


APPENDIX C - ENGINEERING REPORT

Kehoe Myers Engineers

ENGINEERING INFRASTRUCTURE REPORT

CURZON CENTRAL
81-83 CURZON STREET, TOOWOOMBA, QLD

Document Control Page					
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1. INTRODUCTION AND EXECUTIVE SUMMARY

Kehoe Myers Consulting Engineers has been engaged to prepare an Engineering Infrastructure Report as part of the design documentation in support of the Development Application with the Toowoomba Regional Council (TRC) on Curzon Street, described across 3 lots as Lots 2-4 on RP63201 in Toowoomba, Queensland. The report will also follow the notes made at the Toowoomba Regional Council, Pre-Lodgement meeting (PREL/2025/4675) and will seek to address the engineering issues identified within this meeting.

The proposed development consists of a medical centre on an existing residential site on Curzon Street, Toowoomba. Works will include the construction of a new pharmacy, café, retail area and tenancies with extensive external paved areas and landscaping. Earthworks to provide a level building pad, stormwater, sewerage, water reticulation, power and telecommunications services to the building will also be constructed.

This report seeks to address the onsite engineering issues associated with the proposed development works, including:

- Existing services within the subject area;
- Siteworks and proposed earthworks;
- Site access and transport impacts;
- Stormwater quantity and quality management;
- Sewerage reticulation and requirements;
- Water reticulation and requirements;
- Electrical and telecommunication supply.

The report concludes that the development will be able to be connected to the local transport, stormwater, sewer, water reticulation and power/telecommunication networks with minimal impact on all existing services.

From the preliminary analysis of the site, it is seen that the development will require allotment earthworks to form both the proposed vehicle access, building pad and landscaping. These earthworks are to be generally in accordance with expected development works and will be detailed as part of a future Operational Works application.

A detailed Traffic Impact Statement has been prepared by others to address all access and traffic considerations for the proposed development. This report will be included in the overall DA submission to the Council.

As detailed in the accompanying Stormwater Management Plan prepared by Kehoe Myers, and advice issued by TRC at the Pre-Lodgement meeting, the development will provide stormwater quantity management by redirecting flows from a portion of the site to Curzon Street and the provision of detention tanks for capturing and mitigating roof water. These detention tanks have been sized to limit the impact on the downstream property while also providing the necessary attenuation for the proposed development.

Stormwater quality for the proposed development is to be managed by the provision of a treatment train incorporating rainwater tanks, StormSacks, a swale and filter media to comply with TRC's pollutant reduction policy and State Planning Policy (SPP).

Finally, from the overall assessment of the Sewer, Water, Electrical and Telecommunication supply, it was seen that the development can be readily serviced by the existing adjacent infrastructure. Further details of these proposed connections are provided below and will be detailed in a future Operational Works application.

1.1. SITE LOCATION AND DESCRIPTION

The proposed development is located over three lots along Curzon Street, Toowoomba, with a total area of 3,720m². The first lot has an area of 1,135m² with a real property description of Lot 2 on RP63201. The second lot has an area of 1,062m² with a real property description of Lot 3 on RP63201. The third lot has an area of 1,523m² with a real property description of Lot 4 on RP63201. A Locality Plan highlighting the proposed development site is shown below.

Refer to **FIGURE 1** below for site location with respect to adjoining roads and lots.



FIGURE 1 SITE LOCALITY MAP (QUEENSLAND GLOBE 2026)

1.2. EXISTING SITE CONDITIONS

From the available LiDAR contours and aerial imagery of the subject allotments, all allotments are currently occupied and feature residential dwellings with paved driveways. The subject allotments also feature road frontage to Curzon Street to the east. Lots 3 and 4 on RP63201 have access via a shared driveway crossover, whilst Lot 2 on RP63201 has access via its own driveway crossover.

Topographically, the site generally falls from the east to the west. The average gradient across all allotments is approximately 4%.

A current aerial image of the proposed development site is shown below in **FIGURE 2**.



FIGURE 2 AERIAL PHOTOGRAPH & CONTOURS (QUEENSLAND GLOBE 2026)

1.3. PROPOSED DEVELOPMENT LAYOUT

The proposed development layout has been developed in association with the Client, Architect and the Toowoomba Regional Council. From this liaison, it was determined that the proposed development layout would seek to address the performance outcomes of the TRC Material Change of Use Code, the initial advice given at the pre-lodgement meeting.

A new driveway crossover will be required for vehicular access to the development. On-site car parking will be required to facilitate visitors and staff members accessing the development. Bicycle parking is also proposed to promote cycling commutes to the development.

A snapshot of the approved Site Layout of the development is shown below in **FIGURE 3** and a full plan of the proposed site is attached in **APPENDIX A**.

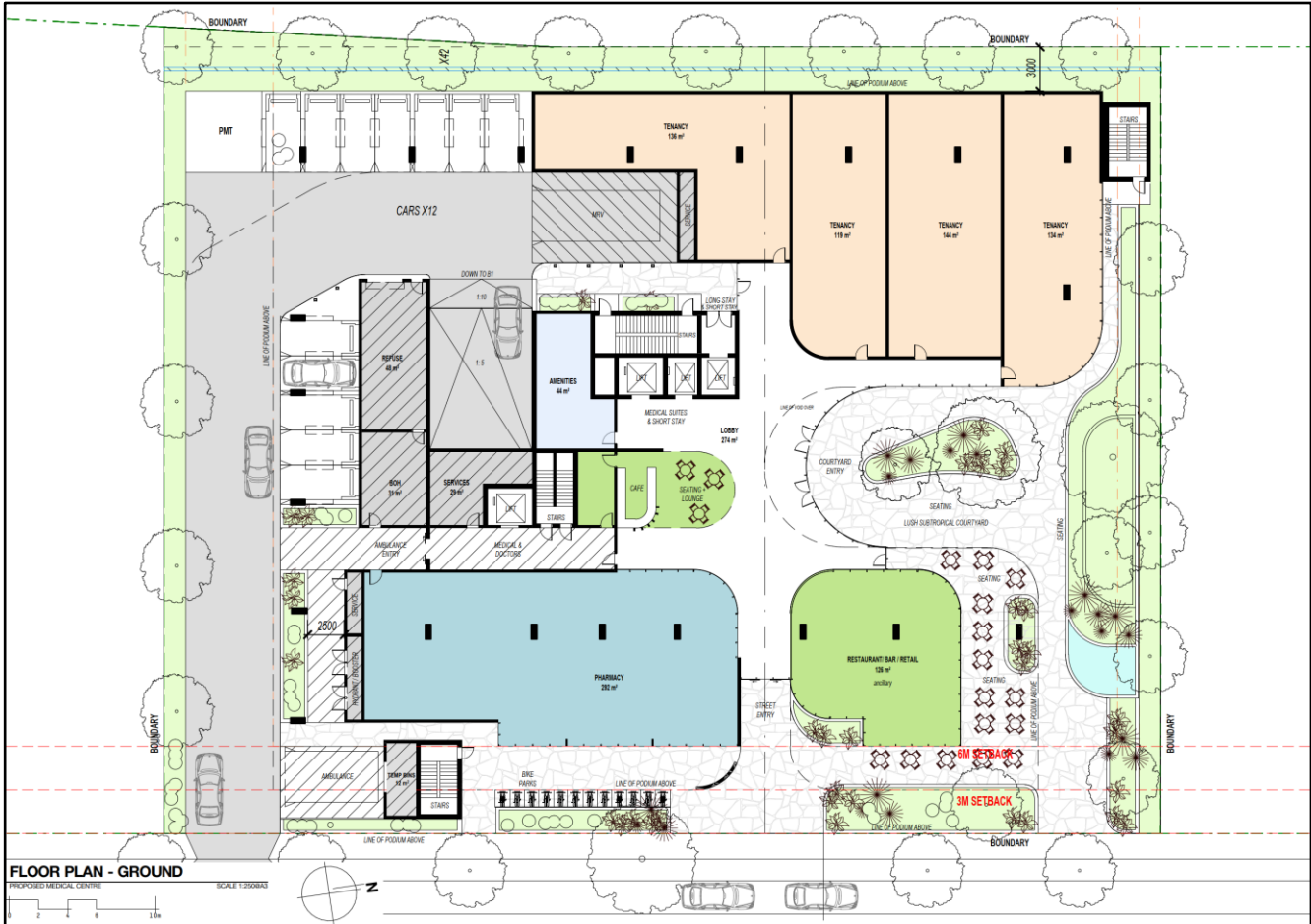


FIGURE 3 FLOOR PLAN (BURLING BURROWS DRAWING: CUR01-SK-23-DA1)

2. SITEWORKS AND TRANSPORT

2.1. EARTHWORKS

From the preliminary analysis on-site, it is seen that the development will require earthworks to form the building pad and required services. Surface grading will be required to discharge a portion of the site's stormwater to Curzon Street. From these works and the accompanying stormwater management plan, it is seen that there will be no adverse impacts on neighbouring allotments. These earthworks are seen to be generally in accordance with expected development works and will be detailed as part of a future Operational Works application.

2.2. ROADWORKS

To enable access to the proposed development, a new driveway crossover will be created and connected to Curzon Street. This driveway crossover will be adopted in general accordance with IPWEA standard drawing RSD-102 and will serve as the only vehicular entrance and exit from the development. An internal driveway will serve the connection between this access and serviceable onsite car parking, which will be in general accordance with AS2890.1.

The image, **FIGURE 4** below shows IPWEA's standard driveway crossover plan for heavy-duty use, where the development likely falls under this condition.

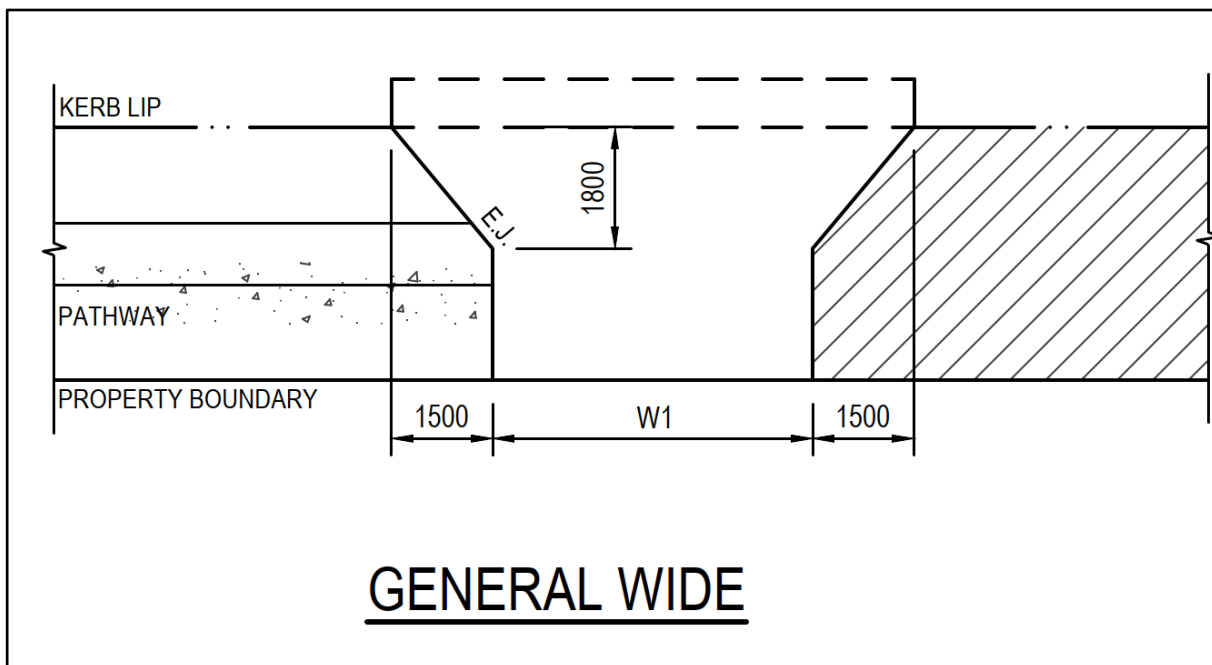


FIGURE 4 TYPICAL DRIVEWAY CROSSOVER (IPWEA STANDARD DRAWING RSD-102)

2.3. TRAFFIC IMPACT

A Traffic Impact Assessment (TIA) will be prepared by others, outlining the traffic outcomes of the proposed development, including traffic distribution and impact on the surrounding network. A vehicle manoeuvring analysis for the proposed development site has also been undertaken by the same group, aiming to show the development's compliance with the standard vehicles.

3. STORMWATER MANAGEMENT PLAN

3.1. STORMWATER QUANTITY MANAGEMENT

Stormwater Quantity Management for the proposed development has been addressed within the accompanying Stormwater Management Plan prepared by Kehoe Myers.

3.2. STORMWATER QUALITY MANAGEMENT

Stormwater Quality Management for the proposed development has been addressed within the accompanying Stormwater Management Plan prepared by Kehoe Myers.

