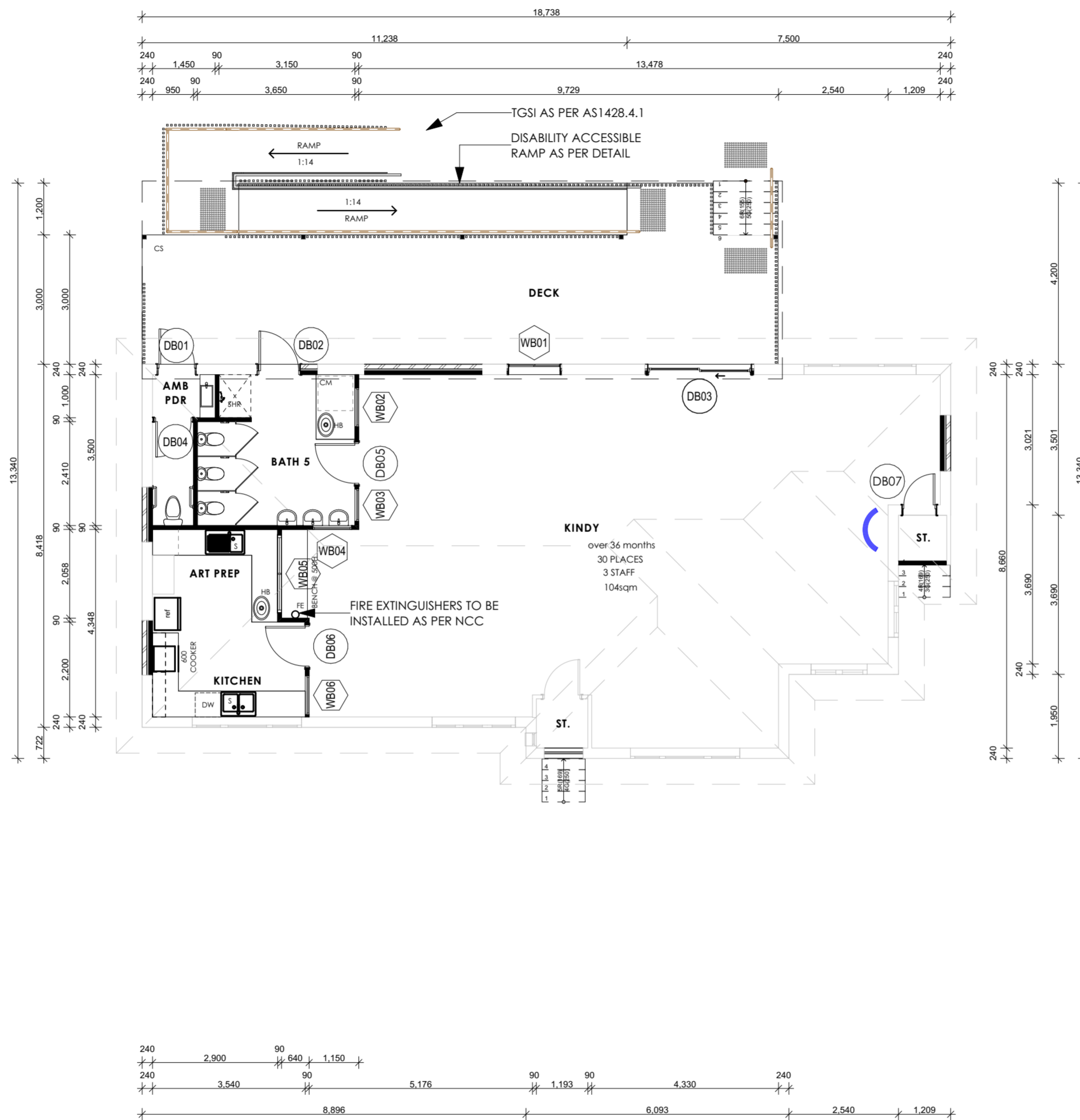
SHEET

**14**

ISSUE FOR CONSTRUCTION.

# PROPOSED FLOOR PLAN - BUILDING B

Scale: 1:100



## GENERAL NOTES

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 CONVEX MIRROR

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## REAL PROPERTY DESCRIPTION

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 AREA: 4364m<sup>2</sup>  
 RP No: RP16967  
 PARISH: Drayton  
 COUNTY: Aubigny  
 AUTHORITY: Toowoomba RC

## REVISION HISTORY

ISSUE	DATE	DESCRIPTION
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 07 3393 9159



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 6/1631 WYNNUM ROAD, TINGALPA  
 QUEENSLAND 4173  
 PH: (07) 3393 9159  
 cyberservicesgroup.com.au

## DRAWING TITLE

## PROPOSED FLOOR PLAN - BUILDING B

CLIENT  
 Learning Pathways  
 49 Wallace Street  
 Newtown Qld 4305

SCALE  
 AS SHOWN @ A2

19229  
 JOB No.



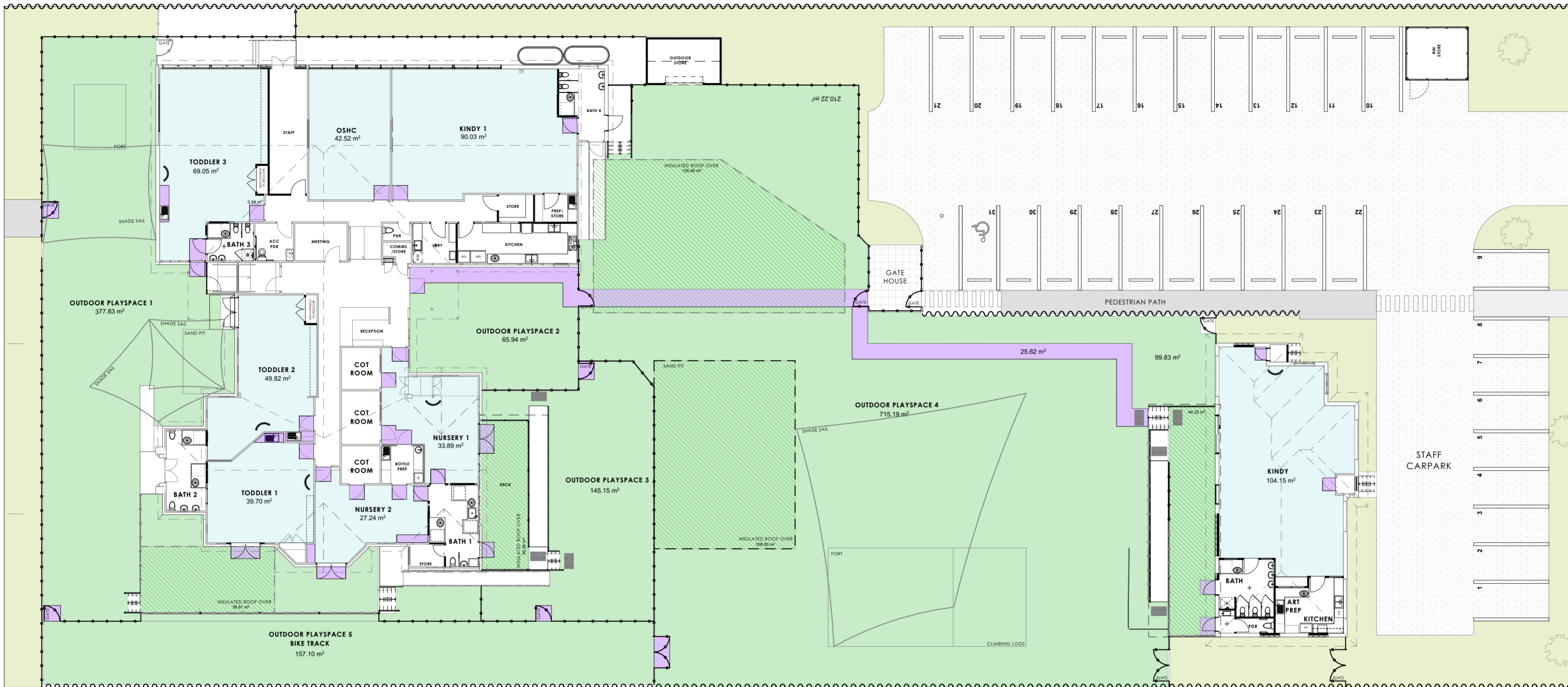
Z  
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AREA - NEW	
ID	AREA
Building A	651.7
Building B	153.1
Deck 1	69.6
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<b>952.6 m<sup>2</sup></b>	

SHEET

15

ISSUE FOR CONSTRUCTION.



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DRAWING TITLE

**AREA CALCULATIONS**

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 AS SHOWN @ A2

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 REVISION

SHEET

16

**132 PLACES**

AREA REQUIRED		UNENCUMBERED AREA PROVIDED	
INDOOR	429.00sqm	INDOOR	456.40sqm
OUTDOOR	924.00sqm	OUTDOOR	1689.27sqm (354.67sqm COVERED)

- UNENCUMBERED INDOOR AREA
- UNENCUMBERED OUTDOOR AREA
- ENCUMBERED AREA (EXCLUDED FROM CALCULATIONS)
- COVERED OUTDOOR AREA

1200H VERTICAL TUBULAR ALUMINIUM FENCING/GATE

1800H TIMBER PALING FENCING

**STATEMENT OF COMPLIANCE**

FACILITY: LEARNING PATHWAYS  
 ADDRESS: 202 RUSSELL STREET NEWTOWN QLD 4305

Persuant to the provisions of Education and Care Services National Regulations 2011 SI 653 (current version for 1 September 2025) Part 2.2 Service Approvals 25. Children and Young Persons (Care & Protection) Act 1998 (v.2025) and the education and Care Services National Regulations

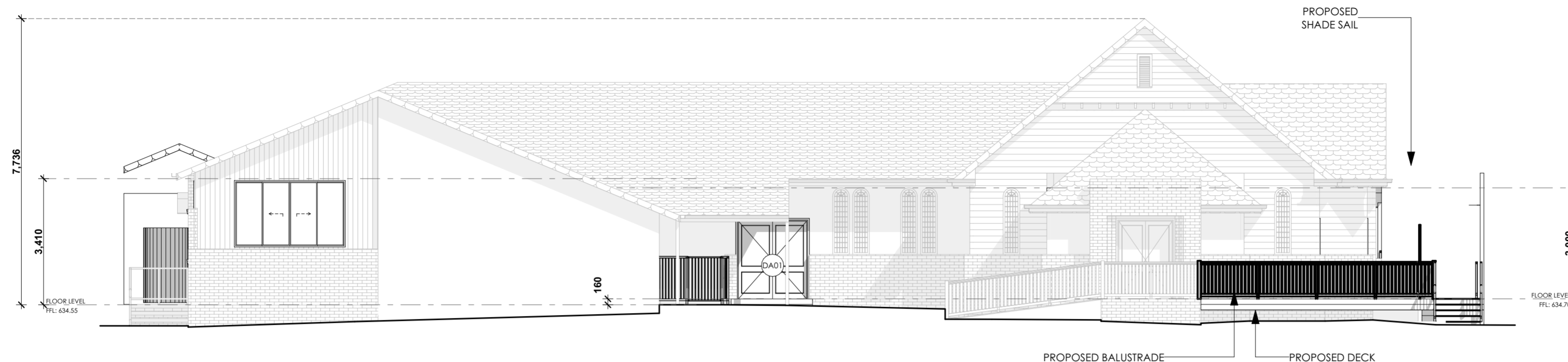
I, Jodie Mark of  
 Templo Design  
 Unit 6, 1631 Wynnum Road  
 Tingalpa QLD 4173  
 P. 0400 404 135  
 E. jodie@templodesign.com.au

Full Member of the Building Designers Australia No. 3027 Attained the Diploma of Building Design  
 QBCC Building Design - Medium Rise Licence No. 15385501

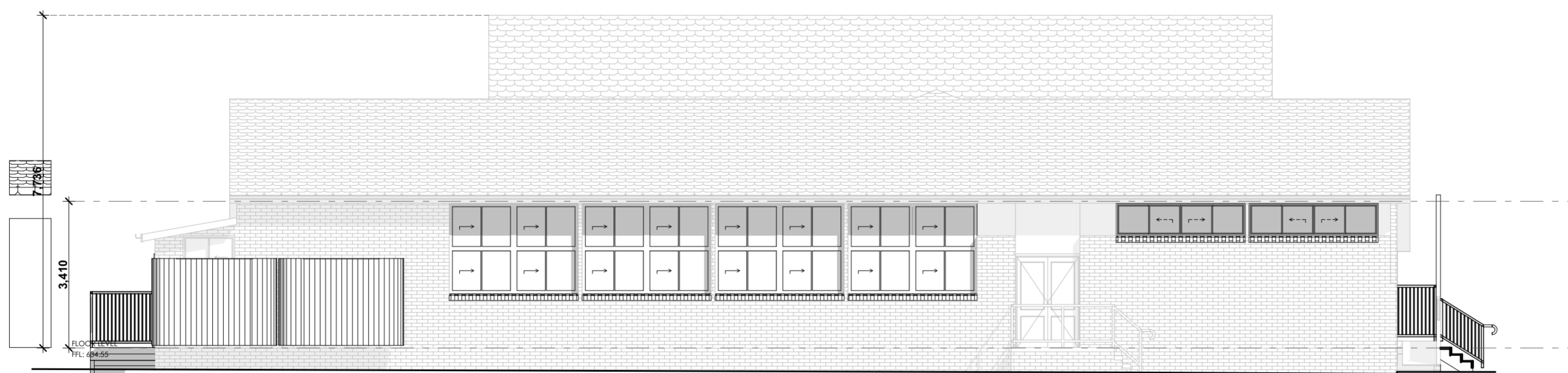
Hereby certify that the internal activity area of 456.40sqm and external outdoor playspace of 1710.10sqm as shown on this plan is accurate, and that the total unencumbered area can accommodate upto 132 children in accordance with the above Act and Regulations.

Jodie Mark of Templo Design  
 15/01/2026

ISSUE FOR CONSTRUCTION.



**NORTH ELEVATION - BUILDING A**  
Scale: 1:100



**EAST ELEVATION - BUILDING A**  
Scale: 1:100

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DRAWING TITLE

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REVISION

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17

ISSUE FOR CONSTRUCTION.



**SOUTH ELEVATION - BUILDING A**  
Scale: 1:100



**WEST ELEVATION - BUILDING A**  
Scale: 1:100

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Z  
REVISION

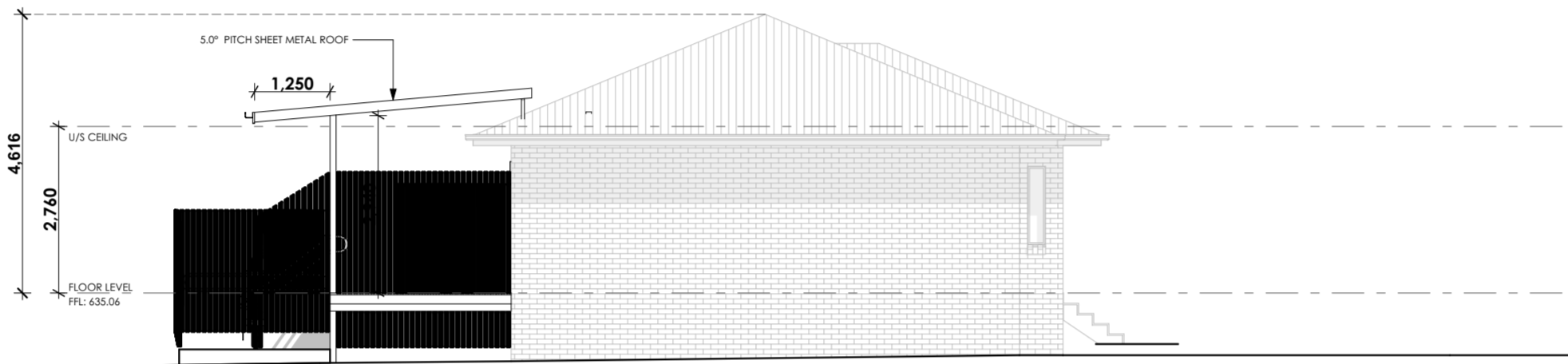
SHEET

18

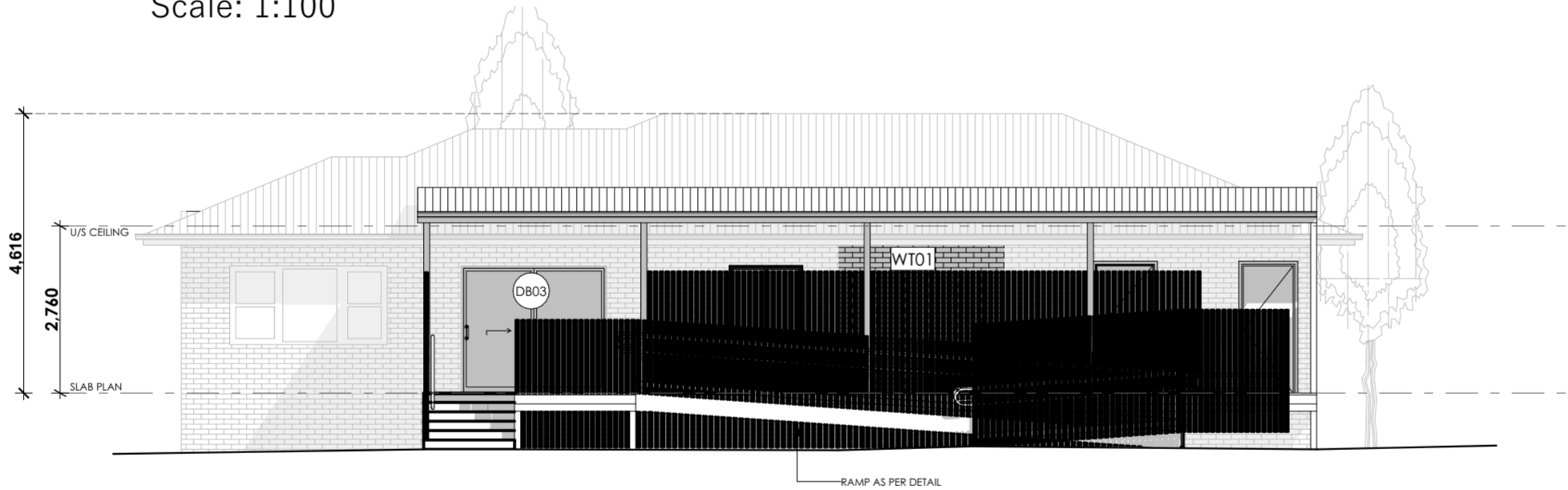
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**SOUTH ELEVATION - BUILDING B**  
Scale: 1:100