4. WASTEWATER

4.1. EXISTING COUNCIL SEWER INFRASTRUCTURE

The sewerage from the proposed development shall be connected and discharged to an existing gravity sewer main to the south of the development. An existing sewer main currently runs through the development site and services the existing allotments. However, this main is to be removed to serve the future development. The existing sewer main is ideally located at the lowest part of the development site and will allow the development to drain to a single connection point. The finished height of the connection manhole is less than 4.0m in depth, so any connection is possible and should remain in accordance with Toowoomba Regional Council's development standards.

FIGURE 5 below indicates the existing sewer network adjoining the site from the council's TR MAPS.

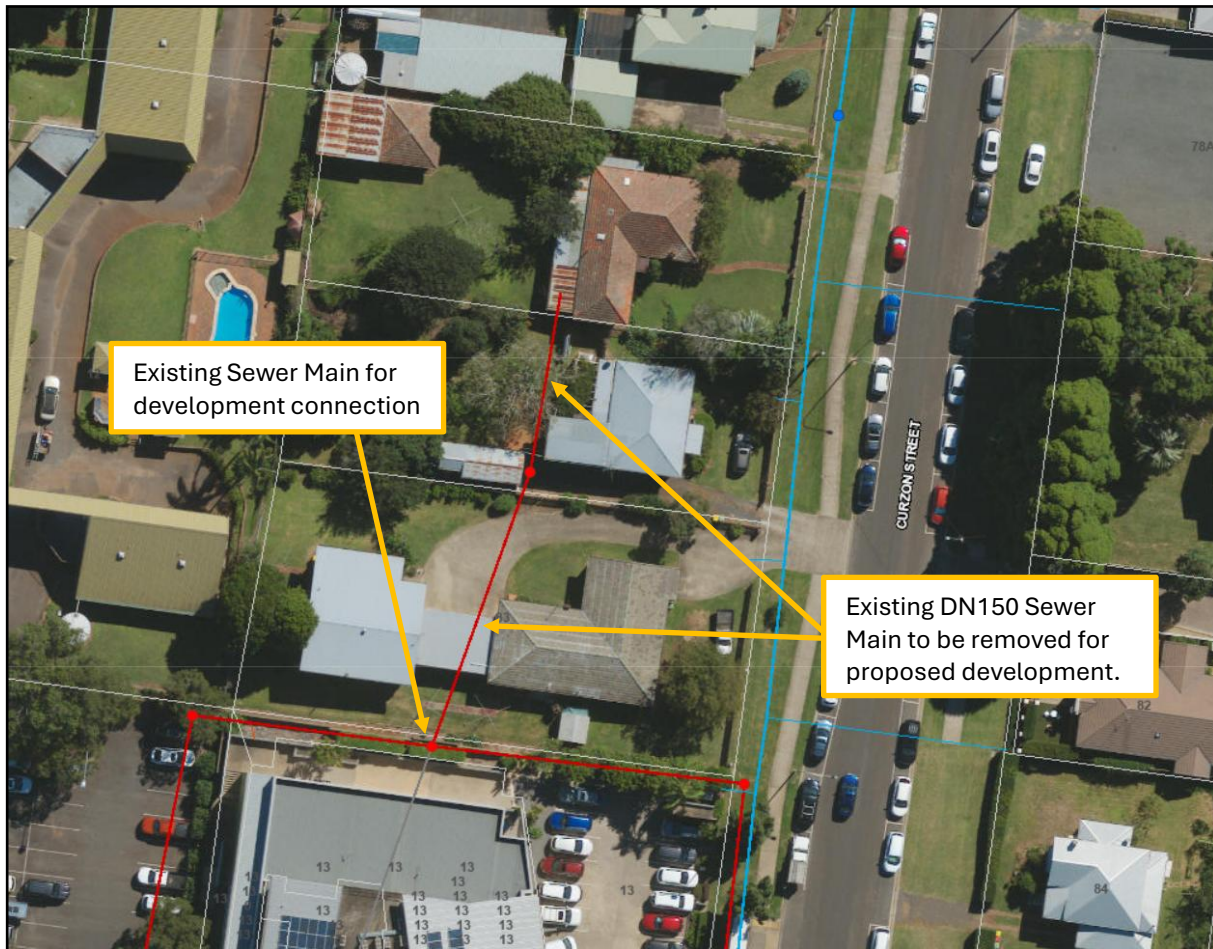


FIGURE 5 EXISTING SEWER NETWORK (TR MAPS 2026)

4.2. INTERNAL WASTEWATER DEMAND

From the proposed development layout, detailed above in **Section 1.3** the proposed development will provide an estimated Gross Building Area (GBA) of 17,102m². From this, the DEWS' indicative average flows for each of the development's uses were adopted in accordance with Burling Brown's architect plans. The GBA for each development use was used to provide an estimate of the development's average sewer loadings.

Furthermore, an estimated value for equivalent persons (EP) can be calculated by adopting a standard ADWF value of 150L/EP/day, in line with Toowoomba Regional Council's wastewater loadings as per SC6.3.3.7 TRC Addendum for Sewerage Code of Australia, WSA 02 – 2014 V3.1. The calculated total average sewer loadings are presented in **TABLE 1** below.

TABLE 1 ESTIMATED AVERAGE SEWER FLOWS BASED ON DEVELOPMENT USE

LEVEL GROUND					
DEVELOPMENT TYPE	DEWS CLASSIFICATION	SEWER LOADING RATE (L/DAY)	UNIT RATE	NUMBER OF UNITS	TOTAL SEWER DEMAND (L/DAY)
TENANCY	Medical Centre	600	100m ² GFA	522m ²	3,132.0
PHARMACY	Shop	400	100m ² GFA	292m ²	1,168.0
CAFÉ	Food Service	1,100	100m ² GFA	206m ²	2,266.0
CAFÉ KIOSK	Food Service	1,100	100m ² GFA	53m ²	583.0
LEVEL 1 (MEDICAL)					
TENANCY	Medical Centre	600	100m ² GFA	1,619m ²	9,714.0
LEVEL 2 (SHORT STAY & MEDICAL)					
TENANCY	Medical Centre	600	100m ² GFA	838m ²	5,028.0
UNIT	Motel	450	Per Room	16 rooms	7,200.0
LEVEL 3 (SHORT STAY)					
UNIT	Motel	450	Per Room	26 rooms	11,700.0
LEVEL 4 (APARTMENTS)					
1-BED ROOM	Apartment/Home Unit	400	Per Room	2 rooms	800.0
2-BED ROOM	Apartment/Home Unit	550	Per Room	3 rooms	1,650.0
3-BED ROOM	Apartment/Home Unit	700	Per Room	5 rooms	3,500.0
TOTAL AVERAGE DRY WEATHER FLOW (ADWF)					46,741.0
ESTIMATED TOTAL EQUIVALENT PERSONS (EP)					312

Through adopting TRC's ADWF parameter, the average dry weather flow from this development will be approximately 46,741 litres per day or approximately 0.541 litres per second average flow rate of wastewater.

By then adopting the historical Queensland approach, the full sewer loadings can be calculated for the proposed development. These calculated Development Sewer Loadings are presented in **TABLE 2** below.

TABLE 2 DEVELOPMENT SEWER LOADINGS

DISCHARGE LOCATION	Southern Manhole	
TOTAL EQUIVALENT PERSONS (EP)	312	
LOADING RATE (L/EP/DAY)	150	
SEWER DEMAND	(L/DAY)	(L/SEC)
AVERAGE DRY WEATHER FLOW (ADWF)	46,741.0	0.541
C1	6.030	
C2	2.572	
PEAK DRY WEATHER FLOW (PDWF)	120,214	1.391
PEAK WET WEATHER FLOW (PWWF)	281,860	3.262

As the above development loadings are typical of a typical commercial development, it has been assumed that no further analysis of the downstream network is required.

4.3. PROPOSED INTERNAL SEWER INFRASTRUCTURE

The proposed development will be serviced by a new connection from an existing gravity sewer main south of the development site. This proposed sewer network will be designed in accordance with the requirements of Toowoomba Regional Council's planning scheme and the Sewerage Code of Australia, WSA 02.

Details of the proposed sewer reticulation layout for the site are shown on the Proposed Services Layout Plan attached in **APPENDIX B** of this report. All further details of the proposed internal sewer network will be provided as part of future Operational Works and Plumbing & Drainage applications.

5. WATER SUPPLY

5.1. EXISTING COUNCIL WATER INFRASTRUCTURE

Currently, there is no Council water infrastructure within the proposed development site. It is proposed that a connection is made to the 100 mm AC main along the Curzon Street frontage, indicated on the preliminary services layout in **APPENDIX B**. From TR Maps, the existing water mains were installed post-2009, and therefore, it is assumed they are on the current standard alignment with the required cover. **FIGURE 6** below indicates the existing water network adjacent to the site.



FIGURE 6 EXISTING WATER MAIN INFRASTRUCTURE (TR MAPS 2026)

5.2. INTERNAL WATER DEMAND

As mentioned in **Section 4.2** the proposed development will provide an estimated Gross Building Area (GBA) of 17,102m². From this, the DEWS' indicative average demands for each of the development's uses were adopted in accordance with Burling Brown's architectural plans. The GBA for each development use was used to provide an estimate of the development's average water demand.

Furthermore, an estimated value for equivalent persons (EP) can be calculated by adopting a standard loading rate of 200L/EP/day, in line with Toowoomba Regional Council's wastewater loadings as per SC6.3.2.7 TRC Addendum for Sewerage Code of Australia, WSA 03 – 2011 V3.1. The calculated total average sewer loadings are presented in **TABLE 3** and **TABLE 1** below.

TABLE 3 ESTIMATED TOTAL AVERAGE WATER DEMAND BASED ON DEVELOPMENT USE

LEVEL GROUND					
DEVELOPMENT TYPE	DEWS CLASSIFICATION	WATER DEMAND RATE (L/DAY)	UNIT RATE	NUMBER OF UNITS	TOTAL WATER DEMAND (L/DAY)
TENANCY	Medical Centre	650	100m ² GFA	522m ²	3,393.0
PHARMACY	Shop	750	100m ² GFA	292m ²	2,190.0
CAFÉ	Food Service	1,700	100m ² GFA	206m ²	3,502.0
CAFÉ KIOSK	Food Service	1,700	100m ² GFA	53m ²	901.0
LEVEL 1 (MEDICAL)					
TENANCY	Medical Centre	650	100m ² GFA	1,619m ²	10,523.5
LEVEL 2 (SHORT STAY & MEDICAL)					
TENANCY	Medical Centre	650	100m ² GFA	838m ²	5,447.0
UNIT	Motel	550	Per Room	16 rooms	8,800.0
LEVEL 3 (SHORT STAY)					
UNIT	Motel	550	Per Room	26 rooms	14,300.0
LEVEL 4 (APARTMENTS)					
1-BED ROOM	Apartment/Home Unit	450	Per Room	2 rooms	900.0
2-BED ROOM	Apartment/Home Unit	700	Per Room	3 rooms	2,100.0
3-BED ROOM	Apartment/Home Unit	850	Per Room	5 rooms	4,250.0
TOTAL AVERAGE DAY DEMAND (AD)					56,306.5
ESTIMATED TOTAL EQUIVALENT PERSONS (EP)					282

By adopting the above parameters as well as Toowoomba Regional Council's water loadings as per SC6.3.2.7 TRC Addendum for Water Code of Australia, WSA 03 – 2011 V3.1 an estimate of development water loading can be made. Additional adopted parameters include:

- MDMM = 1.5 AD;
- PD = 2.25 AD;
- PH = 4.5 AD;
- NRW = 34.5 L/EP/d;

Adopting the parameters, the calculated development loadings can be determined and are presented in **TABLE 4** below.

TABLE 4 DEVELOPMENT WATER LOADINGS

TOTAL EQUIVALENT PERSONS (EP)	282	
LOADING RATE (L/EP/DAY)	200.00	
NON-REVENUE WATER (L/DAY)	9,715.2	
DEMAND	(L/DAY)	(L/SEC)
AVERAGE DAY DEMAND (AD)	56,306.5	0.652
MEAN DAY MAXIMUM MONTH (MDMM)	84,460.0	0.978
PEAK DAY DEMAND (PD)	126,690.0	1.466
PEAK HOUR DEMAND (PH)	(L/HR)	(L/SEC)
	10,557.0	2.933

As the above development loadings are typical of a typical commercial development, it has been assumed that no further analysis of the adjacent network is required.

5.3. PROPOSED INTERNAL WATER INFRASTRUCTURE

The proposed development will be serviced by a new water service connection, as detailed in **Section 5.2** above. This proposed water connection will be designed in accordance with the requirements of Toowoomba Regional Council's planning scheme and the Water Code of Australia, WSA 03.

Details of the proposed water reticulation layout for the site are shown on the Proposed Services Layout Plan attached in **APPENDIX B** of this report. All further details of the proposed internal water network will be provided as part of a future Plumbing & Drainage application.

6. ELECTRICAL, STREET LIGHTING AND COMMUNICATIONS

6.1. EXISTING INFRASTRUCTURE

From a 'Dial Before You Dig' search of the proposed development site, it was seen that a number of existing services run in the streets adjacent to the subject site. This includes low-voltage electrical systems, both underground and aboveground, within Curzon Street, as well as a high-pressure gas main in Curzon Street.

Telstra and NBN Co have also identified existing pit and pipe networks within the adjacent streets with stub lines for future connection in Curzon Street.

6.2. PROPOSED DEVELOPMENT WORKS

Reticulated underground electricity services will be provided to each allotment in accordance with the requirements of Ergon Energy. Connections will be made to the existing Ergon cables located within the surrounding streets.

Street Lighting will be provided in accordance with the requirements of the TRC Planning Scheme, AS/NZS 1158 Lighting for Roads and Public Spaces and AS4282 Control of the obtrusive effects of outdoor lighting.

Reticulated telecommunication services will be provided to each allotment in accordance with the requirements of NBN Co/Telstra. Connections will be made to the existing telecommunication services that exist within the adjoining streets.

A plan of the proposed services to each allotment and their connections to existing assets is attached in **APPENDIX B**. All further details regarding electrical, street lighting & telecommunications will be subject to a further detailed design by an electrical engineer.

7. CONCLUSION

As detailed in the sections above and accompanying Stormwater Management Plan, it has been determined that the proposed development works will provide adequate Transport, Stormwater, Sewer, Water Reticulation, and Power/Telecommunications services to the proposed development.

The current site conditions have been reviewed, and it is seen that only general site works will be required to construct the proposed development. A further operational works approval will be required for the proposed driveway crossover and to reform the verge area to be compliant with the proposed works.

A Traffic Impact Assessment (TIA) will be prepared by others, which will outline the traffic outcomes of the proposed development, including vehicle swept path diagrams.

Stormwater Quantity and Quality Management have been addressed for the proposed development within the accompanying Stormwater Management Plan prepared by Kehoe Myers.

From **Section 4 & 5** above, it was concluded that the proposed development can be connected to the existing sewer and water networks in the adjacent streets. From a preliminary analysis of expected demands, it was calculated that the proposed development will have a negligible impact on these existing systems, and no further analysis of these systems would be required. All further details of these proposed internal networks will be provided as part of a future Plumbing & Drainage application.

Finally, from the overall assessment of the electrical and telecommunication supply, it was seen that the development can be serviced by existing adjacent electrical and telecommunications networks. All further details regarding electrical, street lighting & telecommunications will be subject to a further detailed design by an electrical engineer.

Hence, as summarised above, the proposed development is able to be serviced by all applicable infrastructure services by utilising existing services and the creation of new connecting and complementary assets.

8. REFERENCES

Text References

Toowoomba Regional Council, Toowoomba Regional Planning Scheme

<https://www.tr.qld.gov.au/planning-building/planning-scheme-strategies-tools/planning-scheme-new/13289-access-the-toowoomba-regional-planning-scheme-9>

Queensland Government 2017, State Planning Policy, July 2017, Department of Infrastructure, Local Government Planning, Brisbane, Australia

Department of Energy and Water Supply (DEWS), "Planning Guidelines for Water Supply and Sewerage – April 2010

Austrroads Ltd 2020, Guide to Traffic Management Part 12: Traffic Impacts of Developments

Institute of Public Works Engineering Australasia, Queensland, 2017, Queensland Urban Drainage Manual –Fourth Edition, 2016, Institute of Public Works Engineering Australasia, Queensland

Water by Design 2010, MUSIC Modelling Guidelines, SEQ Healthy Waterways Partnership, Brisbane, Qld, ISBN 978-0-9806278-4-8

Software Used

DRAINS by Watercom Pty Ltd

MUSIC by eWater

9. APPENDICES

APPENDIX A. PROPOSED MEDICAL CENTRE PLANS (*BURLING BURROWS* DRAWINGS: CUR01-DA1)



DRAWING LIST

SK-01	COVER PAGE
SK-02	PROJECT INSPIRATION
SK-03	VASTU SHASTRA CONCEPT
SK-04	MASSING DIAGRAMS
SK-05	SITE PLAN
SK-06	PERSPECTIVE - CURZON STREET 1
SK-07	PERSPECTIVE - CURZON STREET 2
SK-08	PERSPECTIVE - CURZON STREET ENTRY
SK-09	PERSPECTIVE - CURZON STREET ENTRY
SK-10	PERSPECTIVE - ENTRY
SK-11	PERSPECTIVE - FOYER
SK-12	PERSPECTIVE - COURTYARD AERIAL
SK-13	PERSPECTIVE - COURTYARD ENTRY
SK-14	PERSPECTIVE - COURTYARD
SK-15	PERSPECTIVE - CAFE / COURTYARD
SK-16	PERSPECTIVE - ATRIUM
SK-17	PERSPECTIVE - PORTE COCHERE
SK-18	PERSPECTIVE - CURZON STREET (DUSK)
SK-19	DEVELOPMENT MATRIX
SK-20	SITE PLAN DETAILS
SK-21	FLOOR PLAN - BASEMENT 2
SK-22	FLOOR PLAN - BASEMENT 1
SK-23	FLOOR PLAN - GROUND (ENTRY / RETAIL)
SK-24	FLOOR PLAN - LEVEL 1 (MEDICAL)
SK-25	FLOOR PLAN - LEVEL 2 (MIXED USE)
SK-26	FLOOR PLAN - LEVEL 3 (RESIDENTIAL)
SK-27	FLOOR PLAN - LEVEL 4 (RESIDENTIAL)
SK-28	LANDSCAPE PLAN
SK-29	LANDSCAPE PALETTE
SK-30	FINISHES PALETTE
SK-31	ELEVATION - EAST
SK-32	ELEVATION - NORTH
SK-33	ELEVATION - WEST
SK-34	ELEVATION - SOUTH
SK-35	CROSS SECTION
SK-36	SHADOW ANALYSIS

JOB: **CU01**
 DATE: 22/5/2026

BURLINGBROWN

PROPOSED MEDICAL CENTRE

LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.

17 SHORT ST SOUTHPORT QLD 4215 AUSTRALIA
 PO BOX 930 SOUTHPORT QLD 4215 AUSTRALIA
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 BURLINGBROWN.COM

Preliminary Concept Design





PROPOSED MEDICAL CENTRE

Incorporating Indian Feng Shui design principles, this facility will revolutionise the delivery of medical services in Toowoomba. Connecting patients and practitioners through biophilia, transparency and a warm welcoming interface to create a landmark for the community.

ELEGANT, SOPHISTICATED &
CURVILINEAR WITH GRACE

INDIAN FENG SHUI
CONNECTION TO AIR & WATER

VISUAL, TRANSPARENT & APPEALING
TO THE PUBLIC



JOB:
CUR01

DATE:
22/5/2026

BURLINGBROWN

17 SHORT ST SOUTHPORT QLD 4215 AUSTRALIA
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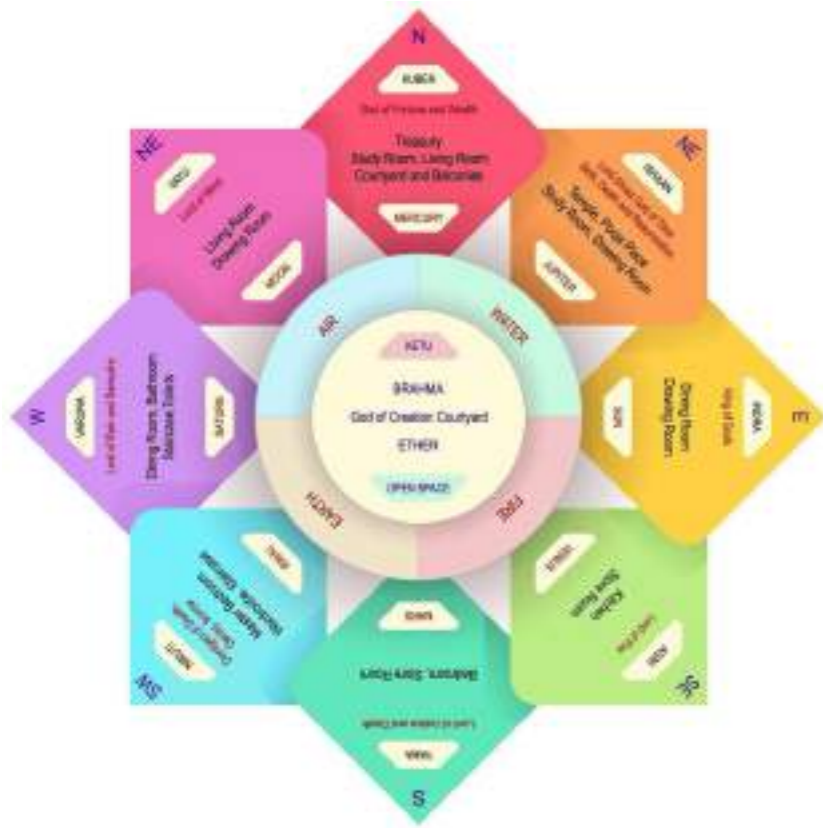
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Preliminary
Concept Design

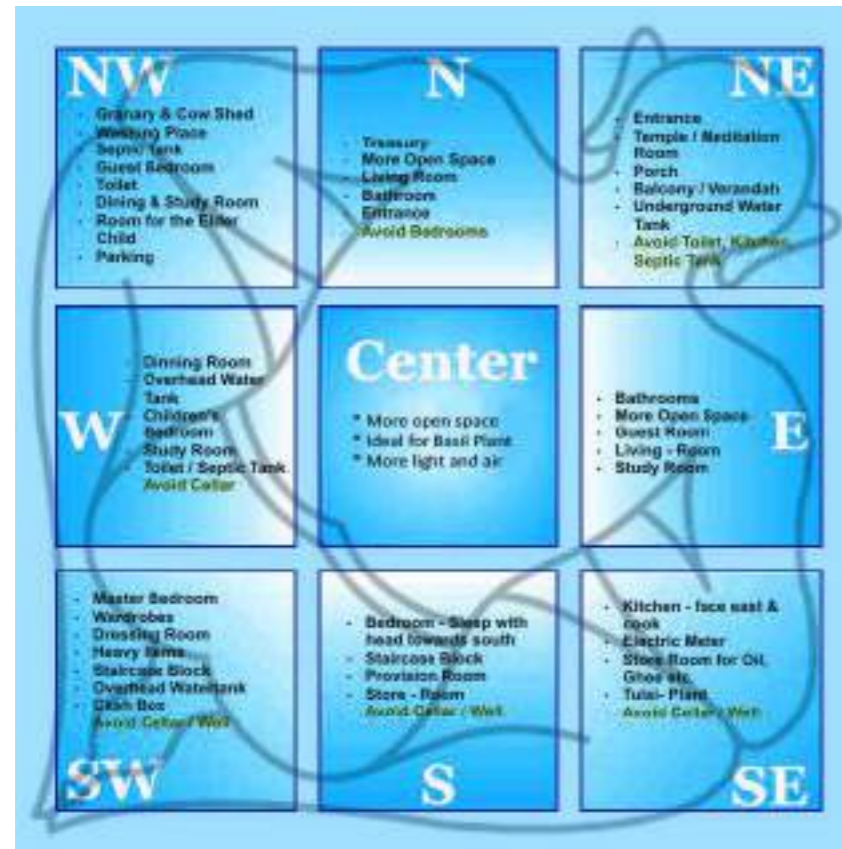
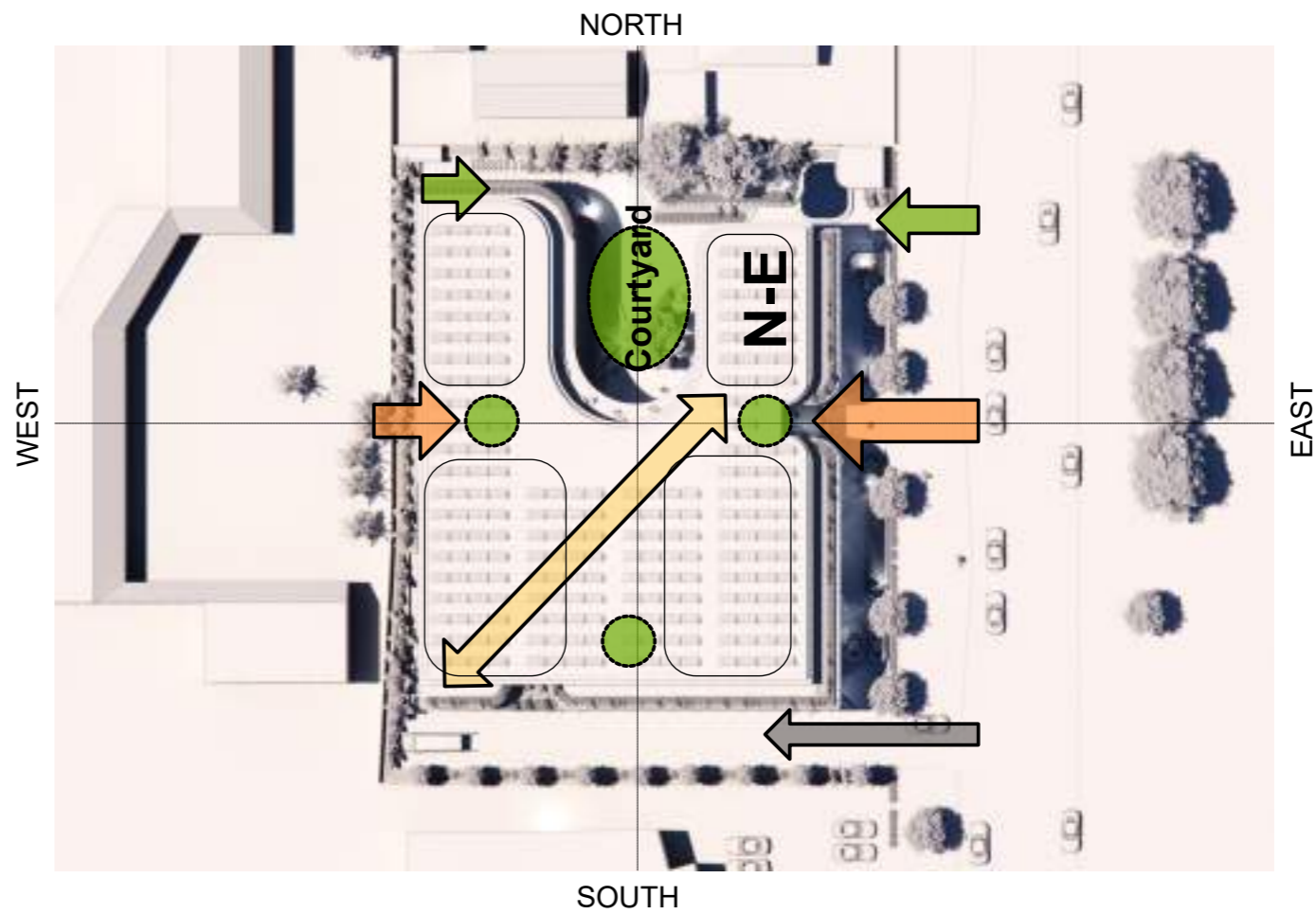
ISSUE
DA1