**WEST ELEVATION - BUILDING B**  
Scale: 1:100



**NORTH ELEVATION - BUILDING B**  
Scale: 1:100



**EAST ELEVATION - BUILDING B**  
Scale: 1:100

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**REAL PROPERTY DESCRIPTION**

LOT No: 14-17 & 46-49  
AREA: 4364m<sup>2</sup>  
RP No: RP16967  
PARISH: Drayton  
COUNTY: Aubigny  
AUTHORITY: Toowoomba RC

**REVISION HISTORY**

ISSUE	DATE	DESCRIPTION
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QUEENSLAND 4173  
PH: (07) 3393 9159  
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DRAWING TITLE

**PROPOSED ELEVATIONS - BUILDING B**

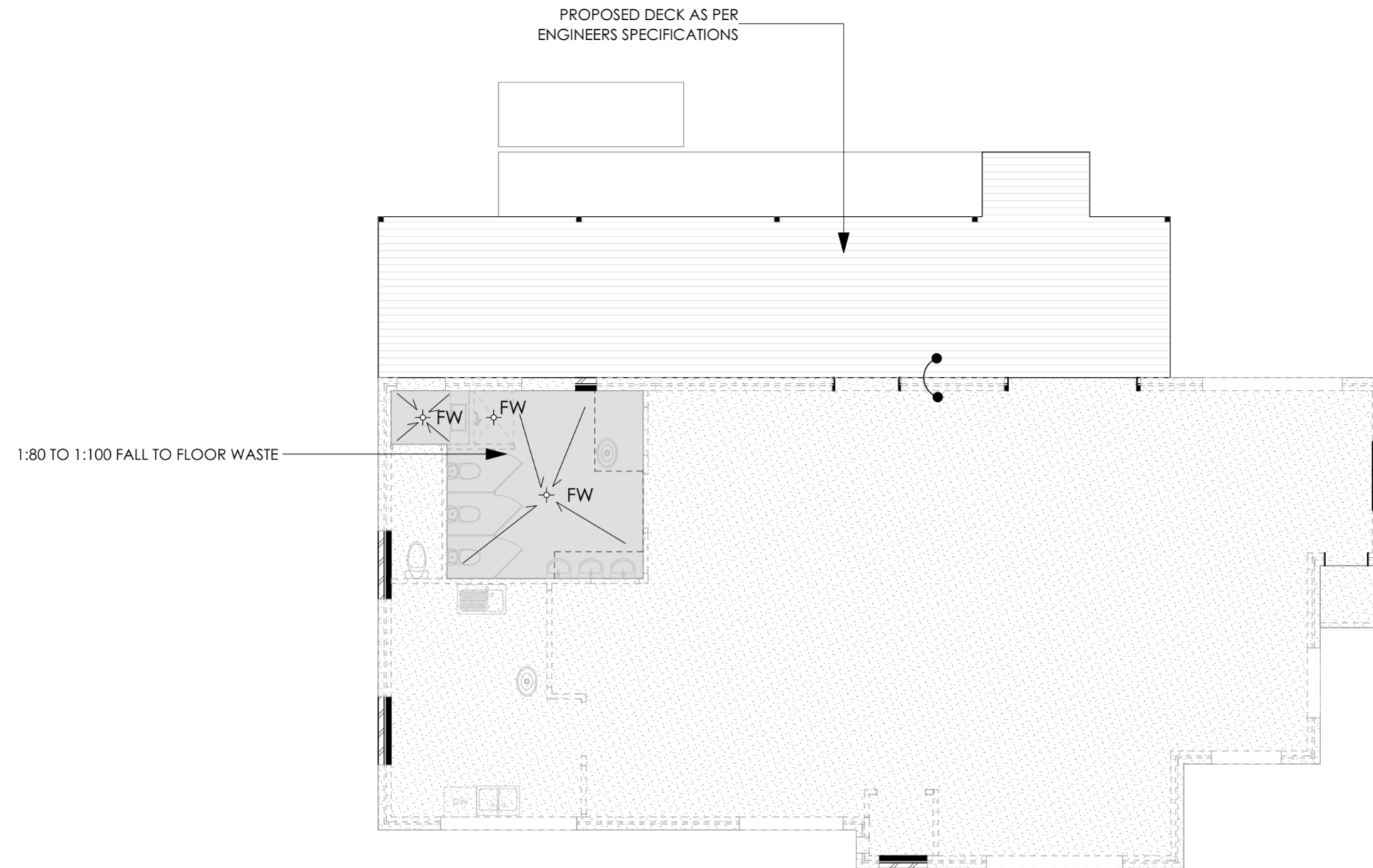
CLIENT  
Learning Pathways  
49 Wallace Street  
Newtown Qld 4305





SCALE  
AS SHOWN @ A2

19229 JOB No. Z REVISION



**NOTE**  
 \* REFER TO ENGINEERS REPORT FOR FOOTING & SLAB DETAILS, EARTHSTAKE TIED TO RIO BAR.  
 \* IF FOR FOOTING & SLAB, EXISTING LOAD BEARING MEMBERS HAVE NOT BEEN IDENTIFIED, BUILDER TO BE CONFIRMED ON SITE PRIOR TO ANY DEMOLITION.  
 \* INDICATED EXISTING FLOOR STRUCTURE, TO BE INSTALLED, MODIFIED OR PER DRAWING SPECIFICATIONS. 1:80 TO 1:100 FALL TO FLOOR WASTE.  
 \* METHOD OF MODIFICATION IS TO BE DETERMINED ON SITE BY BUILDER/ENGINEER



-  EXISTING SLAB
-  EXISTING WET AREA SETDOWN 50mm
-  PROPOSED APPROXIMATE LOCATION OF PACKING EXISTING WET AREA TO BE FLUSH WITH EXISTING SLAB
-  PROPOSED WET AREA SETDOWN 50mm INTO EXISTING SLAB

**SLAB PLAN - BUILDING B**  
 Scale: 1:100



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**PROPOSED SLAB PLAN - BUILDING B**

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**PROPOSED FLOOR FRAMING BUILDING A**

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 Learning Pathways  
 49 Wallace Street  
 Newtown Qld 4305

SCALE  
 AS SHOWN @ A2

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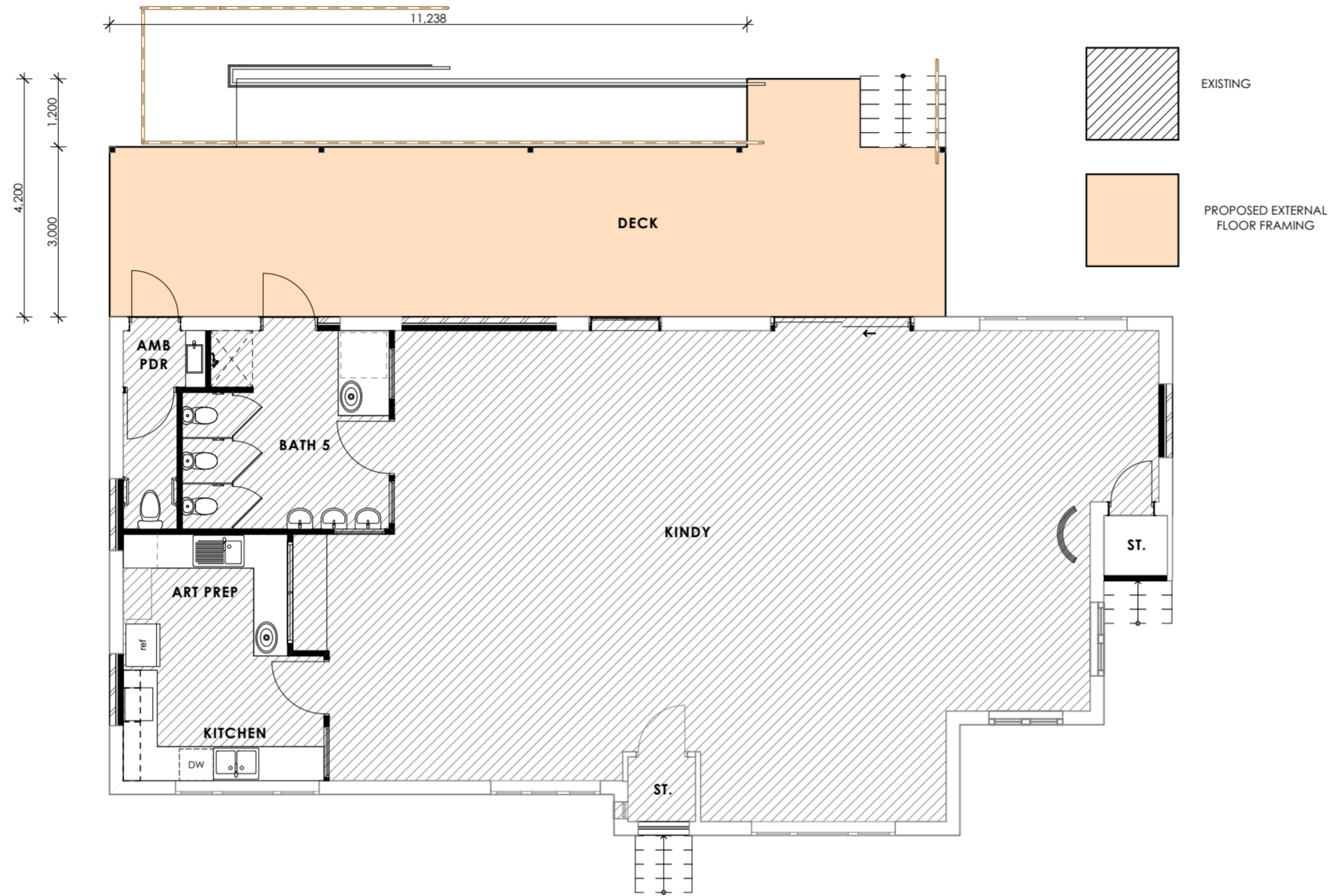
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**PROPOSED FLOOR FRAMING BUILDING A**  
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**PROPOSED FLOOR FRAMING BUILDING B**

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 Newtown Qld 4305

SCALE  
 AS SHOWN @ A2

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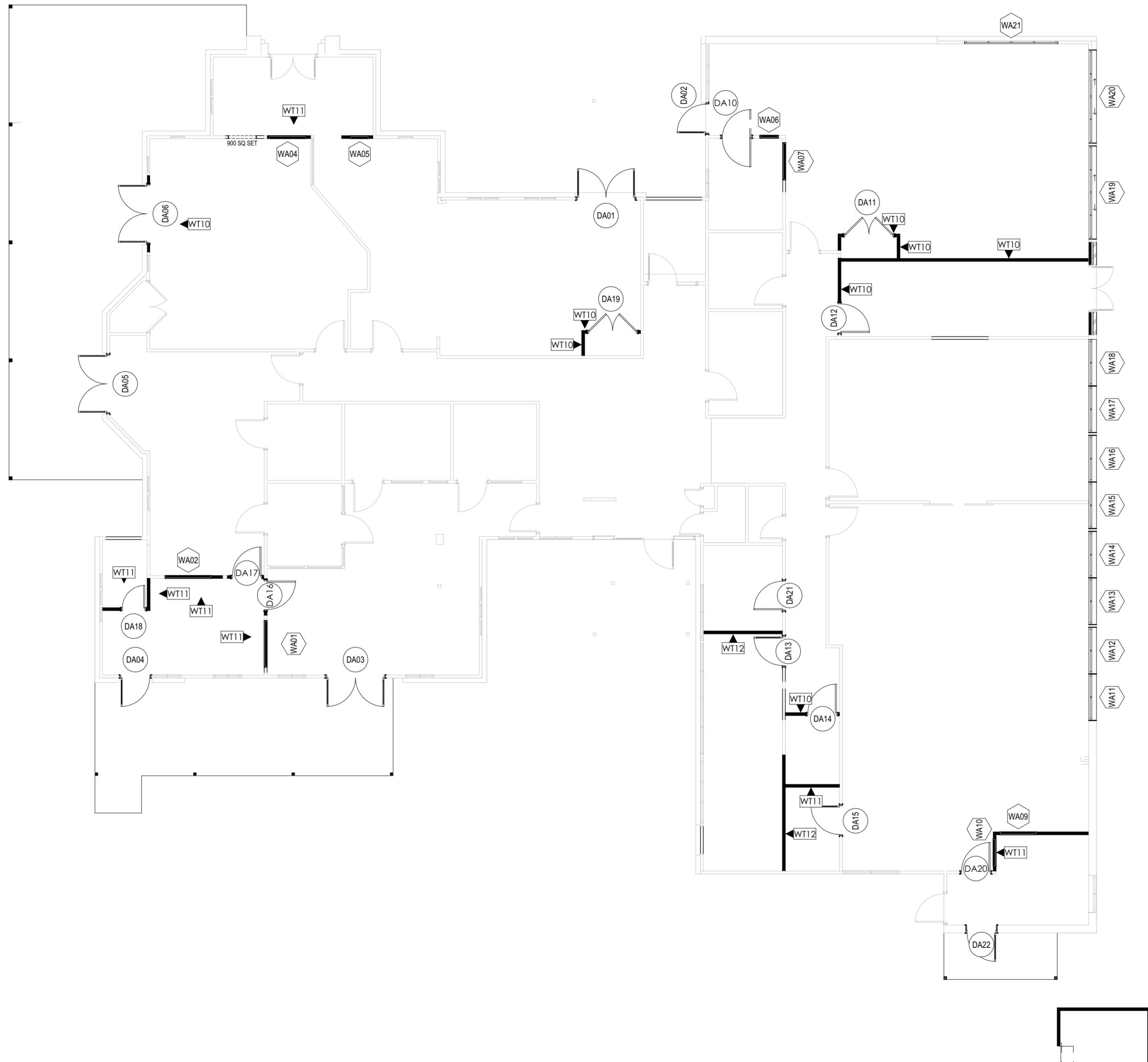
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**PROPOSED FLOOR FRAMING BUILDING B**

Scale: 1:100



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**SETOUT PLAN - BUILDING A**  
Scale: 1:100

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**PROPOSED SETOUT PLAN - BUILDING A**

CLIENT  
Learning Pathways  
49 Wallace Street  
Newtown Qld 4305

SCALE  
AS SHOWN @ A2



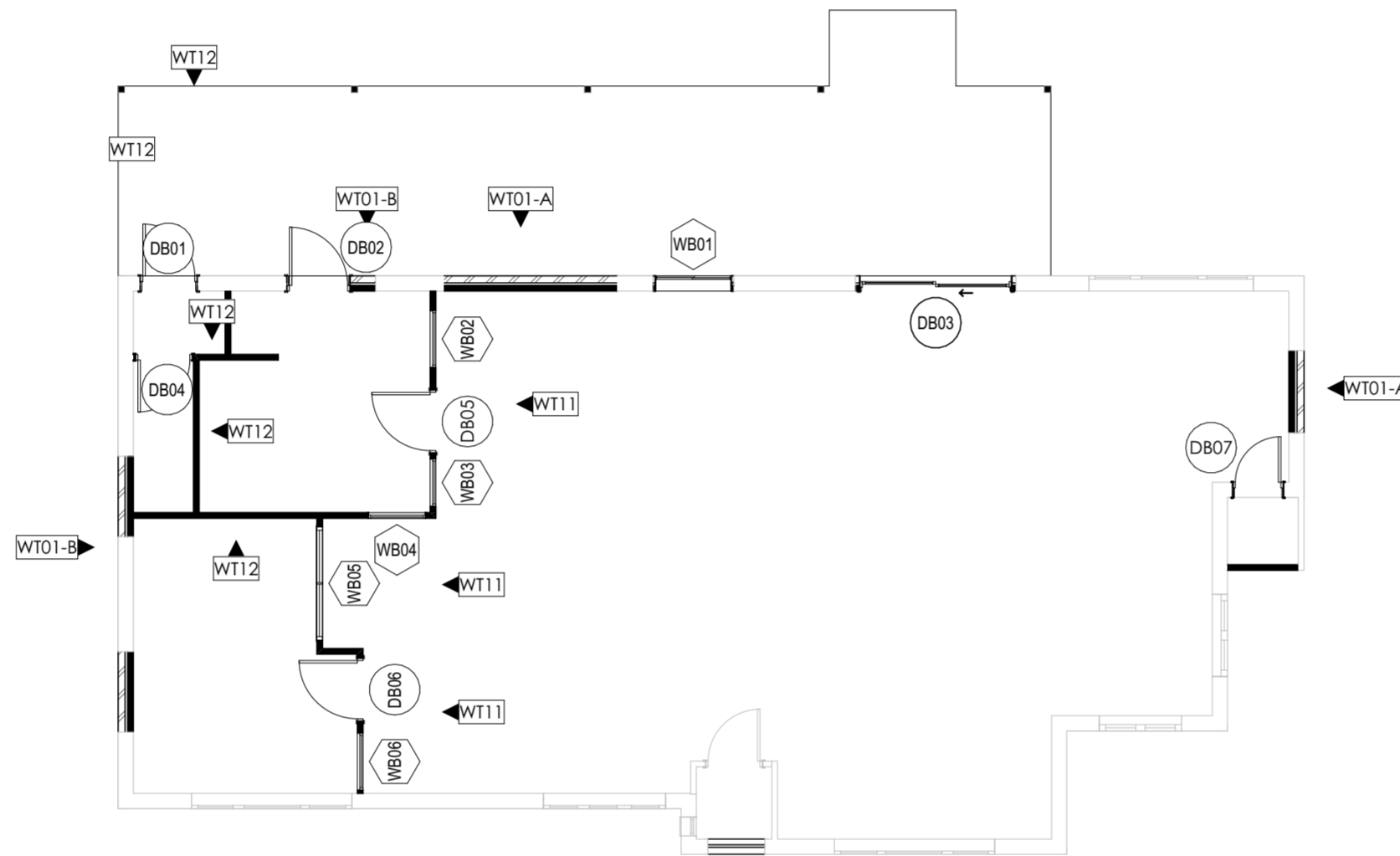
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**SETOUT PLAN - BUILDING B**  
Scale: 1:100