VASTU SHASTRA (SCIENCE OF ARCHITECTURE)

Vastu or Vastu Shastra is an ancient Indian system of architecture and design that emphasises the balance and harmony between a built structure and its inhabitants



RESEARCH APPLICATION



ORIENTATION	(LAYOUT)
N	COURTYARD LANDSCAPE POSSIBLE WATER FEATURE OPEN TO COURTYARD WAITING AREA
N-E	ENTRY (OUTDOOR JOURNEY THROUGH COURTYARD+LAN) MULTI FAITH SHRINE
E	RECEPTION (VISUAL AXIS FROM CURZON ST) DOCTORS L1 AND L2
S-E	PHARMACY/ RETAIL X-RAY AND MRI GROUND AND L1 CARPARK AT GROUND (ENTRY/ DRIVEWAY)
S	RECOVERY ROOMS BOH
S-W	MAIN DOCTORS GROUND AND L1 MEDICAL EQUIPMENT GROUND AND L1
N-W	TREATMENT ROOMS CARPARK AT GROUND (W) + PEDESTRIAN CONNECTION TO COURTYARD (N-W) BATHROOM DOCTORS AND NURSE QUARTERS
PRINCIPLES	
ORIENTATION	> ENTRANCE FACING NORTH- EAST OR N-E
ROOM SHAPE	> SQUARE OR RECTANGULAR
ROOM FEATURE	> NATURAL VENTILATION + NATURAL LIGHTING
	> WAITING AREAS AND LOBBIES CAN BENEFIT FROM CONTROLLED CENTRE
	> THE CENTRE SHOULD BE KEPT OPEN FOR NATURAL LIGHT AND AIR TO COME IN

VASTU SHASTRA CONCEPT
PROPOSED MEDICAL CENTRE
LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.

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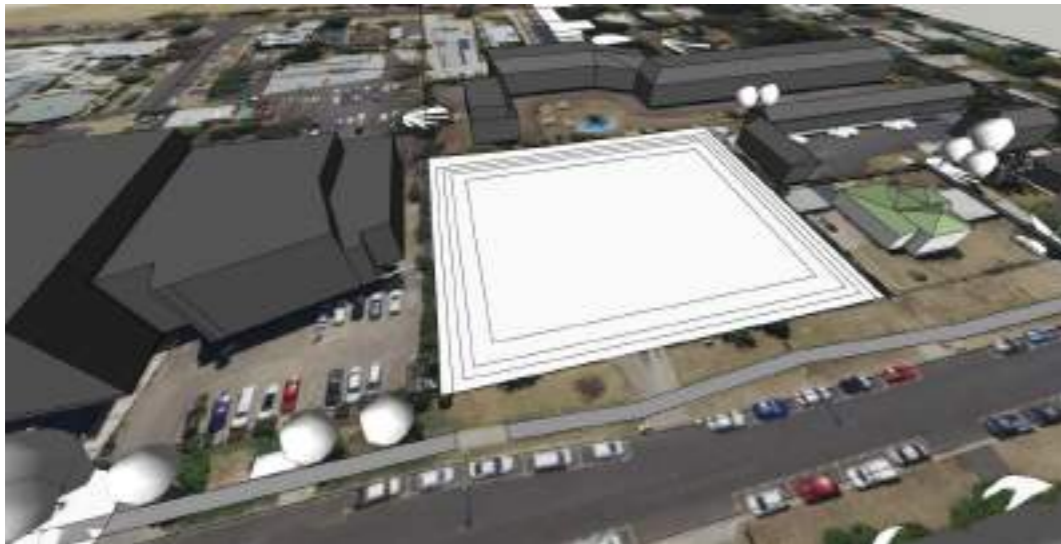
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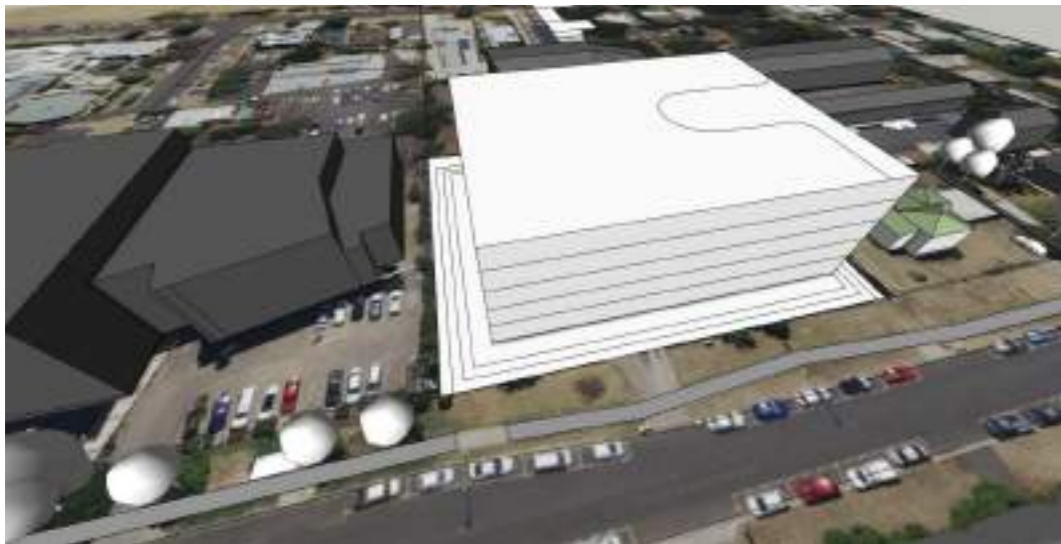




1. EXISTING SITE



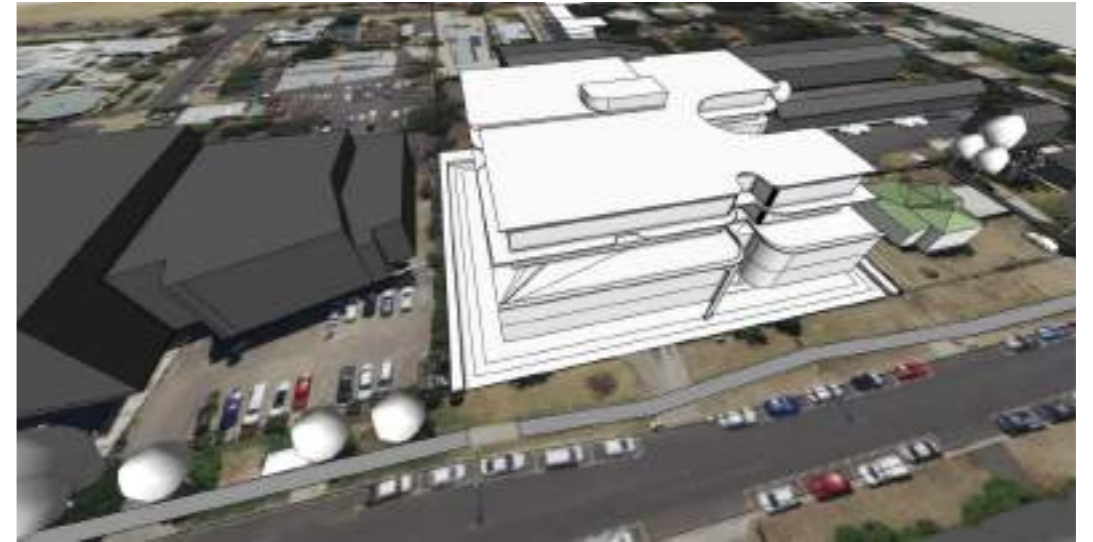
2. SITE SETBACKS



3. SITE MASSING (5 storeys)

MASSING

ARTICULATION



4. REDUCE MASS & ARTICULATION (street interface, balcony & design principles)



5. PROPOSED MEDICAL CENTRE

PROPOSED MEDICAL CENTRE MASSING DIAGRAMS

LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.

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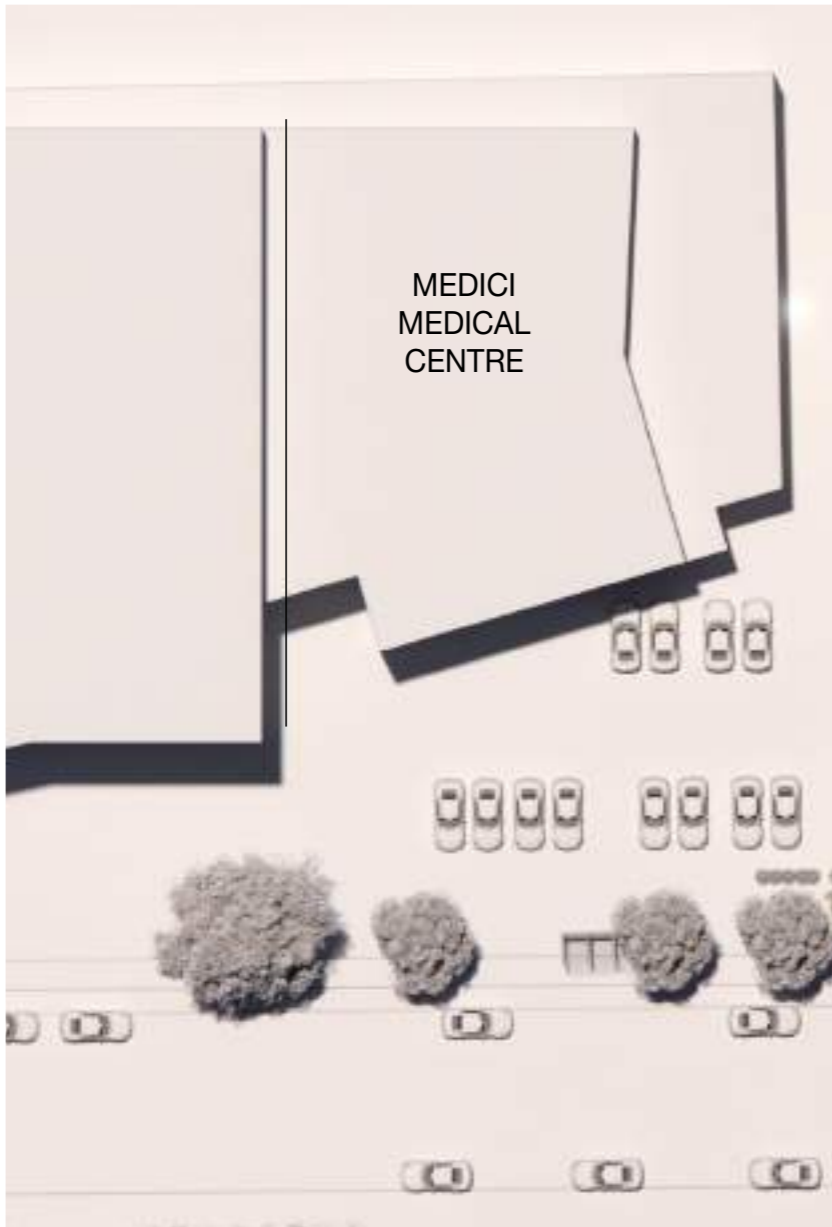
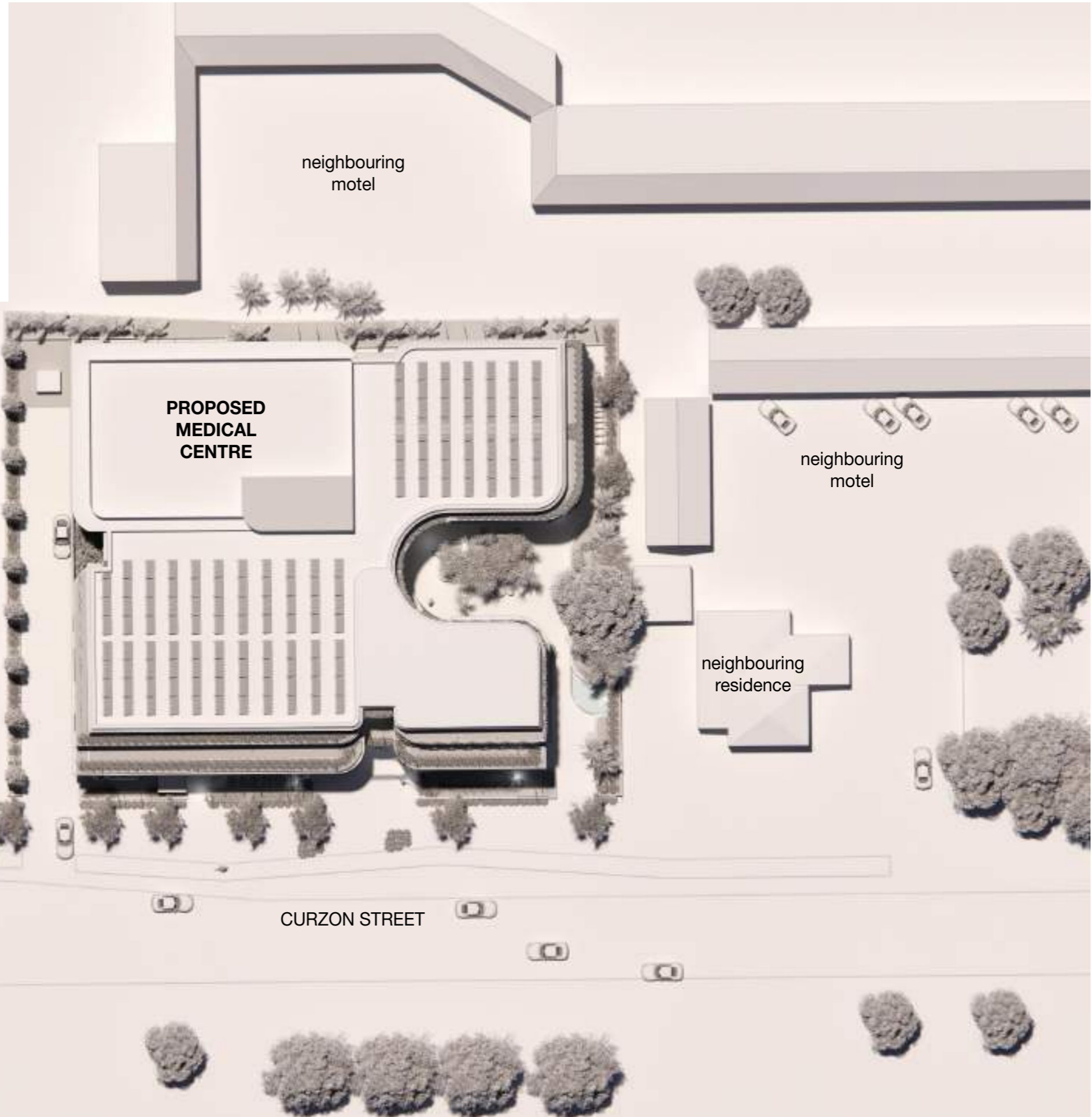
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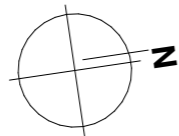
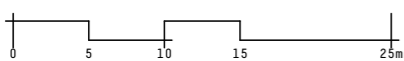
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SITE PLAN

PROPOSED MEDICAL CENTRE SCALE 1:500@A3



SITE PLAN
PROPOSED MEDICAL CENTRE

LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.

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PROPOSED MEDICAL CENTRE - CURZON STREET 1
 LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.



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PROPOSED MEDICAL CENTRE - CURZON STREET 2
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PROPOSED MEDICAL CENTRE - CURZON STREET ENTRY

LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.



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PROPOSED MEDICAL CENTRE - CURZON STREET ENTRY

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PROPOSED MEDICAL CENTRE - ENTRY

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PROPOSED MEDICAL CENTRE - FOYER
 LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.

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PROPOSED MEDICAL CENTRE - COURTYARD AERIAL

LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.

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PERSPECTIVE - COURTYARD AERIAL

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PROPOSED MEDICAL CENTRE - COURTYARD ENTRY

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PROPOSED MEDICAL CENTRE - COURTYARD

LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.



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PROPOSED MEDICAL CENTRE - CAFE / COURTYARD

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PROPOSED MEDICAL CENTRE - ATRIUM

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PROPOSED MEDICAL CENTRE - PORTE COCHERE

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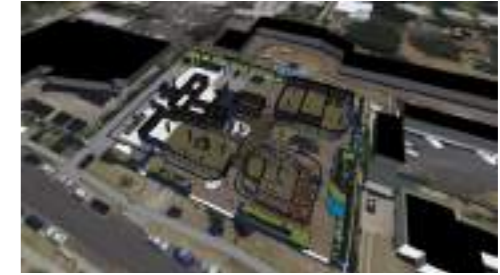
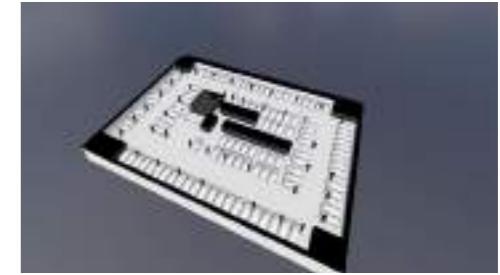


PROPOSED MEDICAL CENTRE - CURZON STREET (DUSK)

LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.

DEVELOPMENT MATRIX

PRELIMINARY BREAKDOWN		
		AMENDED
SITE AREA		3,718m ²
SITE COVER		62%
BASEMENT 2		
BGA		3,494m ²
CARS		122 spaces
		Incl. 12 tandem spaces
BASEMENT 1		
BGA		3,494m ²
CARS		120 spaces
		Incl. 12 tandem spaces
LEVEL GROUND		
RETAIL 1 (PHARMACY)		292m ²
RETAIL 2 (CAFE)		Internal 126m ²
		External 80m ²
RETAIL 3 (CAFÉ KIOSK)		53m ²
TENANCIES	x4 - 522m ² (SIZE: 119-144m ²)	
AMENITIES		44m ²
NSA		Internal 993m ²
		External 80m ²
CARS		12 spaces
MRV		1 spaces
AMBULANCE		1 spaces
BICYCLES		16 spaces
BOH		118m ²
LOBBY		185m ²
LAN		600m ²
LEVEL 1 (MEDICAL)		
GBA		2,260m ²
TENANCIES	x14 (SIZE: 100-200m ²)	
NSA		1,753m ²
AMENITIES		21m ²
LAN		76m ²
LEVEL 2 (SHORT STAY & MEDICAL)		
GBA		2,394m ²
UNITS	x16 - 572m ² (SIZE: 28-96m ²)	
NSA		1,410m ²
STORE		64m ²
SERVICES		43m ²
HK		21m ²
TENANCIES	x8 - 838m ² (SIZE: 85-135m ²)	
LAN		336m ²
TERRACES		130m ²
LEVEL 3 (SHORT STAY)		
GBA		2,168m ²
UNITS	x26 - 1,034m ² (SIZE: 28-96m ²)	
NSA		1,380m ²
SERVICES		38m ²
STORAGE		64m ²
LAN		407m ²
TERRACES		346m ²
LEVEL 4 (APARTMENTS)		
GBA		2,168m ²
APARTMENTS	x10 - 1,284m ² (SIZE: 79-118m ²)	
NSA		1,158m ²
GYM / AMENITIES		62m ²
LAN		325m ²
TERRACES		261m ²
TOTAL GBA		17,102m ²
TOTAL NSA		Internal 6,694m ²
		External 80m ²
TOTAL CARS		254 spaces
		Including 24 tandem spaces
CAR PARK REQUIREMENT		
1 PER STAFF		estimate 75
3 PER PRACTITIONER		78
1 PER UNIT		42
2 PER APARTMENT		20
1 PER 10 APART (VISITOR)		5
1 PER 20m ² OF RETAIL		18
TOTAL		238
SURPLUS		16



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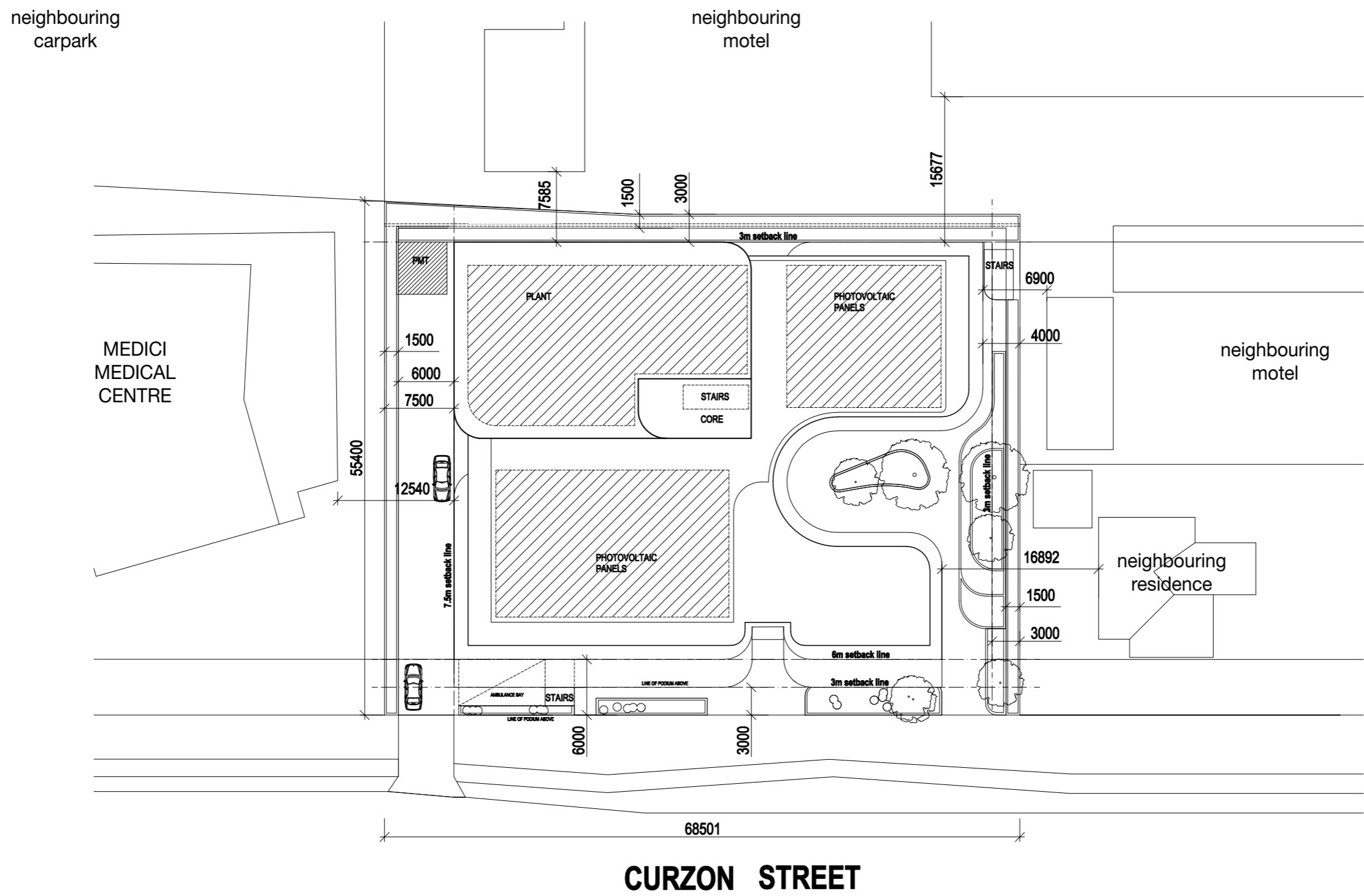
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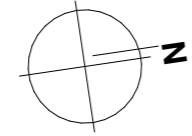
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PROPOSED MEDICAL CENTRE DEVELOPMENT MATRIX

LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.



SITE PLAN
 PROPOSED MEDICAL CENTRE
 SCALE 1:500@A3



SITE PLAN DETAILS

PROPOSED MEDICAL CENTRE

LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.