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Newtown Qld 4305

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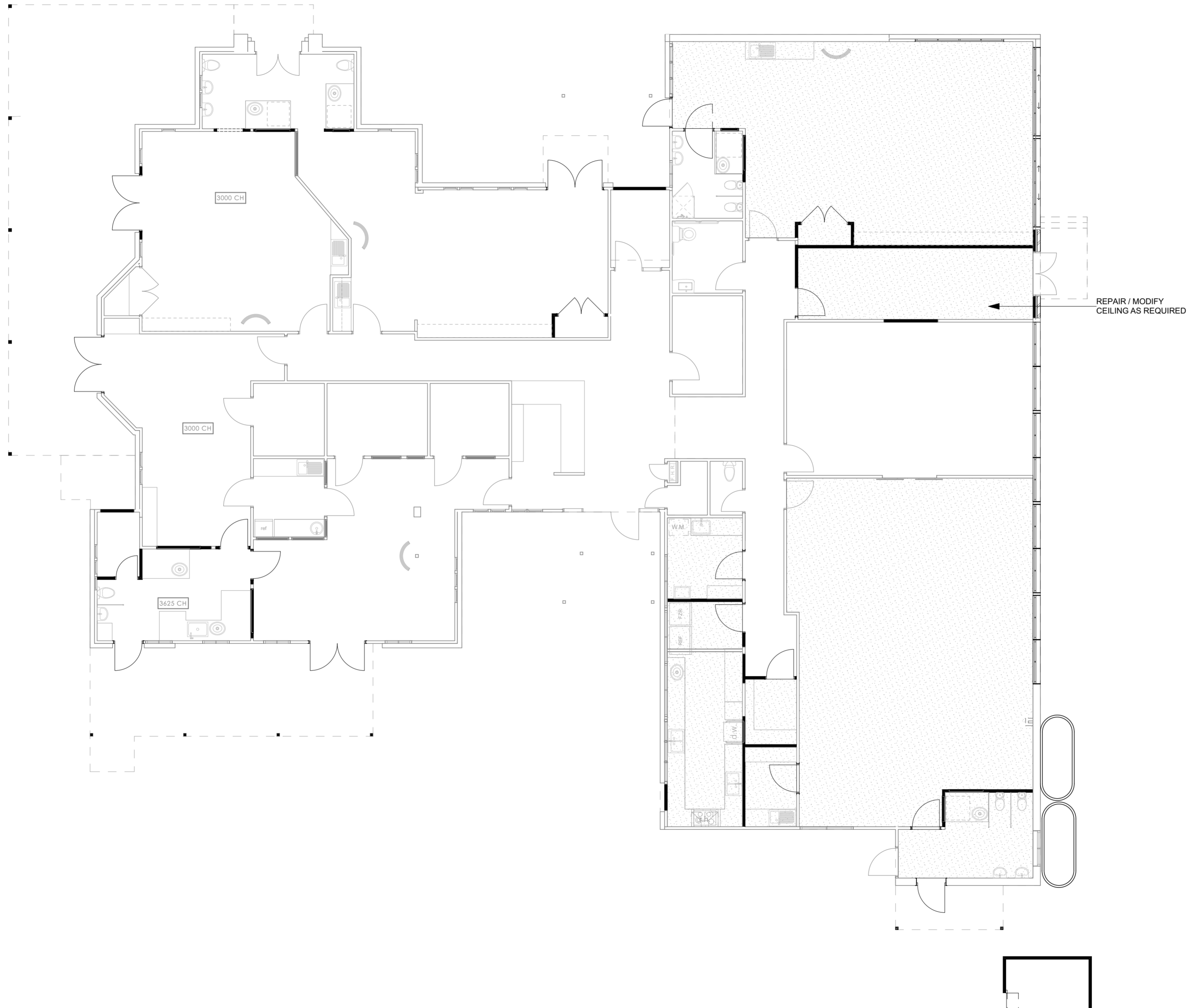


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**PROPOSED REFLECTED CEILING PLAN - BUILDING A**

CLIENT  
 Learning Pathways  
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 Newtown Qld 4305

SCALE  
 AS SHOWN @ A2



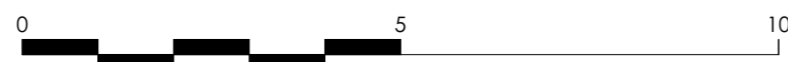
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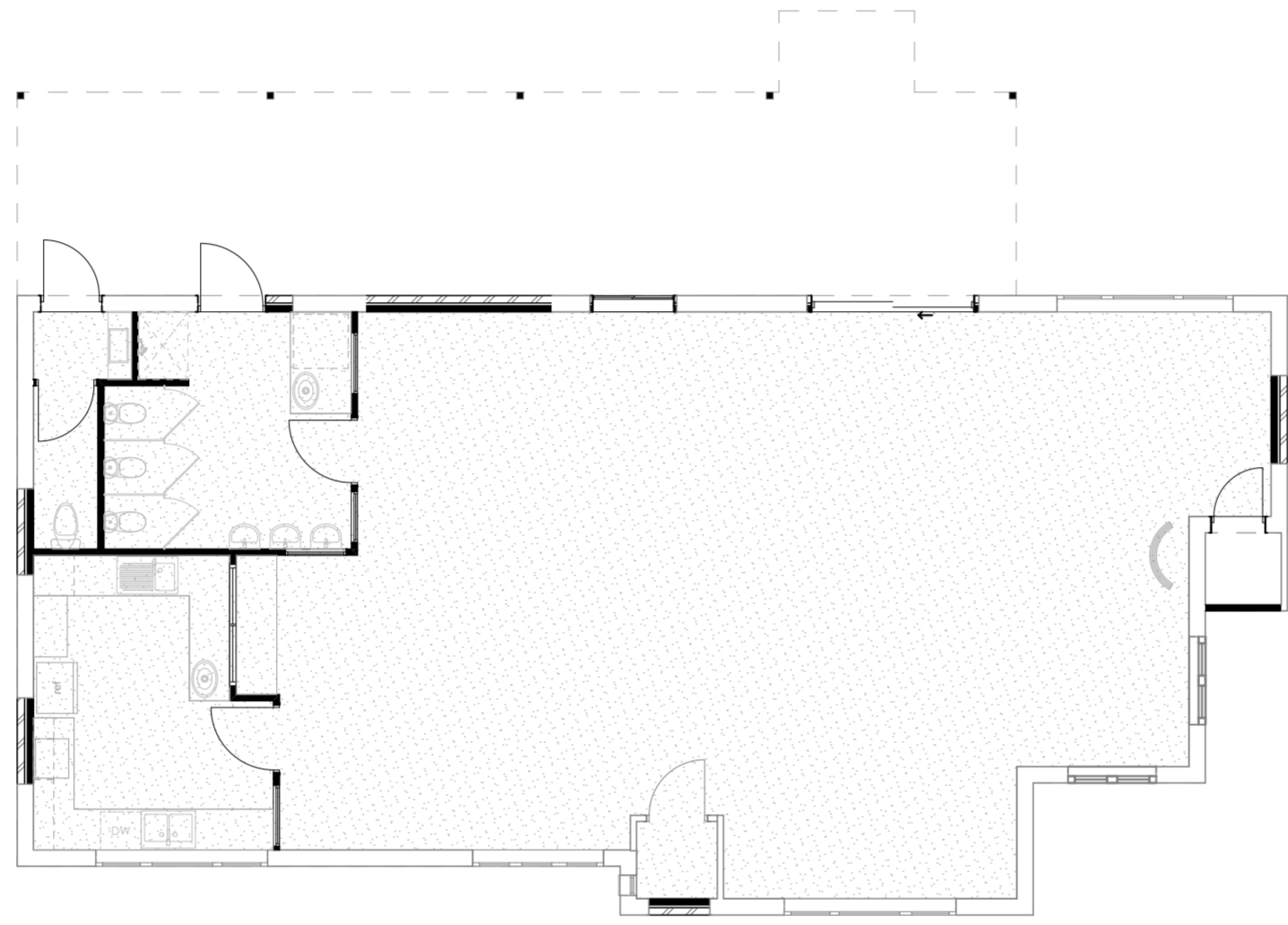
26

**REFLECTED CEILIN PLAN - BUILDING A**  
 Scale: 1:100



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**REFLECTED CEILING PLAN - BUILDING B**  
Scale: 1:100



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CEILING PLAN - BUILDING B**

CLIENT  
Learning Pathways  
49 Wallace Street  
Newtown Qld 4305

SCALE  
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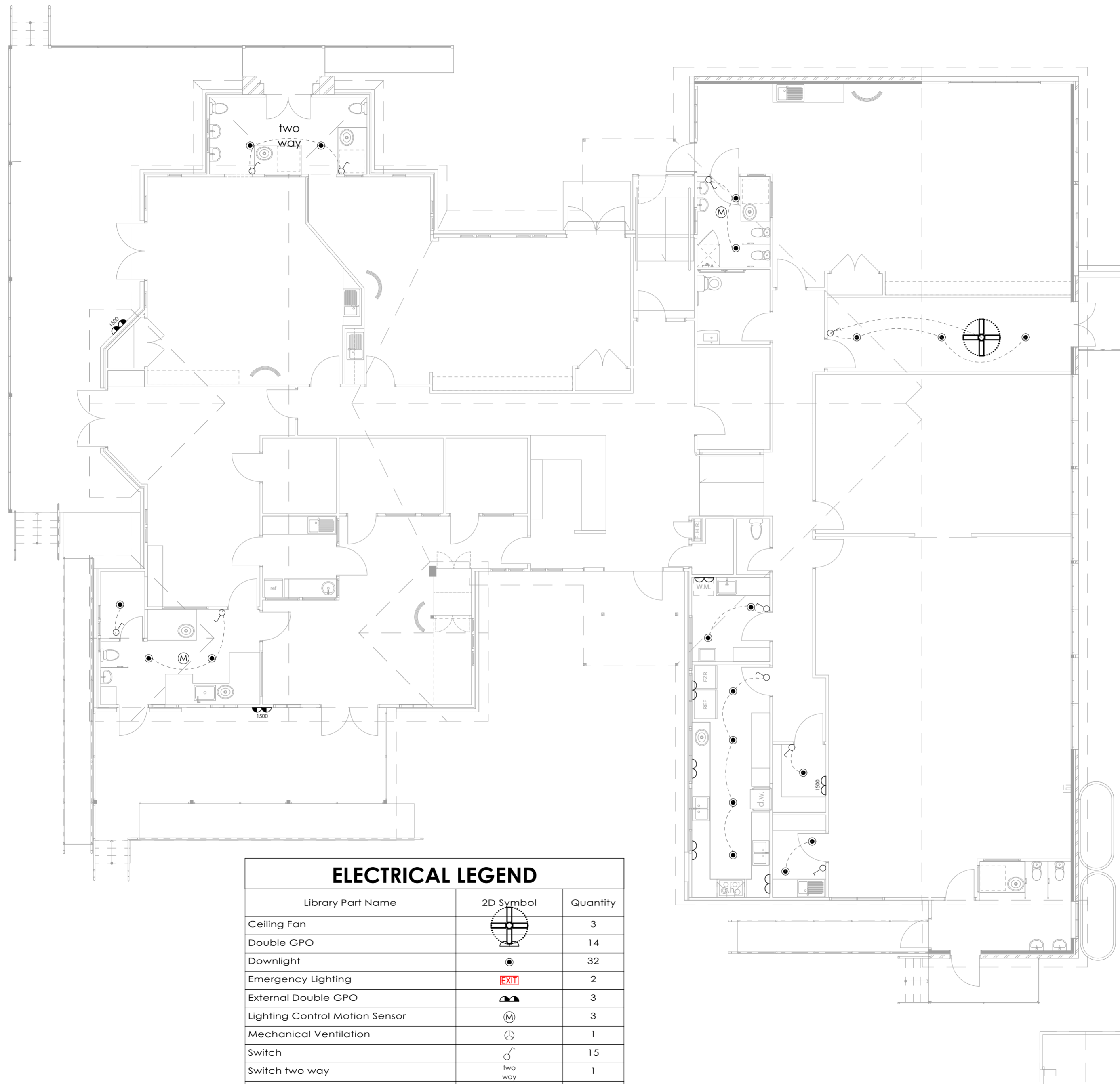
Z  
REVISION

SHEET

27

**NOTE**

- ALL EMERGENCY LIGHTING TO BE AS PER EXISTING LAYOUT
- ALL POWER POINT OUTLETS IN CHILD ACCESSIBLE AREAS TO BE AT 1500mm AFFL



**ELECTRICAL LEGEND**

Library Part Name	2D Symbol	Quantity
Ceiling Fan		3
Double GPO		14
Downlight		32
Emergency Lighting		2
External Double GPO		3
Lighting Control Motion Sensor		3
Mechanical Ventilation		1
Switch		15
Switch two way		1
Wifi Extender		1



**ELECTRICAL PLAN - BUILDING A**  
Scale: 1:100

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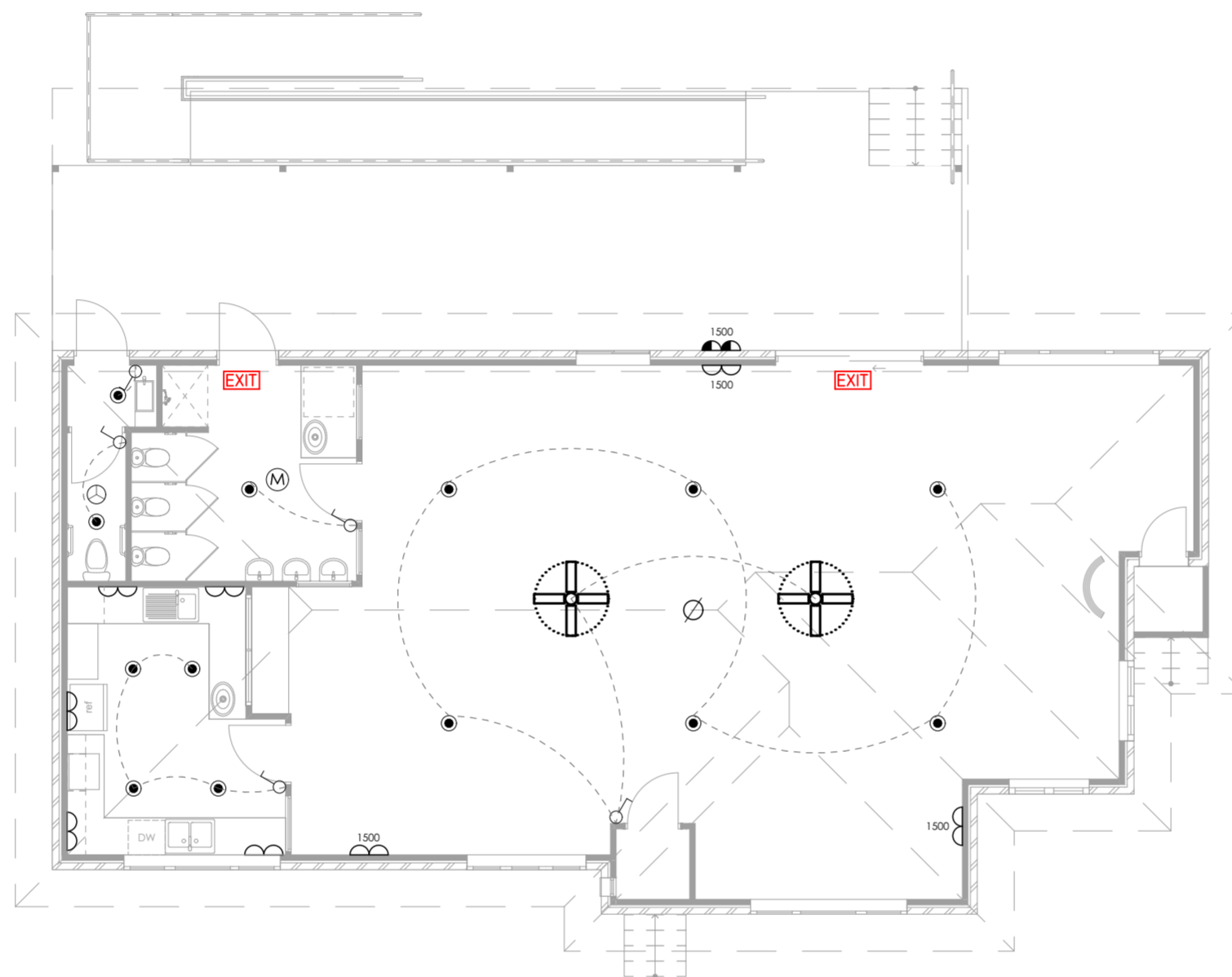
Z  
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28

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ELECTRICAL LEGEND		
Library Part Name	2D Symbol	Quantity
Ceiling Fan		3
Double GPO		14
Downlight		32
Emergency Lighting		2
External Double GPO		3
Lighting Control Motion Sensor		3
Mechanical Ventilation		1
Switch		15
Switch two way		1
Wifi Extender		1

**ELECTRICAL PLAN - BUILDING B**  
Scale: 1:100



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 Learning Pathways  
 49 Wallace Street  
 Newtown Qld 4305

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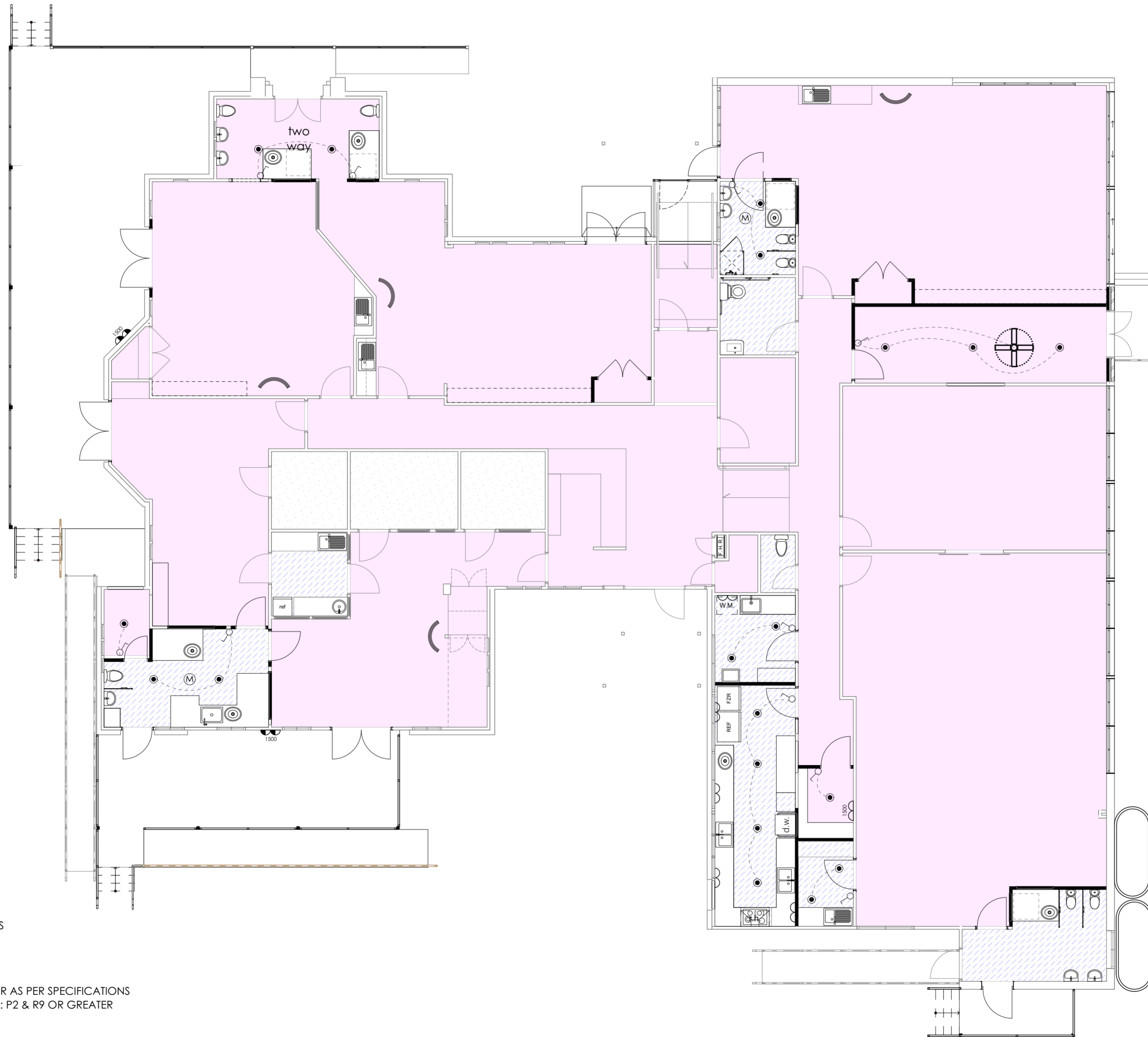


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29



- 

 CARPET TILES  
500x500mm
- 

 VINYL FLOOR AS PER SPECIFICATIONS  
SLIP RATING: P2 & R9 OR GREATER
- 

 WET AREA VINYL FLOOR AS PER SPECIFICATIONS  
W/ 150mm COVING  
SLIP RATING: P3 & R10 OR GREATER

**FLOOR FINISHED PLAN - BUILDING A**  
Scale: 1:100



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Z	19/05/26	Updated Area Calcs

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 ACN: 620 422 166  
 6/1631 WYNNUM ROAD, TINGALPA  
 QUEENSLAND 4173  
 PH: (07) 3393 9159  
 cyberservicesgroup.com.au

DRAWING TITLE

**PROPOSED FLOOR FINISHES  
PLAN - BUILDING A**

CLIENT  
 Learning Pathways  
 49 Wallace Street  
 Newtown Qld 4305

SCALE  
AS SHOWN @ A2

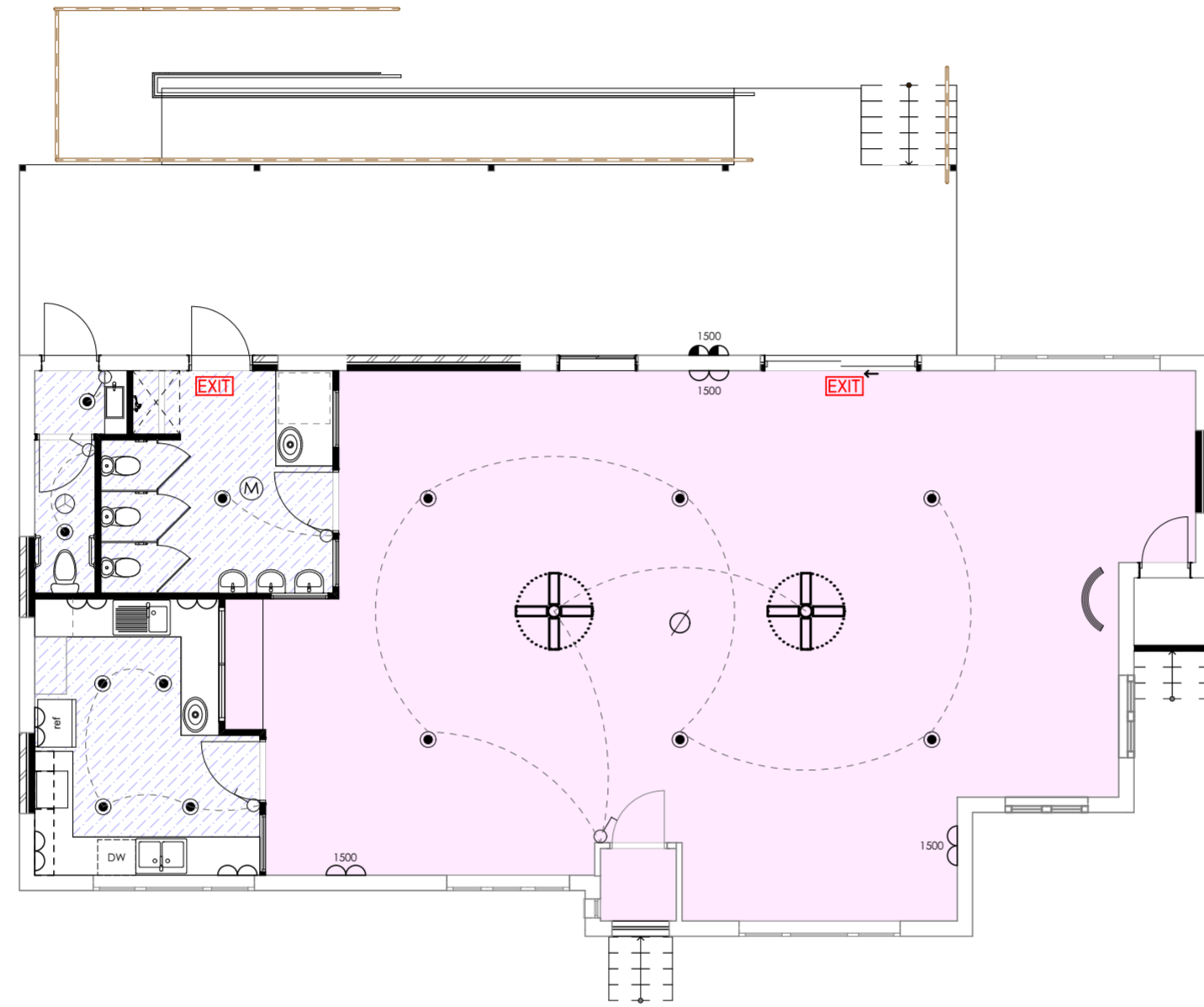


19229  
JOB No.

Z  
REVISION

SHEET

**30**



CARPET TILES  
500x500mm



VINYL FLOOR AS PER SPECIFICATIONS  
SLIP RATING: P2 & R9 OR GREATER



WET AREA VINYL FLOOR AS PER SPECIFICATIONS  
W/ 150mm COVING  
SLIP RATING: P3 & R10 OR GREATER

# FLOOR FINISHED PLAN - BUILDING B

Scale: 1:100



ISSUE FOR CONSTRUCTION.

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**REAL PROPERTY DESCRIPTION**  
LOT No: 14-17 & 46-49  
AREA: 4364m<sup>2</sup>  
RP No: RP16967  
PARISH: Drayton  
COUNTY: Aubigny  
AUTHORITY: Toowoomba RC

**REVISION HISTORY**

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DRAWING TITLE  
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PLAN - BUILDING B**

CLIENT  
Learning Pathways  
49 Wallace Street  
Newtown Qld 4305

SCALE  
AS SHOWN @ A2

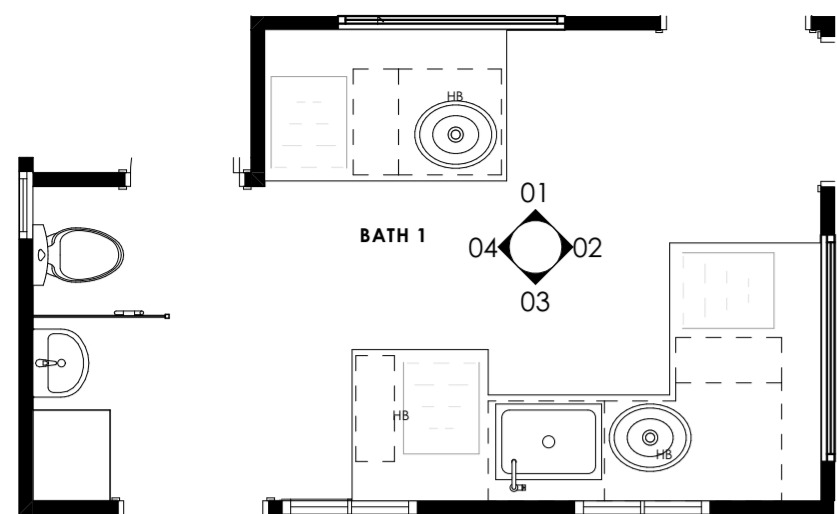


19229  
JOB No.

Z  
REVISION

SHEET

31

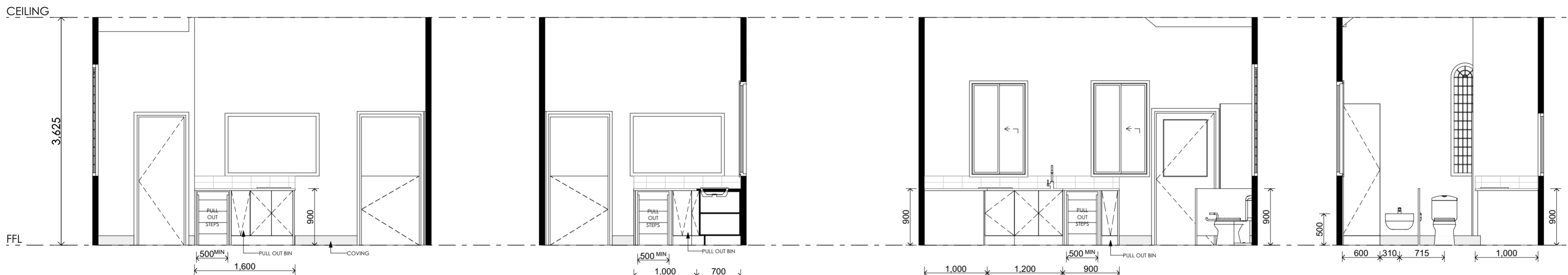


### BATHROOM 1 PLAN

Scale: 1:50

### SANITARY FACILITIES

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### 01 BATHROOM 1

Scale: 1:50

### 02 BATHROOM 1

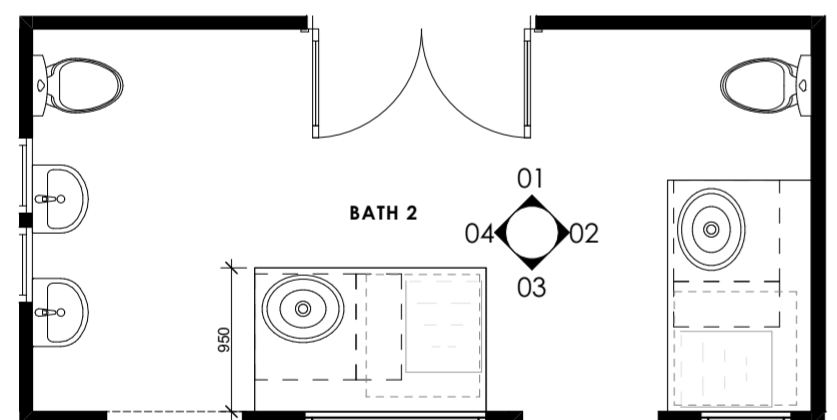
Scale: 1:50

### 03 BATHROOM 1

Scale: 1:50

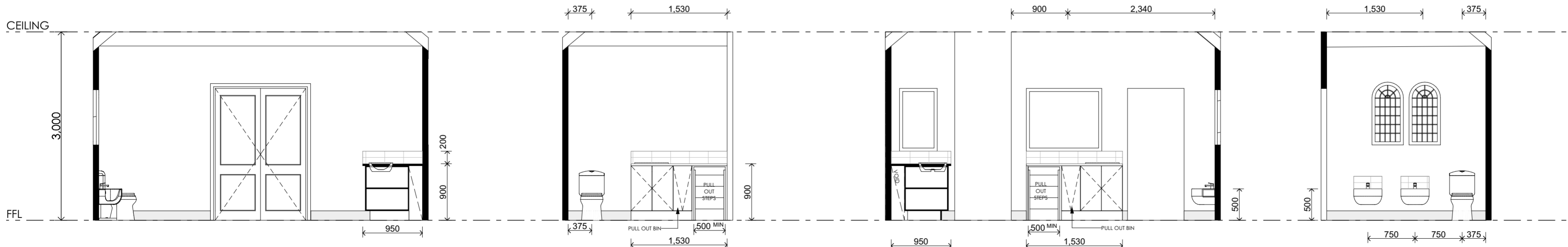
### 04 BATHROOM 1

Scale: 1:50



### BATHROOM 2 PLAN

Scale: 1:50



### 01 BATHROOM 2

Scale: 1:50

### 02 BATHROOM 2

Scale: 1:50

### 03 BATHROOM 2

Scale: 1:50

### 04 BATHROOM 2

Scale: 1:50

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**PROPOSED INTERNALS - BATH 1 & 2**