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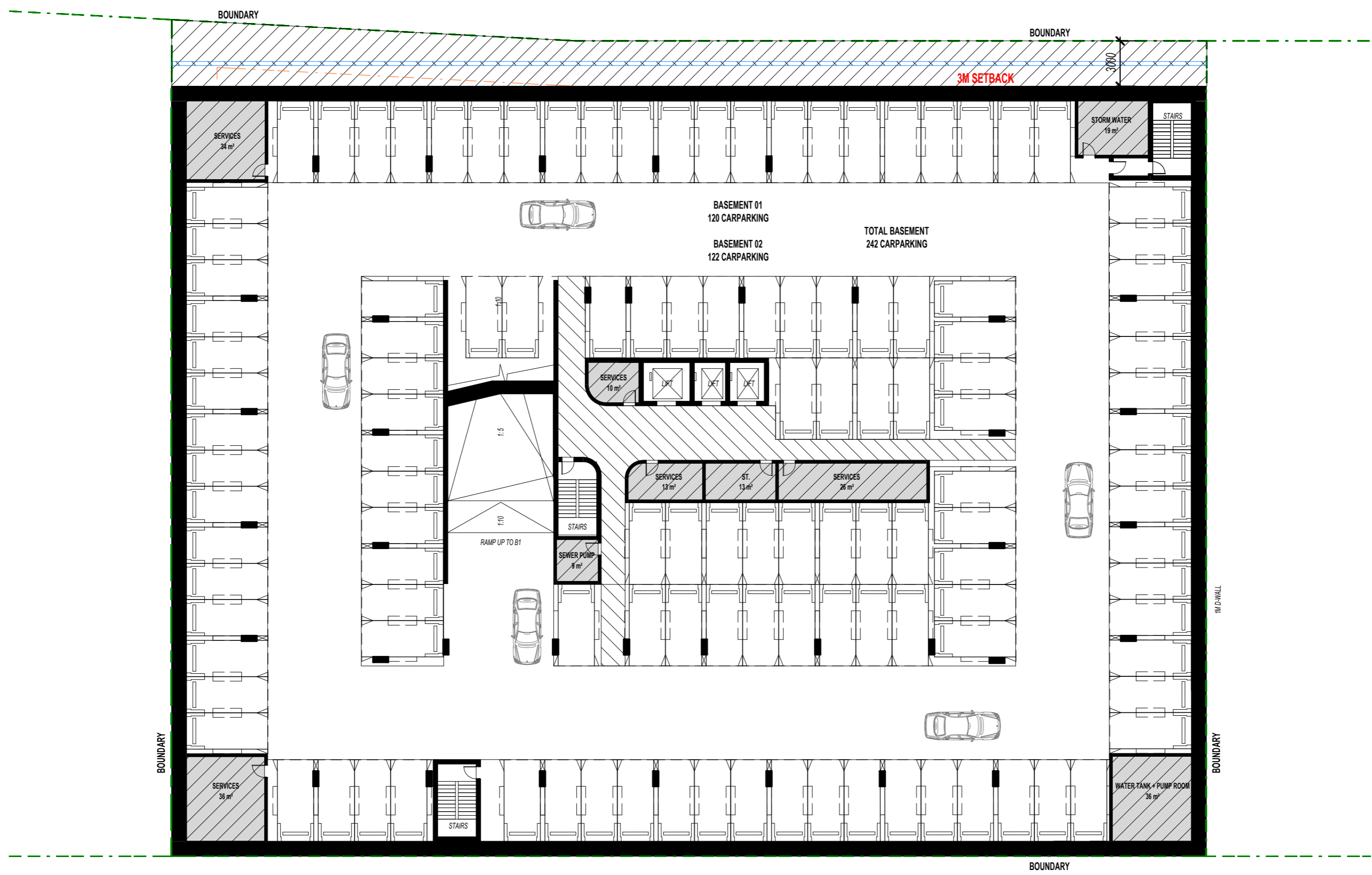
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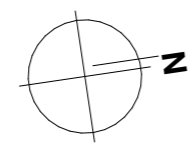
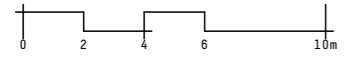
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FLOOR PLAN - BASEMENT 1 & 2
 PROPOSED MEDICAL CENTRE
 SCALE 1:250@A3

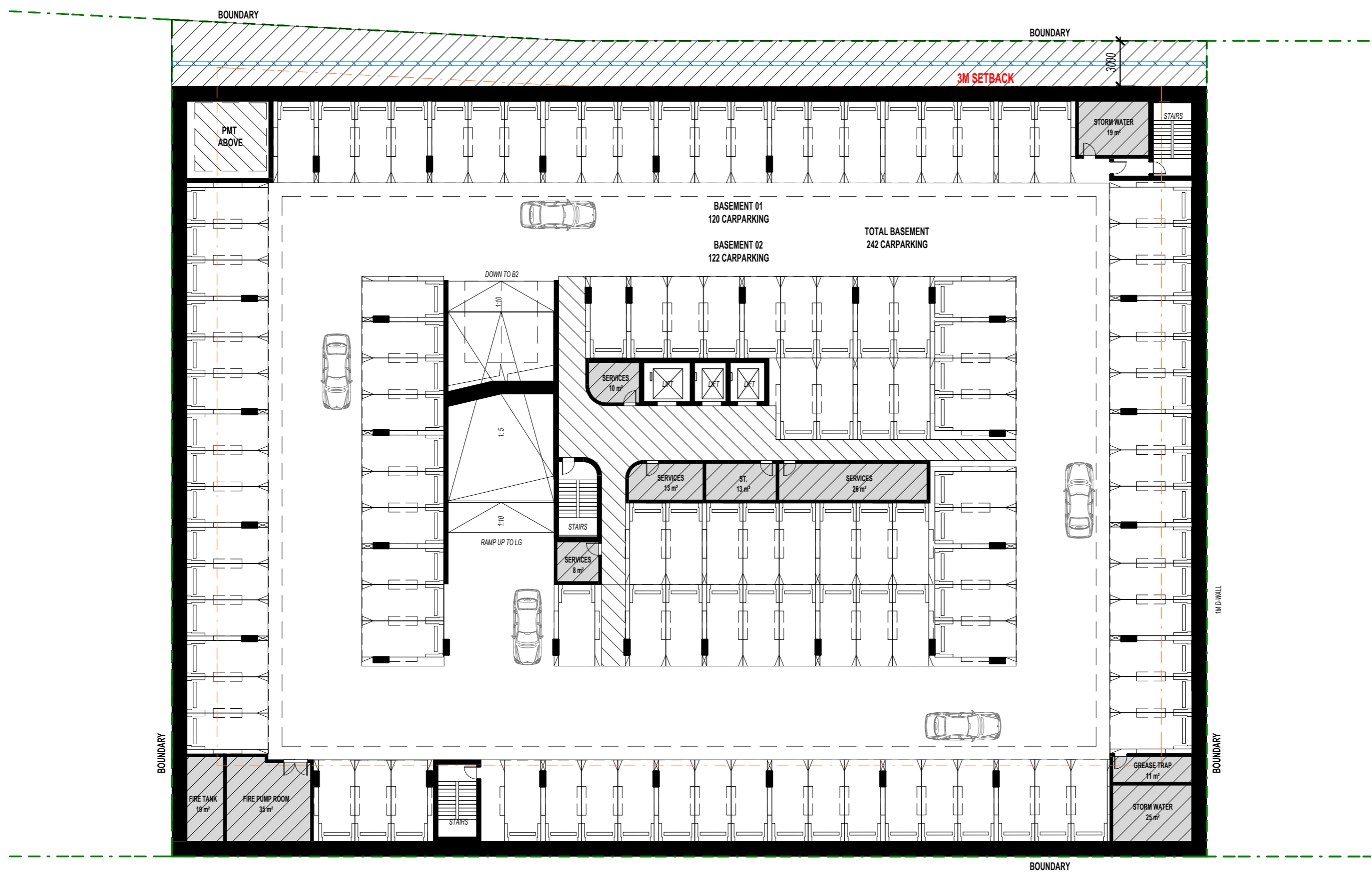


PROPOSED MEDICAL CENTRE BASEMENT 2

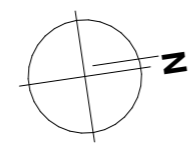
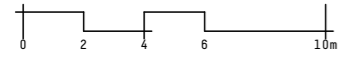
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FLOOR PLAN - BASEMENT 1 & 2
PROPOSED MEDICAL CENTRE
SCALE 1:250@A3



PROPOSED MEDICAL CENTRE BASEMENT 1

LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.

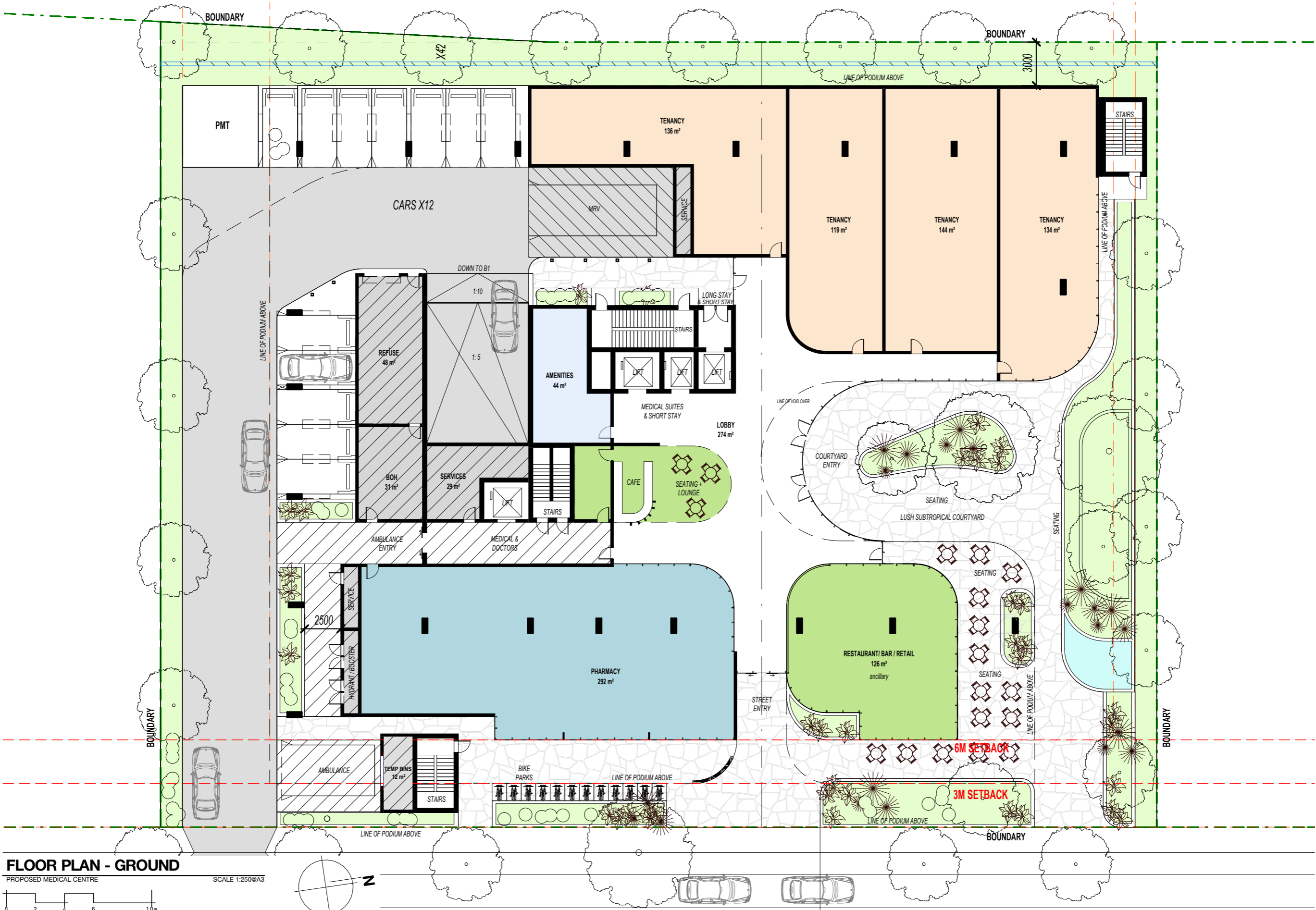
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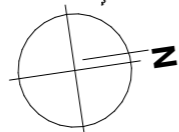
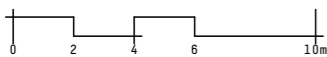




FLOOR PLAN - GROUND

PROPOSED MEDICAL CENTRE

SCALE 1:250@A3



PROPOSED MEDICAL CENTRE GROUND (ENTRY / RETAIL)

LOCATION: CURZON STREET EAST TOOWOOMBA QLD 4350.