CLIENT  
 Learning Pathways  
 49 Wallace Street  
 Newtown Qld 4305

SCALE  
 AS SHOWN @ A2

19229  
 JOB No.

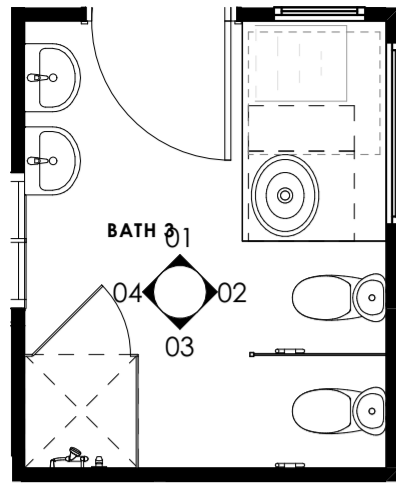
Z  
 REVISION

SHEET

32

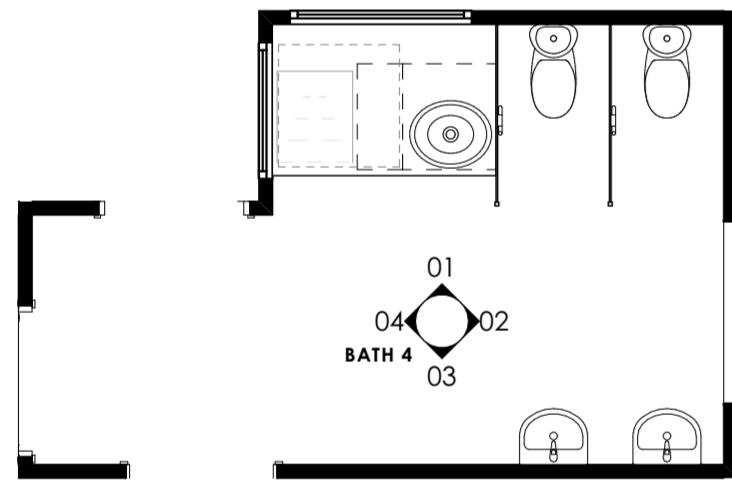
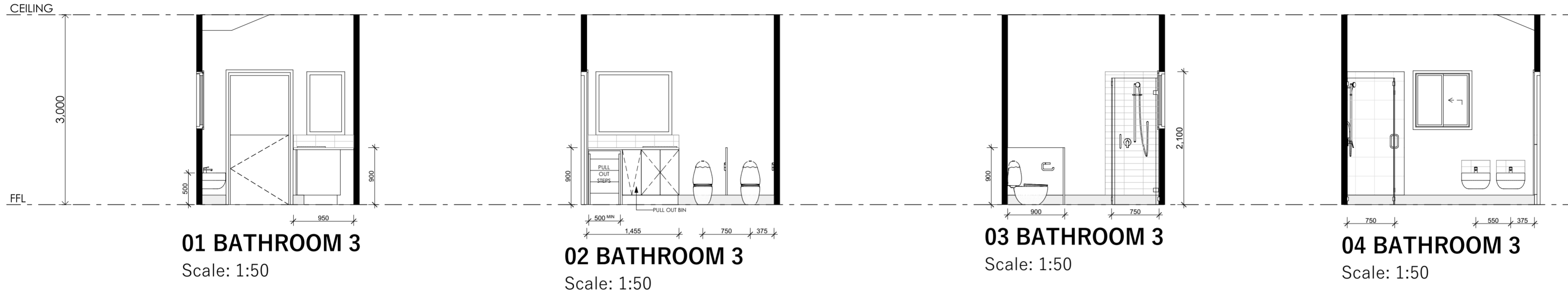


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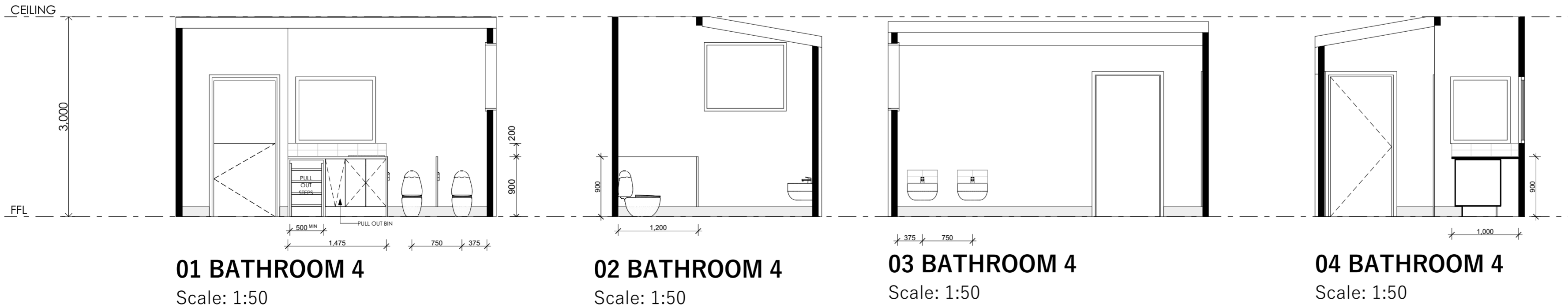
### BATHROOM 3 PLAN

Scale: 1:50



### BATHROOM 4 PLAN

Scale: 1:50



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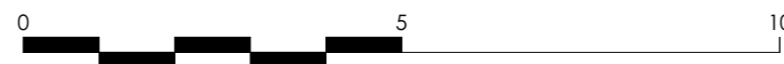
### PROPOSED INTERNALS - BATH 3 & 4

CLIENT  
 Learning Pathways  
 49 Wallace Street  
 Newtown Qld 4305

SCALE  
 AS SHOWN @ A2

19229  
 JOB No. Z REVISION

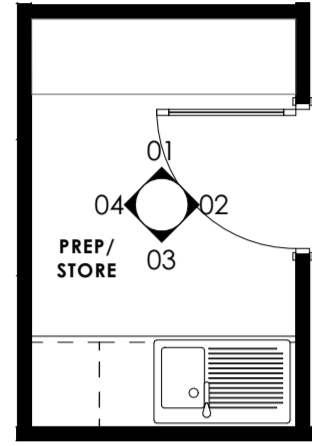
SHEET



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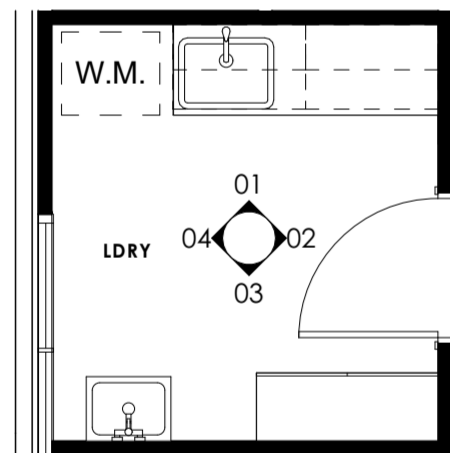
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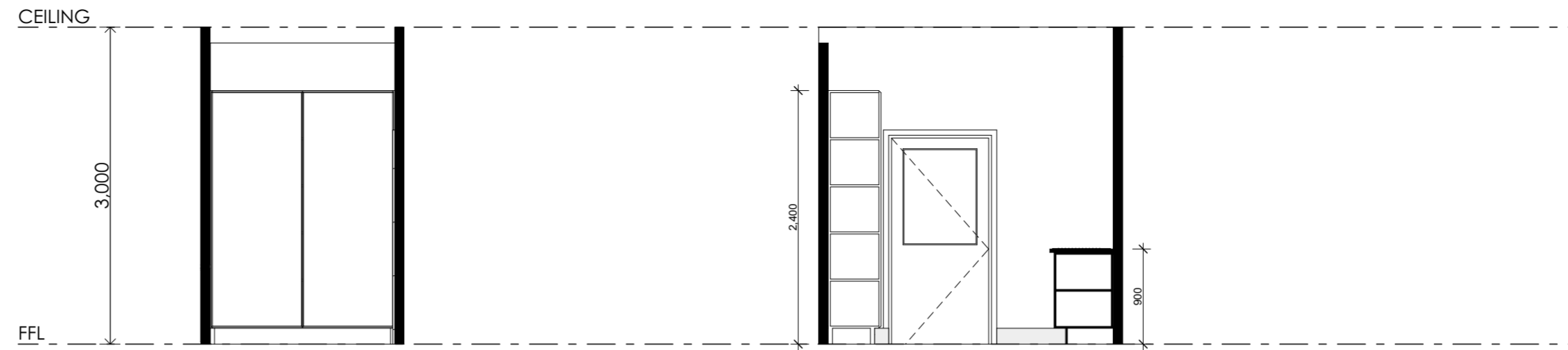
**ART PREP KINDY PLAN**

Scale: 1:50



**LAUNDRY PLAN**

Scale: 1:50

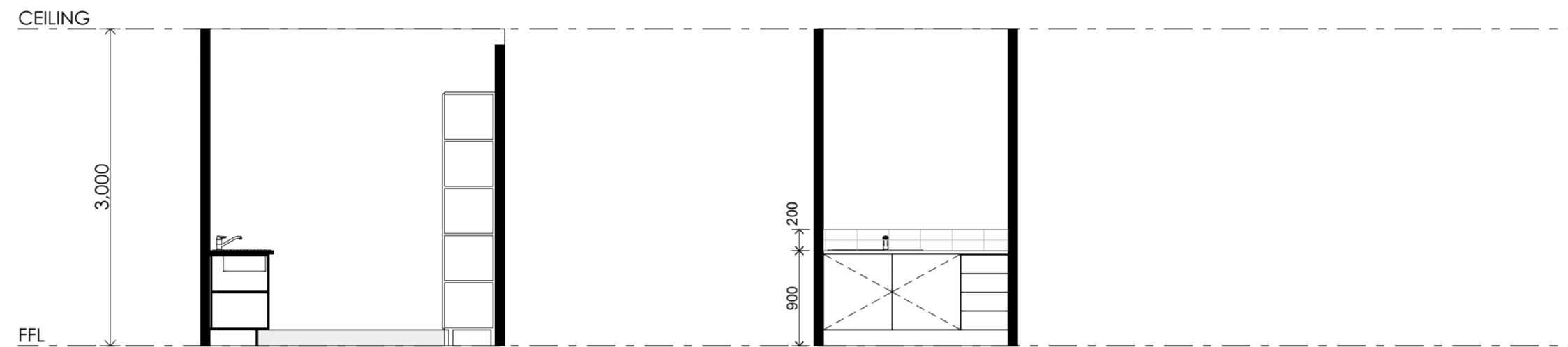


**01 ART PREP KINDY 1**

Scale: 1:50

**02 ART PREP KINDY 1**

Scale: 1:50



**03 ART PREP KINDY 1**

Scale: 1:50

**04 ART PREP KINDY 1**

Scale: 1:50

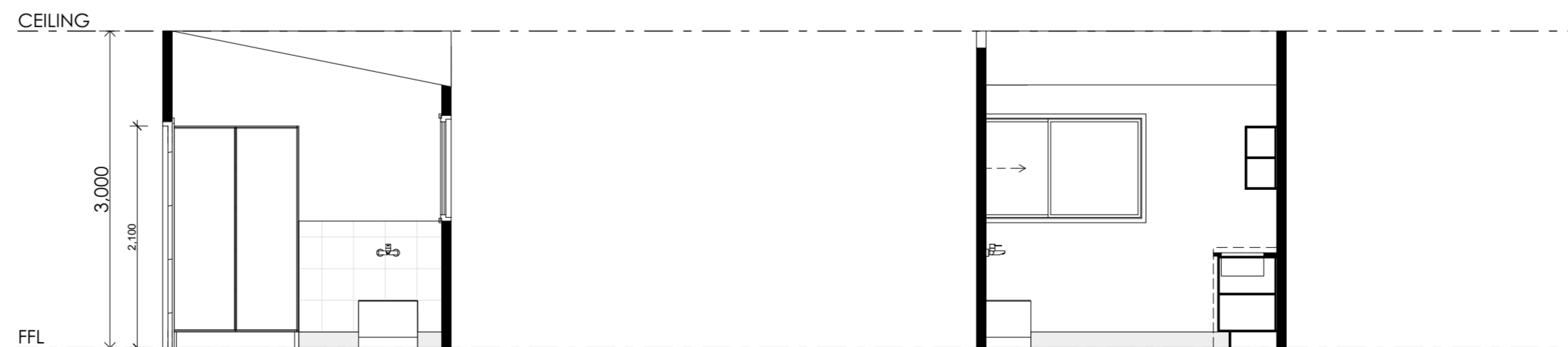


**01 LAUNDRY**

Scale: 1:50

**02 LAUNDRY**

Scale: 1:50



**03 LAUNDRY**

Scale: 1:50

**04 LAUNDRY**

Scale: 1:50



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COUNTY: Aubigny  
AUTHORITY: Toowoomba RC

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DRAWING TITLE

**PROPOSED INTERNALS - ART PREP & LDRY**

CLIENT  
Learning Pathways  
49 Wallace Street  
Newtown Qld 4305

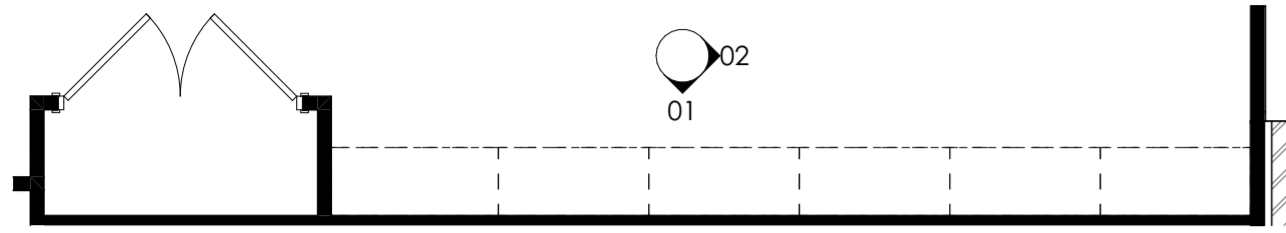
SCALE  
AS SHOWN @ A2

19229  
JOB No. Z  
REVISION

SHEET

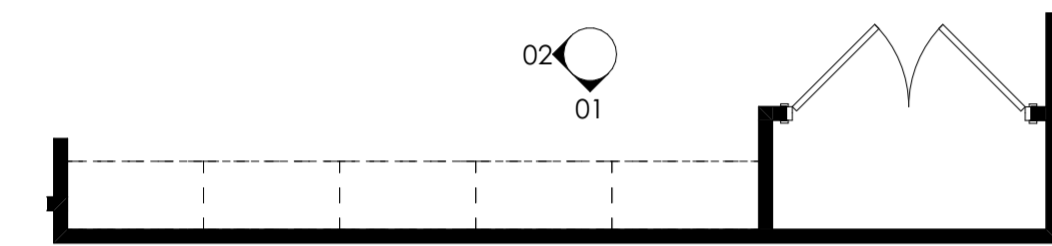
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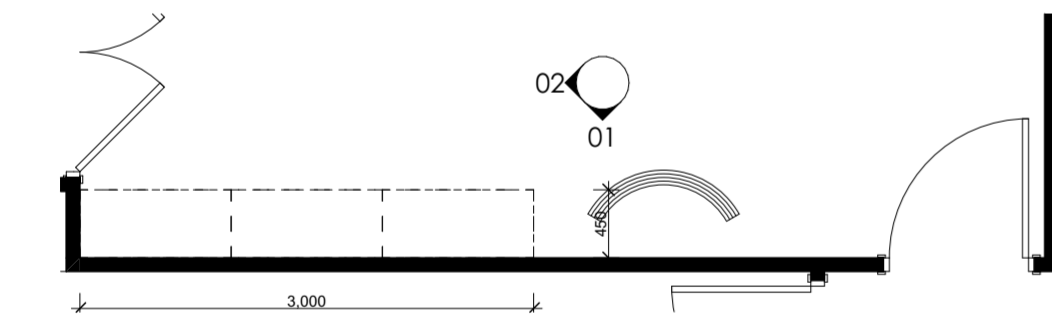
### STORAGE TODDLER 3 PLAN

Scale: 1:50



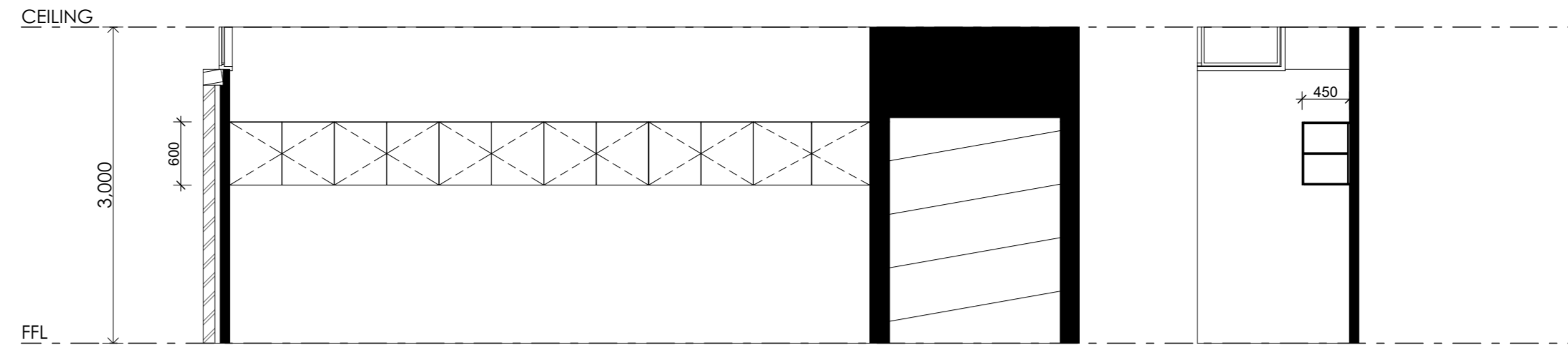
### STORAGE TODDLER 2

Scale: 1:50



### STORAGE TODDLER 1

Scale: 1:50

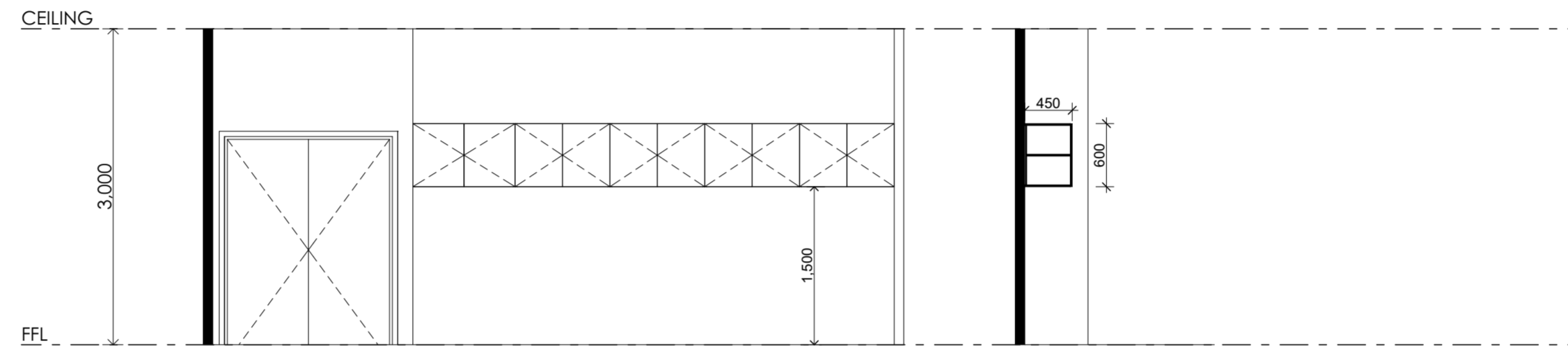


### 01 ART PREP TODDLER 3

Scale: 1:50

### 02 ART PREP TODDLER 3

Scale: 1:50

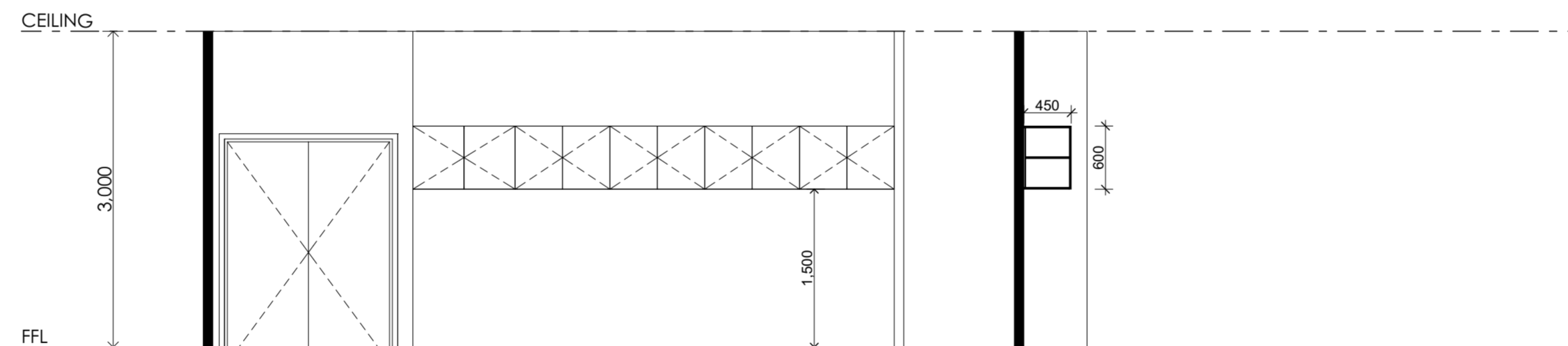


### 01 TODDLER 2 STORE

Scale: 1:50

### 02 TODDLER 2 STORE

Scale: 1:50



### 01 TODDLER 2 STORE

Scale: 1:50

### 02 TODDLER 2 STORE

Scale: 1:50

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#### PROPOSED INTERNALS STORE

CLIENT  
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49 Wallace Street  
Newtown Qld 4305

SCALE  
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19229 JOB No. Z REVISION

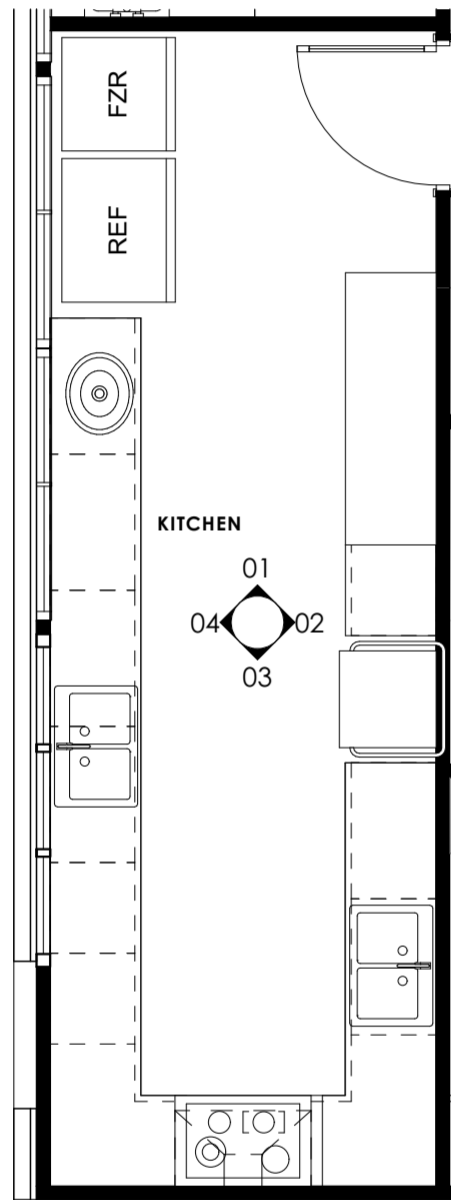
SHEET

35

ISSUE FOR CONSTRUCTION.

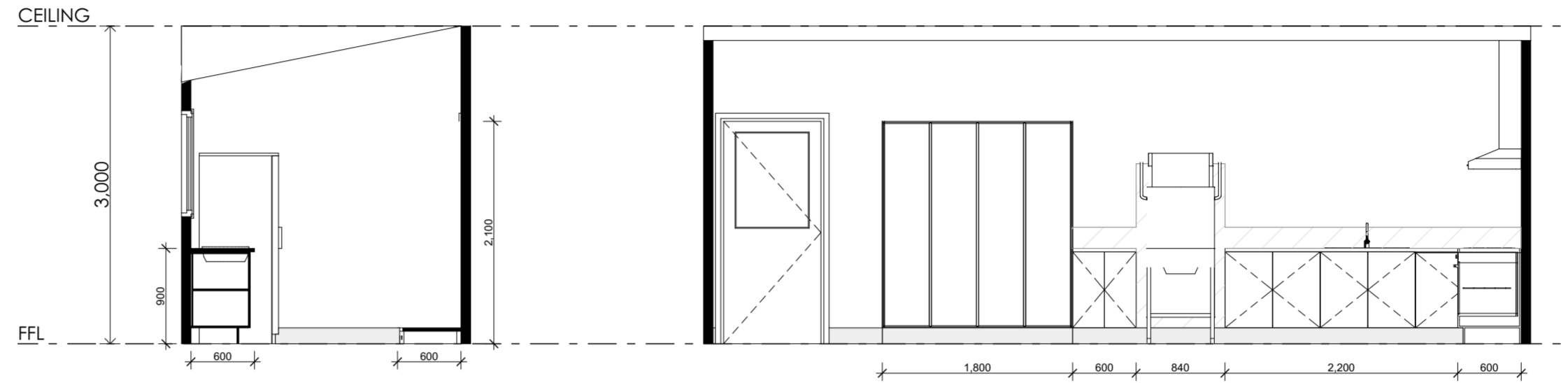
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## KITCHEN PLAN

Scale: 1:50

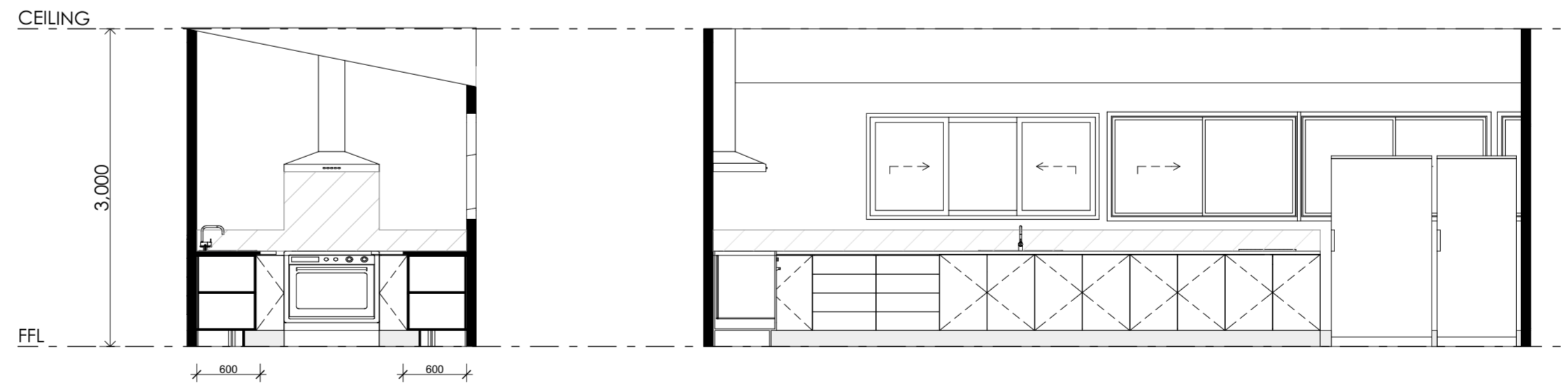


## 01 KITCHEN

Scale: 1:50

## 02 KITCHEN

Scale: 1:50



## 03 KITCHEN

Scale: 1:50

## 04 KITCHEN

Scale: 1:50



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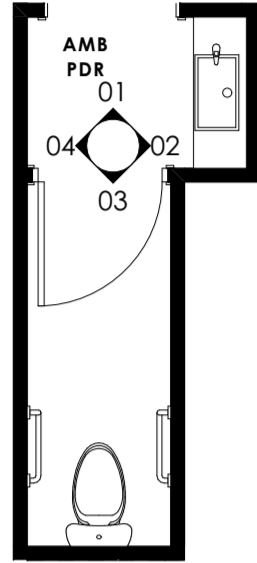
SHEET

36

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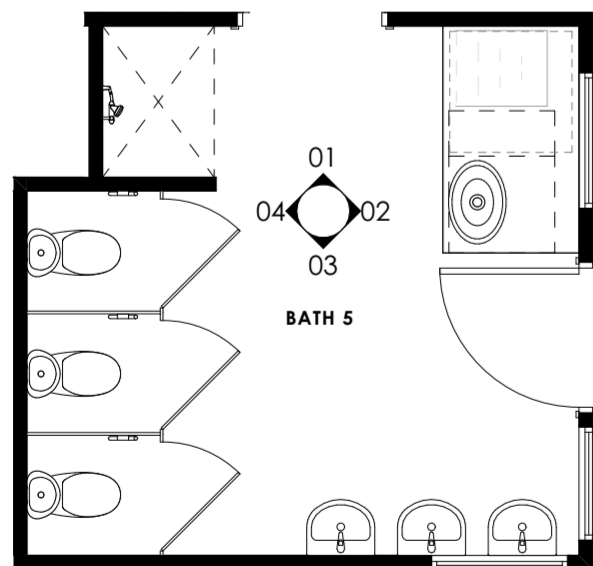
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**AMBULANT POWDER PLAN**

Scale: 1:50



**BATHROOM 5 PLAN**

Scale: 1:50



**01 AMBULANT POWDER**

Scale: 1:50

**02 AMBULANT POWDER**

Scale: 1:50



**03 AMBULANT POWDER**

Scale: 1:50

**04 AMBULANT POWDER**

Scale: 1:50

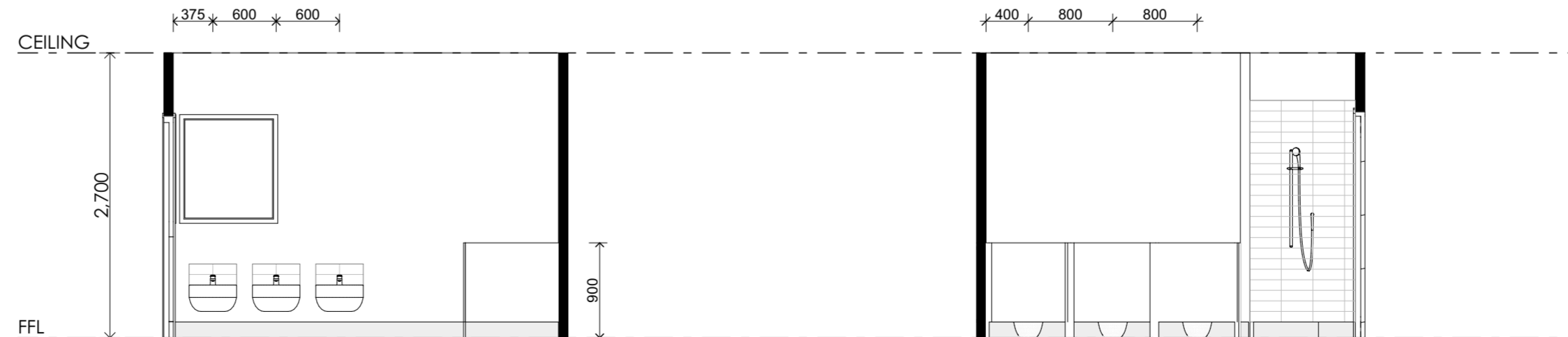


**01 BATHROOM 5**

Scale: 1:50

**02 BATHROOM 5**

Scale: 1:50



**03 BATHROOM 5**

Scale: 1:50

**04 BATHROOM 5**

Scale: 1:50

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Newtown Qld 4305

SCALE  
AS SHOWN @ A2

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JOB No. Z  
REVISION

SHEET



ID	WA01	WA02	WA04	WA05	WA06	WA07	WA09	WA10	WA11	WA12	WA13	WA14	WA15	WA16	WA17	WA18	V
LOCATION	Bath 1	Bath 1	Bath 2	Bath 2	Bath 3	Bath 3	Kindy 1	Kindy 1	Kindy 1	Kindy 1	Kindy 1	Kindy 1	Kindy 1	OSCH	OSCH	OSCH	Toc
TYPE	Fixed	Fixed	Fixed	Fixed	Fixed	Fixed	Fixed	Fixed	Sliding	Sliding	Sliding	Sliding	Sliding	Sliding	Sliding	Sliding	Sl
ELEVATION																	
HEIGHT	1,000	1,000	1,000	1,000	1,000	1,000	1,000	1,000	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	
WIDTH	1,500	1,500	1,200	600	600	1,200	1,200	900	1,500	1,500	1,500	1,500	1,500	1,500	1,500	1,500	3
HEAD HEIGHT	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	3,350	3,350	3,350	3,350	3,350	3,350	3,350	3,350	3
NOTES																	

## WINDOW SCHEDULE

ID	WA19	WA20	WA21	WB01
LOCATION	Kindy 3	Toddler 3	Toddler 3	Kindy
TYPE	Sliding	Sliding	Sliding	Sliding
ELEVATION				
HEIGHT	750	750	1,800	1,800
WIDTH	1,000	3,000	3,000	1,200
HEAD HEIGHT	3,350	3,350	3,350	2,100
NOTES				

## WINDOW SCHEDULE

ID	WB02	WB03	WB04	WB05	WB06
LOCATION	Bath 5	Bath 5	Bath 5	Art Prep	Kitchen
TYPE	Fixed	Fixed	Fixed	Sliding	Fixed
ELEVATION					
HEIGHT	1,000	1,000	1,000	1,000	1,000
WIDTH	900	750	900	1,800	900
HEAD HEIGHT	2,100	2,100	2,100	2,100	2,100
NOTES					

## WINDOW SCHEDULE

**NOTE**  
 WINDOWS & DOORS ARE INDICATIVE ONLY AND WILL BE AS PER MANUFACTURERS SPECIFICATION  
 ALL ITEMS SHOULD BE SITE MEASURED PRIOR TO MANUFACTURE  
 FRAMES - MATCH EXISTING  
 GLAZING - CLEAR LAMINATED GLASS  
 CRIMS SAFE OR SIMILAR TO ALL EXTERNAL OPENINGS

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### REAL PROPERTY DESCRIPTION

LOT No: 14-17 & 46-49  
 AREA: 4364m<sup>2</sup>  
 RP No: RP16967  
 PARISH: Drayton  
 COUNTY: Aubigny  
 AUTHORITY: Toowoomba RC

### REVISION HISTORY

ISSUE	DATE	DESCRIPTION
A	11/11/22	Preliminary Issue 1
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W	04/05/26	Updated Carpark
Y	15/05/26	Updated Bath 4 Landing
Z	19/05/26	Updated Area Calcs

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DRAWING TITLE

### WINDOW SCHEDULES

CLIENT  
 Learning Pathways  
 49 Wallace Street  
 Newtown Qld 4305

SCALE  
 AS SHOWN @ A2

19229  
 JOB No. Z  
 REVISION

SHEET

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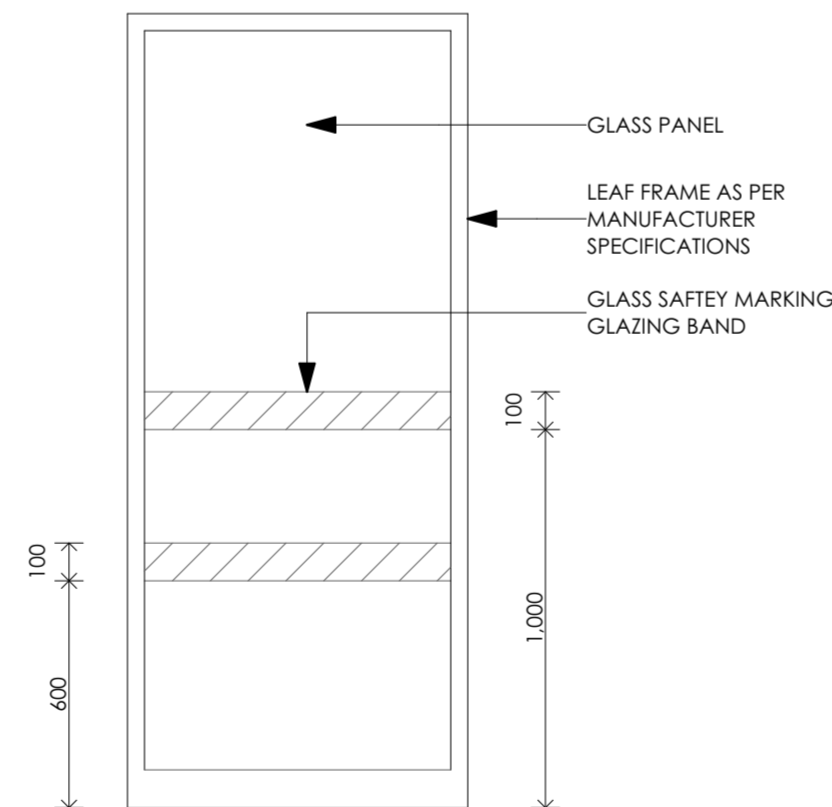
ISSUE FOR CONSTRUCTION.