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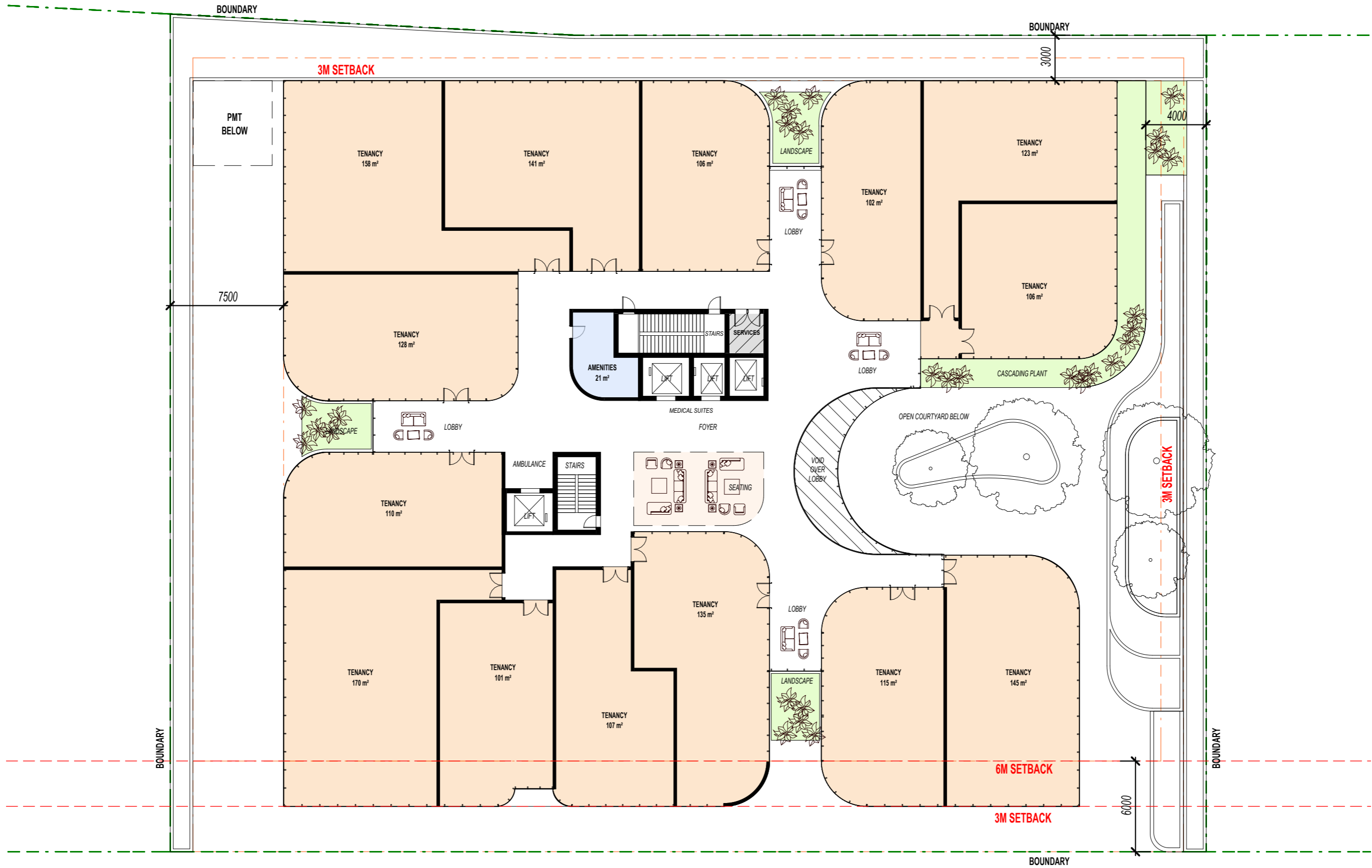
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FLOOR PLAN - GROUND (ENTRY / RETAIL)

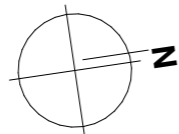
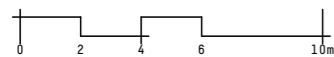
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FLOOR PLAN - LEVEL 1

PROPOSED MEDICAL CENTRE SCALE 1:250@A3



PROPOSED MEDICAL CENTRE LEVEL 1 (MEDICAL)

LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.

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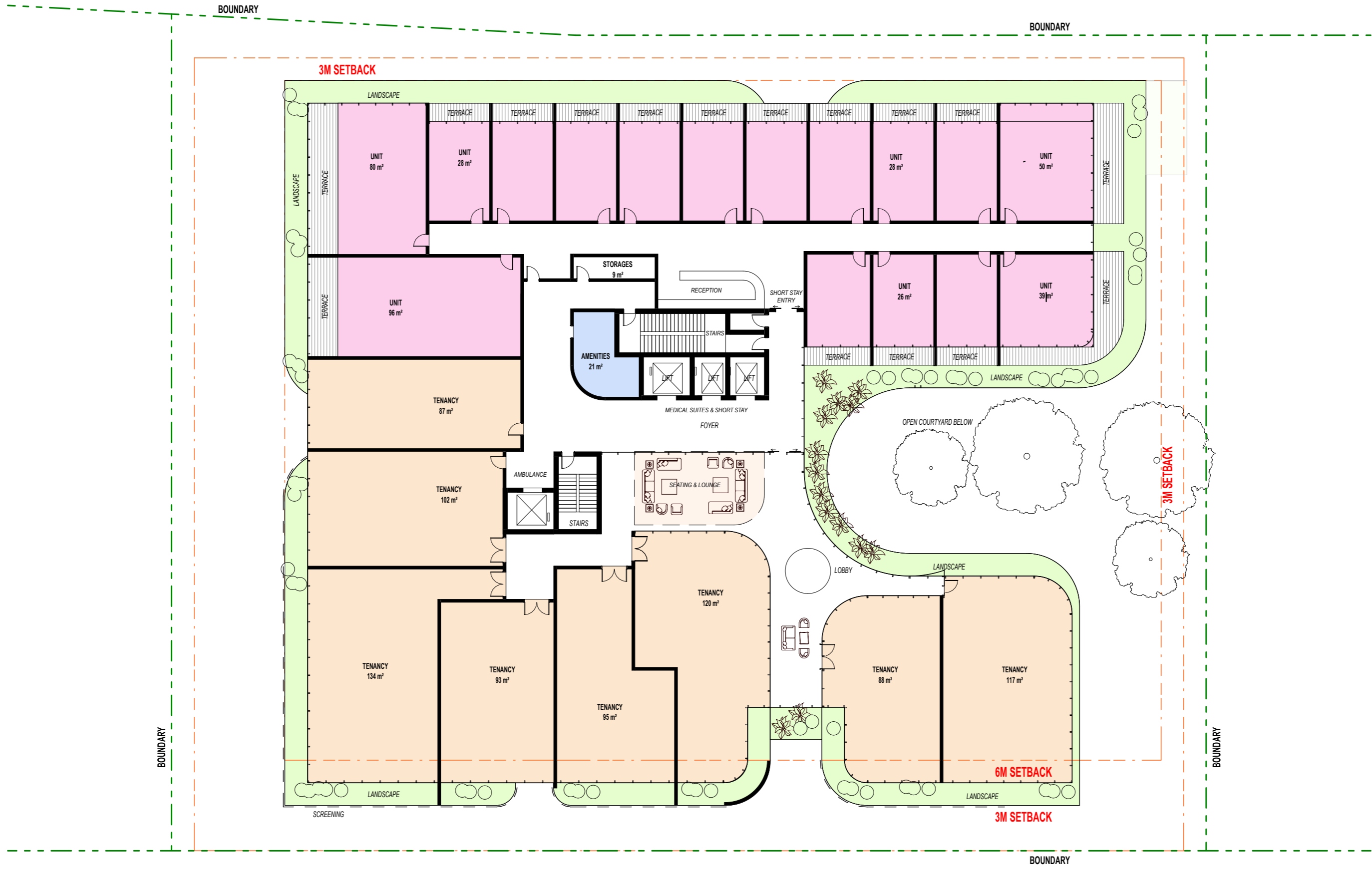
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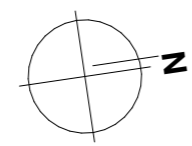
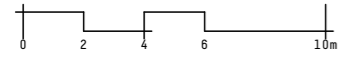
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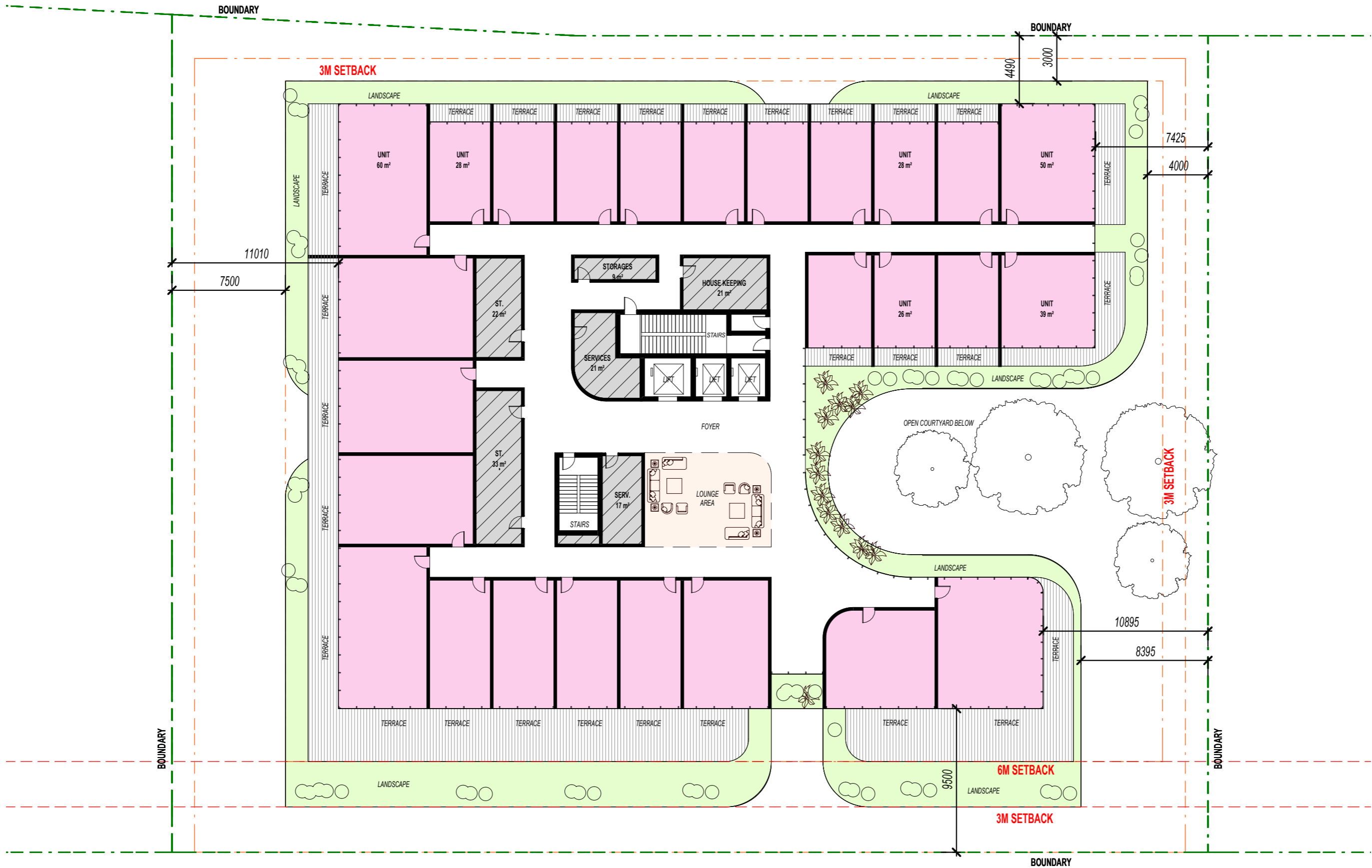
FLOOR PLAN - LEVEL 2

PROPOSED MEDICAL CENTRE SCALE 1:250@A3



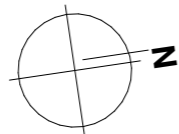
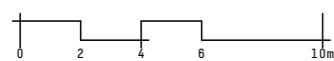
PROPOSED MEDICAL CENTRE LEVEL 2 (MIXED USE)

LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.



FLOOR PLAN - LEVEL 3

PROPOSED MEDICAL CENTRE SCALE 1:250@A3



PROPOSED MEDICAL CENTRE LEVEL 3 (RESIDENTIAL)

LOCATION: CURZON STREET EAST TOOWOOMBA_QLD_4350.

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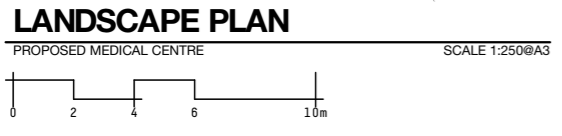
LEVEL GROUND
 DEEP PLANTING 224SQM
 (EASEMENT)
 PLANTER 376.5SQM
 OUTDOOR DINING 80SQM
 OUTDOOR PAVING AREA 444SQM
 BIKE #24

LEVEL 1
 PLANTER 76SQM

LEVEL 2
 PLANTER 336SQM

LEVEL 3
 PLANTER 407SQM

LEVEL 4
 PLANTER 325SQM



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PROPOSED MEDICAL CENTRE

LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.

SPECIES

TREE

ELAEOCARPUS

SHRUBS

ALOCASIA
ALPINEA
CALATHEA
CYATHEA
MONSTERA

GROUND COVER

CAREX
PLECTRANTHUS

VINES

MYOPORUM



ALOCASIA



ALPINEA



CALATHEA



CYATHEA



MONSTERA



MYOPORUM



CAREX



ELAEOCARPUS



PLANTER

GRC PLANTER BOX INSIDE AN OFF FORM SHELL.
WATERPROOFED AND WITH DRAINAGE POINT
EVERY 3M.