ID	DA01	DA02	DA03	DA04	DA05	DA06	DA10	DA11	DA12	DA13	DA14	DA15	DA16	DA17	DA18	DA19	DA20
LOCATION	Toddler 2	Toddler 3	Nursery 1	Bath 1	Nursery 2	Toddler 1	Bath 3	Toddler 2 Bed Store	Staff	Kitchen	Store	Art Prep	Bath 1	Bath 1	Bath 1 Store	Toddler 3 Bed Store	Bath 4
TYPE	Hinged	Hinged	Hinged	Hinged	Hinged	Hinged	Hinged, 2 Way	Hinged	Hinged	Hinged	Hinged	Hinged	Hinged	Hinged	Hinged	Hinged	Hinged
ELEVATION																	
HEIGHT	2,100	2,100	2,100	2,100	2,100	2,100	2,040	2,100	2,100	2,100	2,100	2,100	2,040	2,040	2,040	2,100	2,040
WIDTH	1,840	920	1,840	920	1,840	1,840	920	1,540	920	920	920	920	920	920	720	1,540	920
DOOR HEAD HEIGHT	2,100	2,100	2,100	2,100	2,100	2,100	2,040	2,100	2,100	2,100	2,100	2,100	2,040	2,040	2,040	2,100	2,040
DOOR HANDLE HT	1500 Above FFL	1500 Above FFL	1500 Above FFL	1500 Above FFL	1500 Above FFL	1500 Above FFL	1000 Above FFL Inside Bathroom	1500 Above FFL	1500 Above FFL	1500 Above FFL	1500 Above FFL	1500 Above FFL	1000 Above FFL Inside Bathroom	1000 Above FFL Inside Bathroom	1500 Above FFL	1500 Above FFL	1000 Above FFL Inside Bathroom
ACCESSORIES	Weather Seal, D Lever, Key	Weather Seal, D Lever, Key	Weather Seal, D Lever, Key	Weather Seal, D Lever, Key	Weather Seal, D Lever, Key	Weather Seal, D Lever, Key	Manga Latch - Slide Pull, Finger Guard	D Lever, Passage Set, Finger Guard	D Lever, Finger Guard	D Lever, Finger Guard	D Lever, Finger Guard	D Lever, Finger Guard	Manga Latch - Slide Pull, Finger Guard	Manga Latch - Slide Pull, Finger Guard	D Lever, Finger Guard	D Lever, Passage Set, Finger Guard	Manga Latch - Slide Pull, Finger Guard
NOTES	Threshold: to Comply wit AS 1428.1	Threshold: to Comply wit AS 1428.1	Threshold: to Comply wit AS 1428.1	Threshold: to Comply wit AS 1428.1	Threshold: to Comply wit AS 1428.1	Threshold: to Comply wit AS 1428.1							Slide Bolt mounted to face of door within Bathroom	Slide Bolt mounted to face of door within Bathroom			Slide Bolt mounted to face of door within Bathroom

## DOOR SCHEDULE

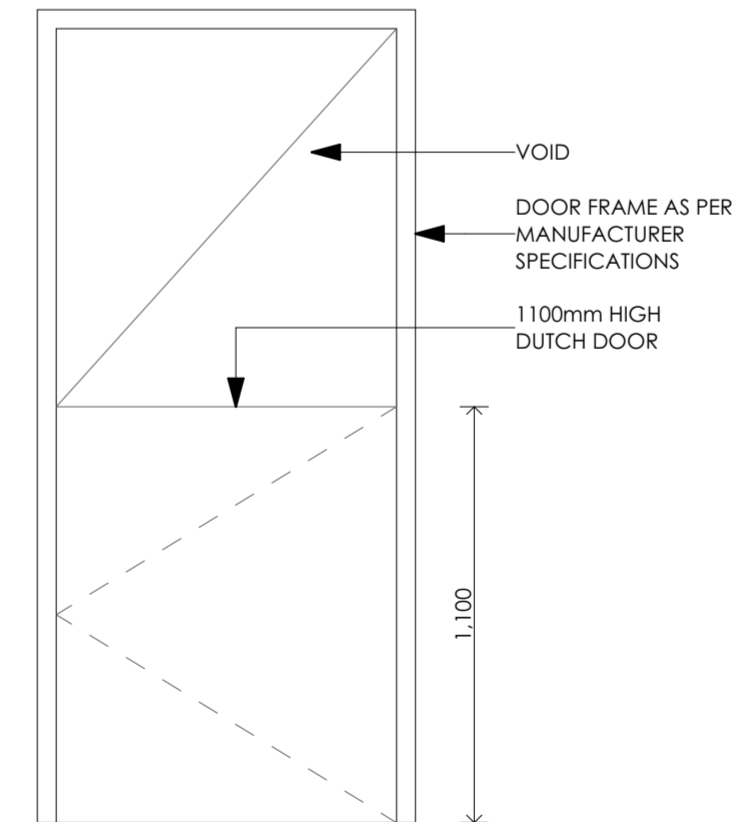
ID	DA21	DA22	DB01	DB02	DB03	DB04
LOCATION	Laundry	Bath 4	Ambulant Powder	Bath 5	Kindy	Ambulant Powder
TYPE	Hinged	Hinged	Hinged	Hinged	Sliding	Hinged
ELEVATION						
HEIGHT	2,100	2,100	2,100	2,100	2,100	2,100
WIDTH	920	920	820	920	2,400	820
DOOR HEAD HEIGHT	2,100	2,100	2,100	2,100	2,100	2,100
DOOR HANDLE HT	1500 Above FFL	1500 Above FFL	1500 Above FFL	1500 Above FFL	1500 Above FFL	1500 Above FFL
ACCESSORIES	D Lever, Finger Guard	Weather Seal, D Lever, Key	D Lever, Finger Guard	D Lever, Finger Guard	Weather Seal, D Pull, Key, Decal	Weather Seal, D Lever, Key
NOTES		Threshold: to Comply wit AS 1428.1	Threshold: to Comply wit AS 1428.1	Threshold: to Comply wit AS 1428.1	Threshold: to Comply wit AS 1428.1	

## DOOR SCHEDULE



### CHILDCARE DECAL - SAFETY STRIP

Scale: 1:20



### PARTIAL HEIGHT DUTCH DOOR

Scale: 1:20

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AREA: 4364m<sup>2</sup>  
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COUNTY: Aubigny  
AUTHORITY: Toowoomba RC

### REVISION HISTORY

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DRAWING TITLE

### DOOR SCHEDULE

CLIENT  
Learning Pathways  
49 Wallace Street  
Newtown Qld 4305

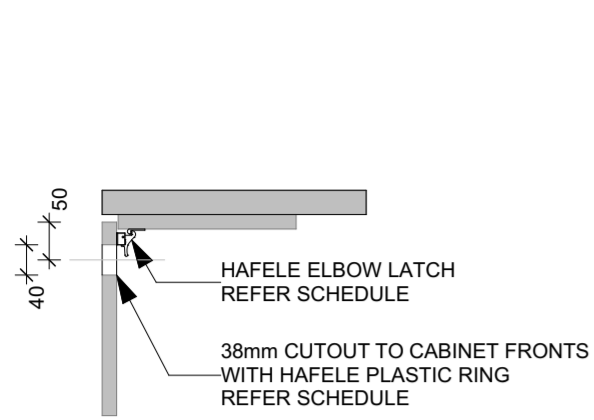
SCALE  
AS SHOWN @ A2

19229  
JOB No. Z  
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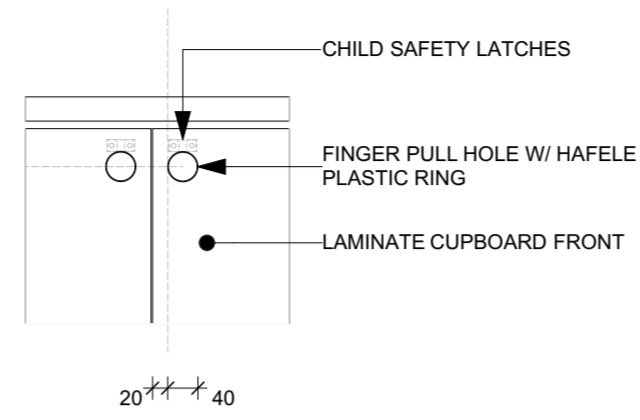
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40

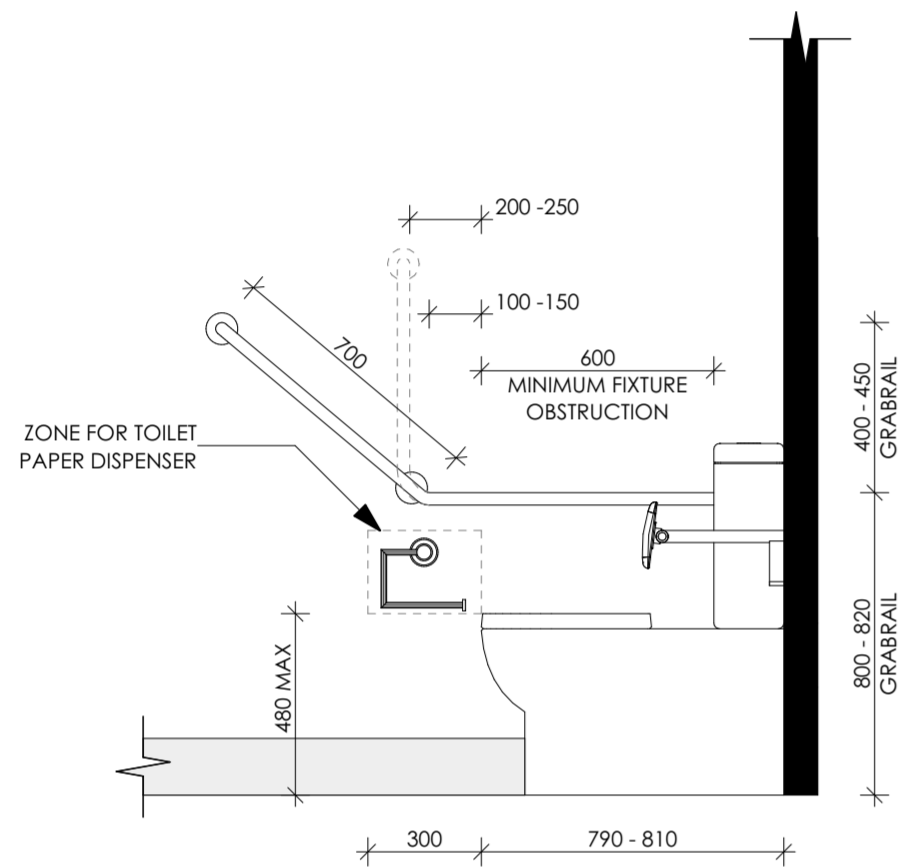
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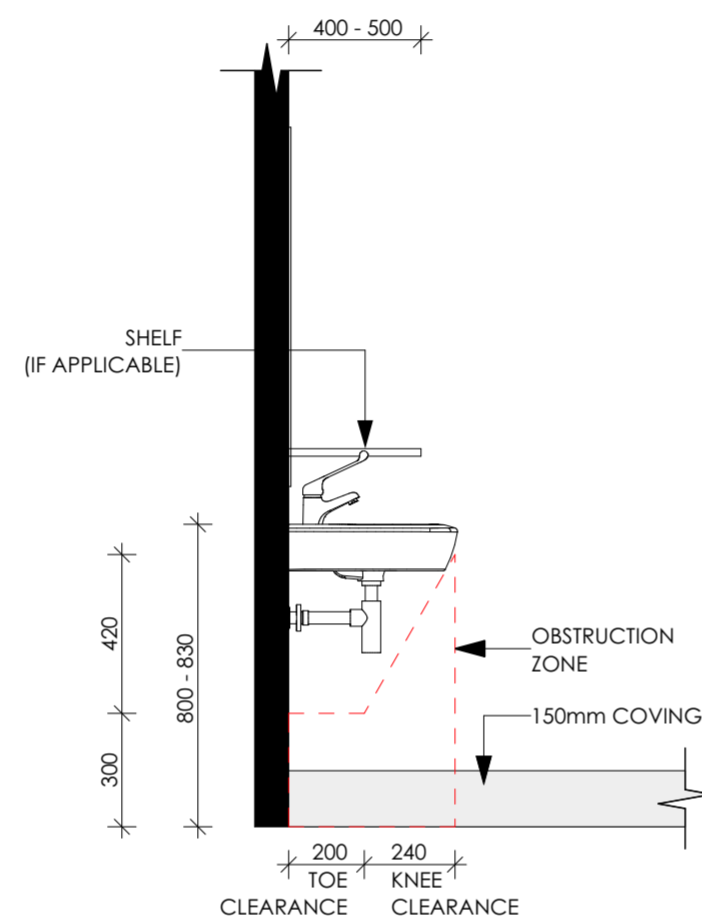
**CABINERY FRONT PULLS CHILDLCK - SECTION**  
Scale: 1:10



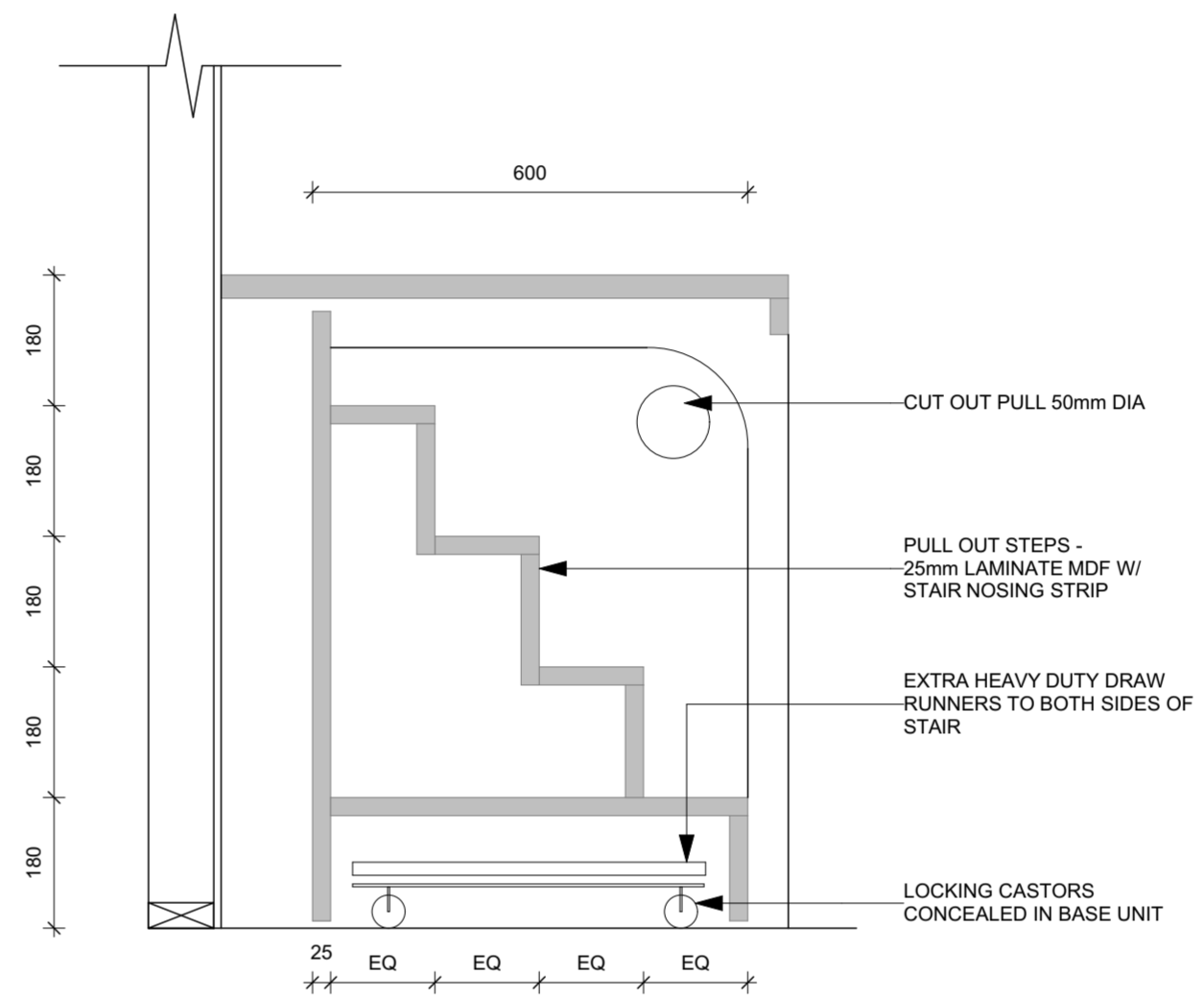
**CABINERY FRONT PULLS CHILDLCK - ELEVATION**  
Scale: 1:10



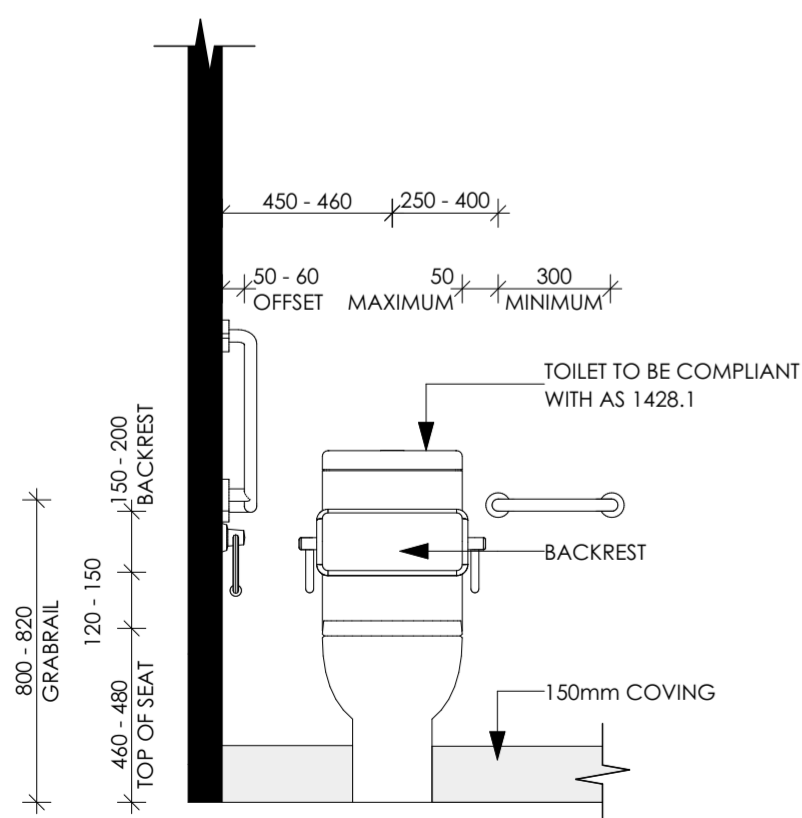
**DISABLED AMENITIES - WATER CLOSET 1**  
Scale: 1:20



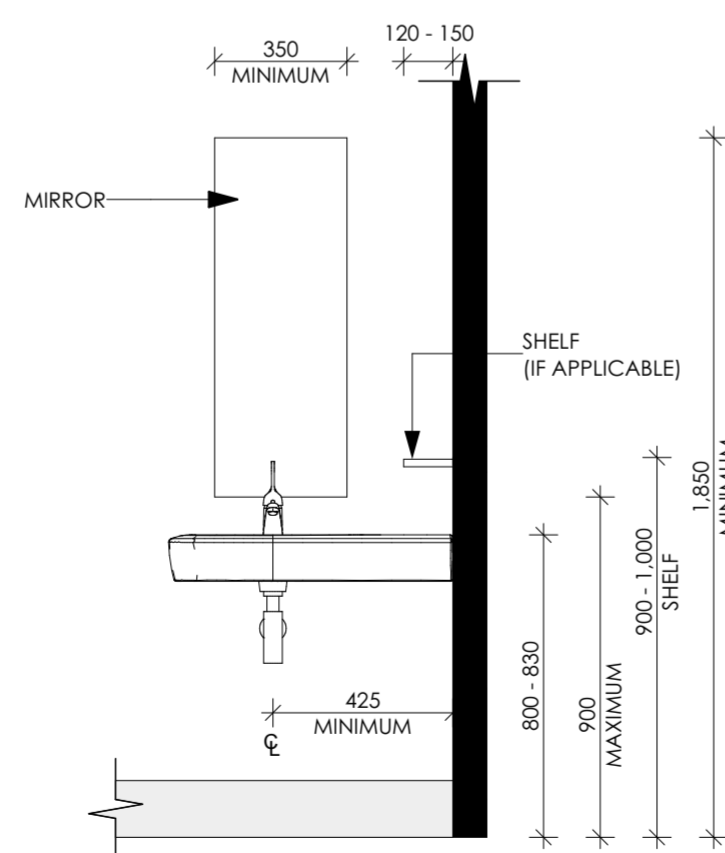
**DISABLED AMENITIES - SINK 1**  
Scale: 1:20



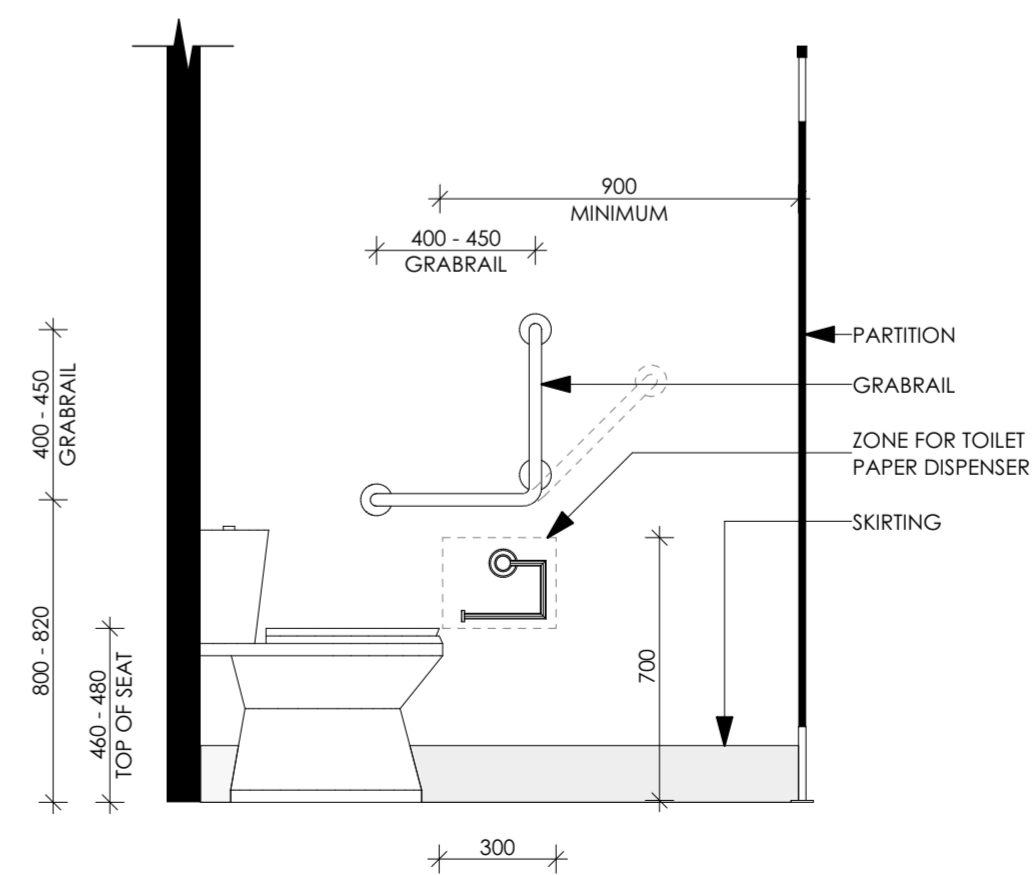
**NAPPY CHANGE - PULL OUT STAIRS**  
Scale: 1:10



**DISABLED AMENITIES - WATER CLOSET 2**  
Scale: 1:20



**DISABLED AMENITIES - SINK 2**  
Scale: 1:20



**AMBULANT AMENITIES - WATER CLOSET**  
Scale: 1:20



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DRAWING TITLE

**DETAIL - WET AREAS**

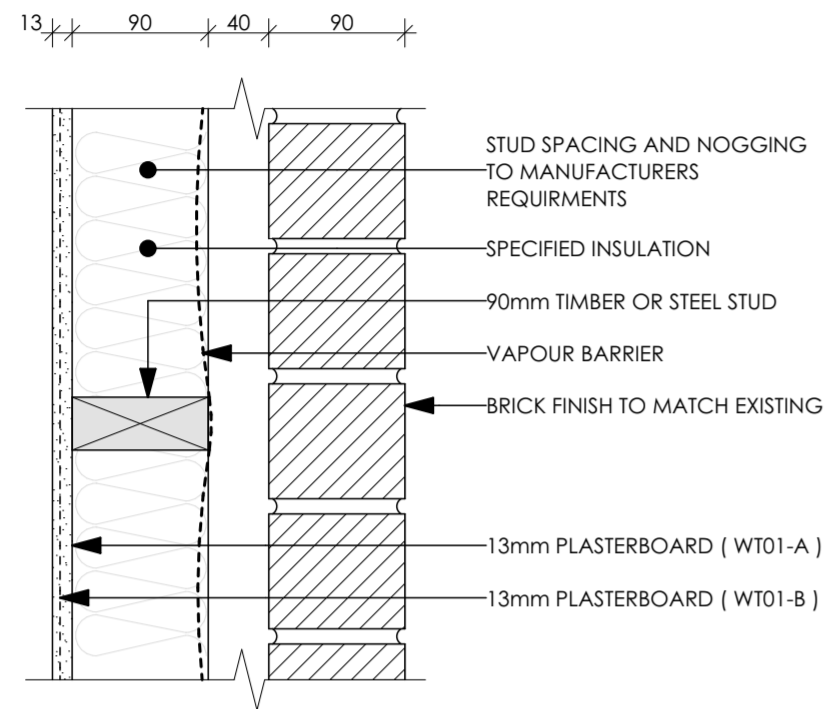
CLIENT  
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Newtown Qld 4305

SCALE  
AS SHOWN @ A2

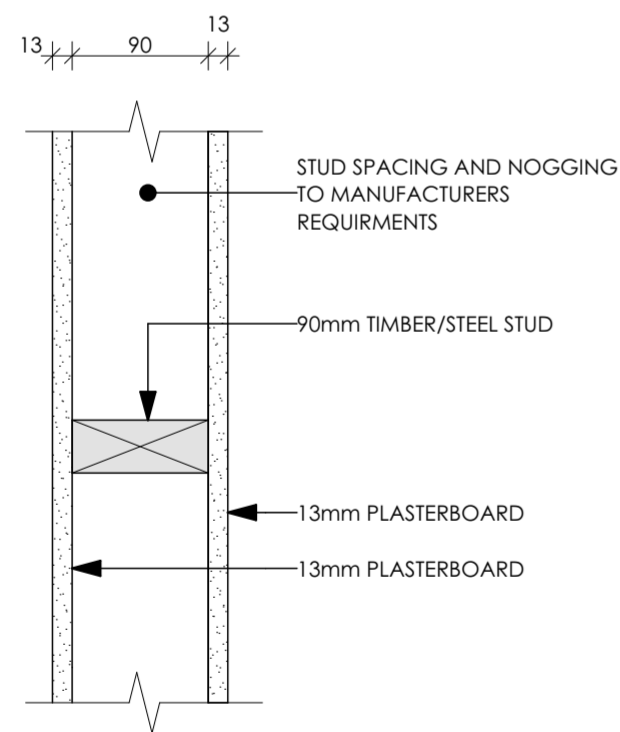
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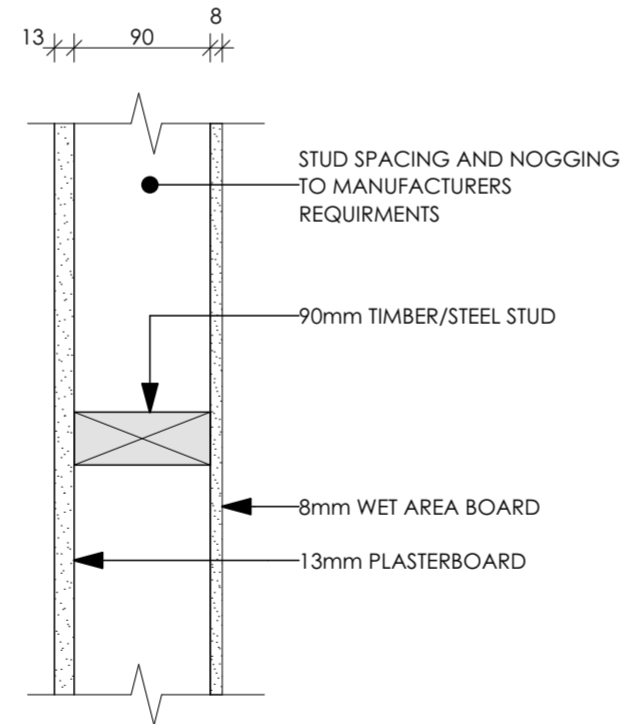
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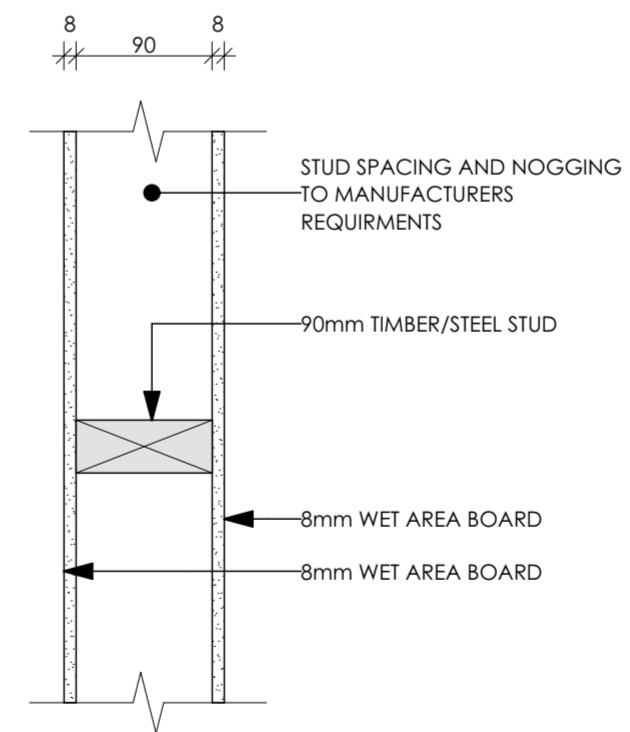
**WALL TYPE DETAIL - WT01**  
Scale: 1:5



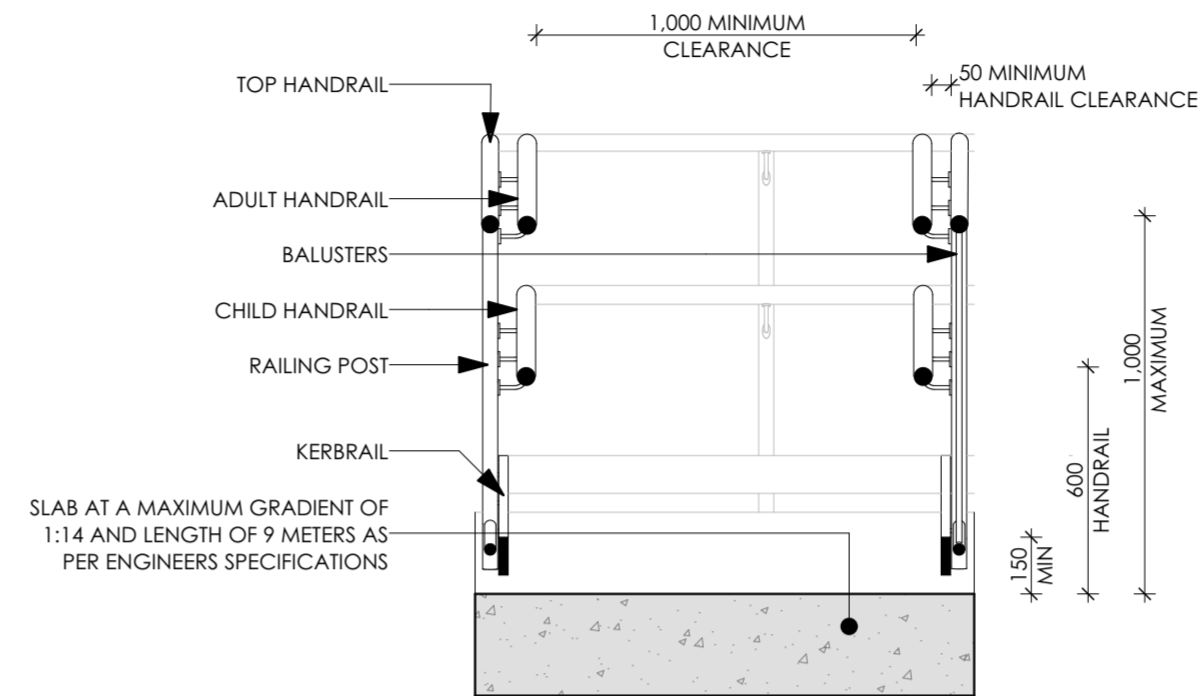
**WALL TYPE DETAIL - WT10**  
Scale: 1:5



**WALL TYPE DETAIL - WT11**  
Scale: 1:5



**WALL TYPE DETAIL - WT12**  
Scale: 1:5



**RAMP SECTION - CHILDCARE**  
Scale: 1:20



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**DETAIL - WALL TYPES & RAMP**

CLIENT  
Learning Pathways  
49 Wallace Street  
Newtown Qld 4305

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AS SHOWN @ A2

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SHEET

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