WATER TANK

APPROX. 90,000L



PLECTRANTHUS

PROPOSED MEDICAL CENTRE

LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.

JOB:
CUR01

DATE:
22/5/2026

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P +61 7 5532 2044 / ABN 35 071 453 257
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Concept Design

ISSUE
DA1

FINISHES

- PT01 LIGHT GREY/WHITE PAINT
- PT02 DARK GREY PAINT
- PC01 'TIMBER' LIKE PANEL
- PC02 DARK BRONZE POWDERCOATED
- PC03 DARK GREY POWDERCOATED
- PC04 BRONZE POWDERCOATED
- GL01 CLEAR GLASS
- GL02 TINTED GLASS
- FL01 TILE FLOORING
- FL02 TIMBER FLOORING
- FL03 POLISHED CONCRETE FLOORING



PT01



PT02



PC01



PC02



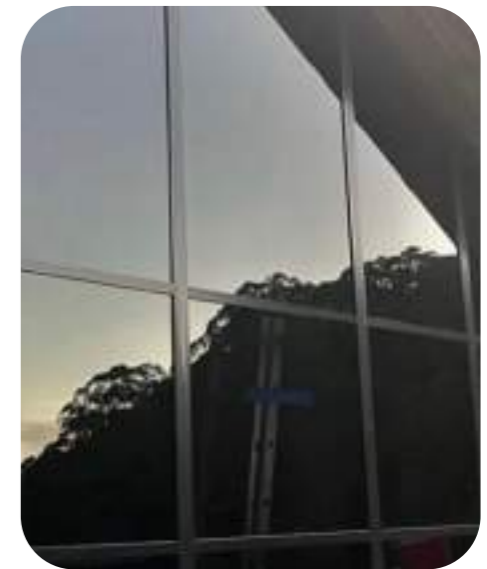
PC03



PC04



GL01



GL02



FL01



FL02



FL03

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CUR01

DATE:
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FINISHES PALETTE
PROPOSED MEDICAL CENTRE
 LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.

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- PT02 DARK GREY PAINT
- PC01 'TIMBER' LIKE PANEL
- PC02 DARK BRONZE POWDERCOATED
- PC03 DARK GREY POWDERCOATED
- PC04 BRONZE POWDERCOATED
- GL01 CLEAR GLASS
- GL02 TINTED GLASS

GL01 PC03 PT02 GL02 PC02 PT01 PC04 PC01 GL01



EAST ELEVATION

PROPOSED MEDICAL CENTRE
 LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.

JOB:
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- PC02 DARK BRONZE POWDERCOATED
- PC03 DARK GREY POWDERCOATED
- GL01 CLEAR GLASS
- GL02 TINTED GLASS

GL01 PC01 PT02 PC02 GL02 PT01 PC01 GL01



NORTH ELEVATION

PROPOSED MEDICAL CENTRE

LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.

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- PC02 DARK BRONZE POWDERCOATED
- PC03 DARK GREY POWDERCOATED
- GL01 CLEAR GLASS
- GL02 TINTED GLASS

PT02 GL02 GL01 PT01 PC01 PT02 PC02



WEST ELEVATION

PROPOSED MEDICAL CENTRE WEST
 LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.

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- PC02 DARK BRONZE POWDERCOATED
- PC03 DARK GREY POWDERCOATED
- GL01 CLEAR GLASS
- GL02 TINTED GLASS

GL01 PC02 PT02 GL02 PT01 GL01 PC01



SOUTH ELEVATION

ELEVATION SOUTH

PROPOSED MEDICAL CENTRE

LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.

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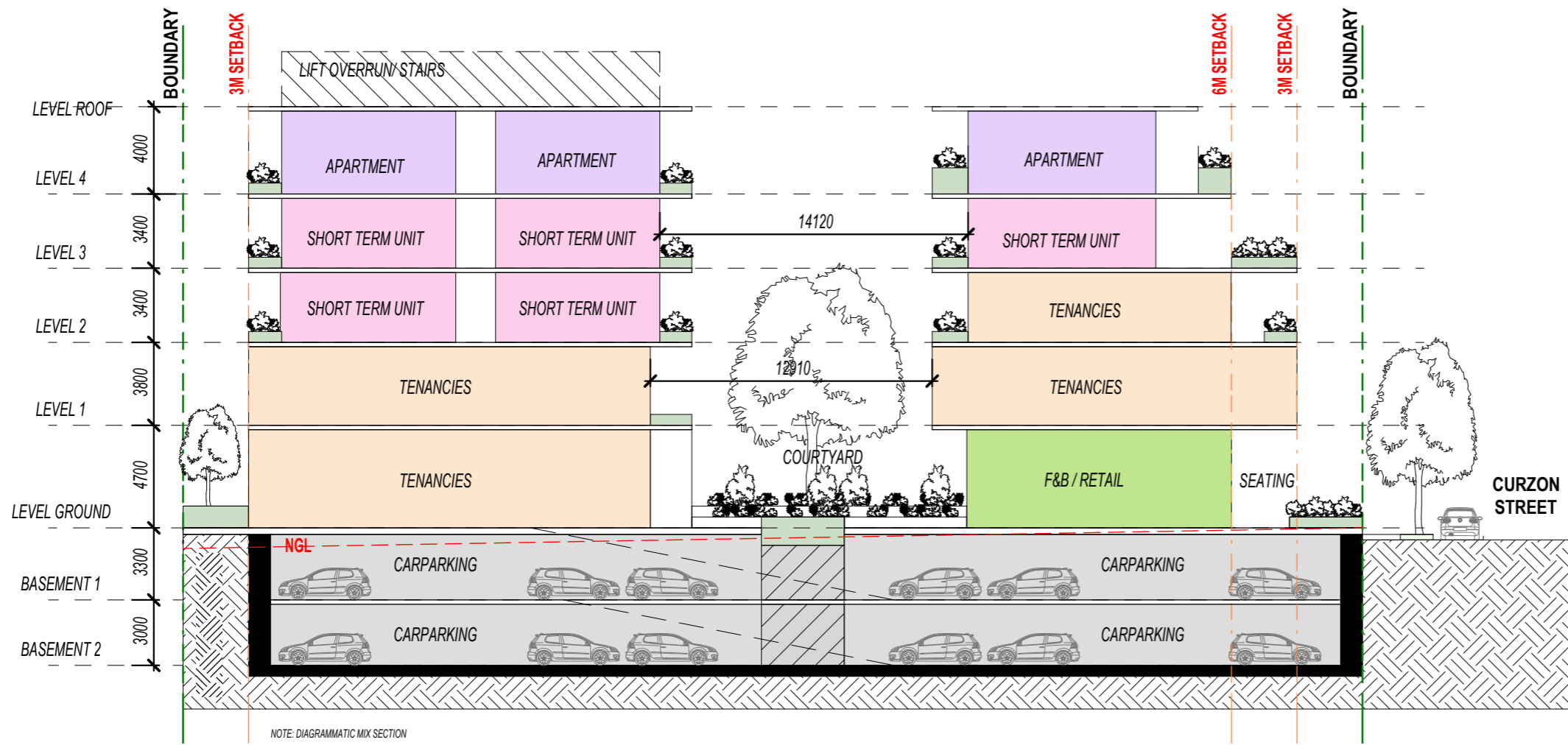
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X10 APARTMENTS 79-118 SQM GBA 2,168 SQM NSA 1,284 SQM
X26 SHORT TERM UNITS 32-61 SQM GBA 2,168 SQM NSA 1,315 SQM
X16 SHORT TERM UNITS + X8 TENANCIES 32-96 SQM 90-150 SQM GBA 2,394 SQM NSA 1,529 SQM
X14 TENANCIES 100-200 SQM GBA 2,260 SQM NSA 1,765 SQM
X4 TENANCIES (119-136SQM) GBA 1,309 SQM (EXCL. EXT) NSA 763 SQM + EXT PHARM. 292 / KIOSK 40 / CAFE 126SQM LG: 12 CARS
B1: 120 CARS 12 TANDEMIS 3,494.5 SQM
B2: 122 CARS 12 TANDEMIS 3,494.5 SQM

TOTAL: 254 CARS
24 TANDEMIS

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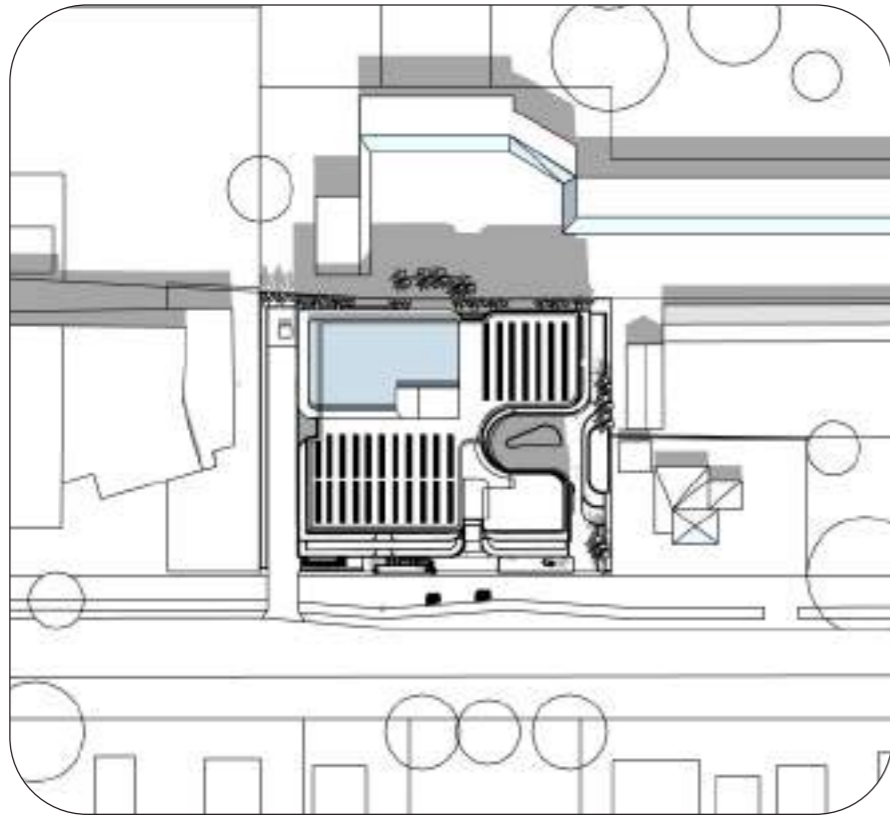
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CROSS SECTION

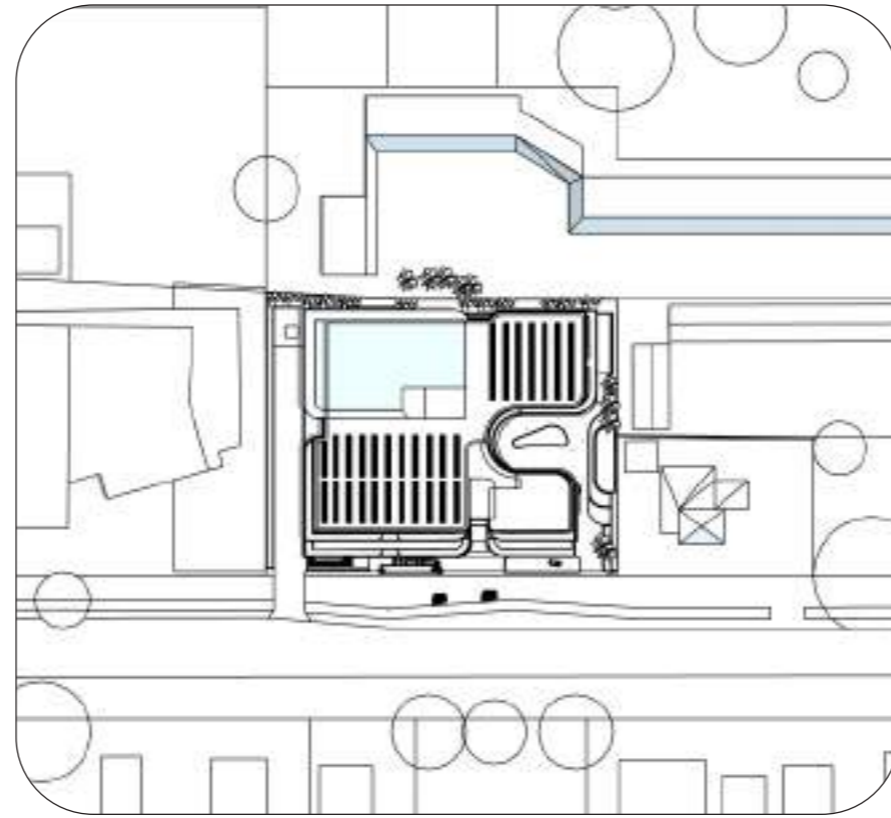
PROPOSED MEDICAL CENTRE
LOCATION: CURZON STREET_EAST TOOWOOMBA_QLD_4350.

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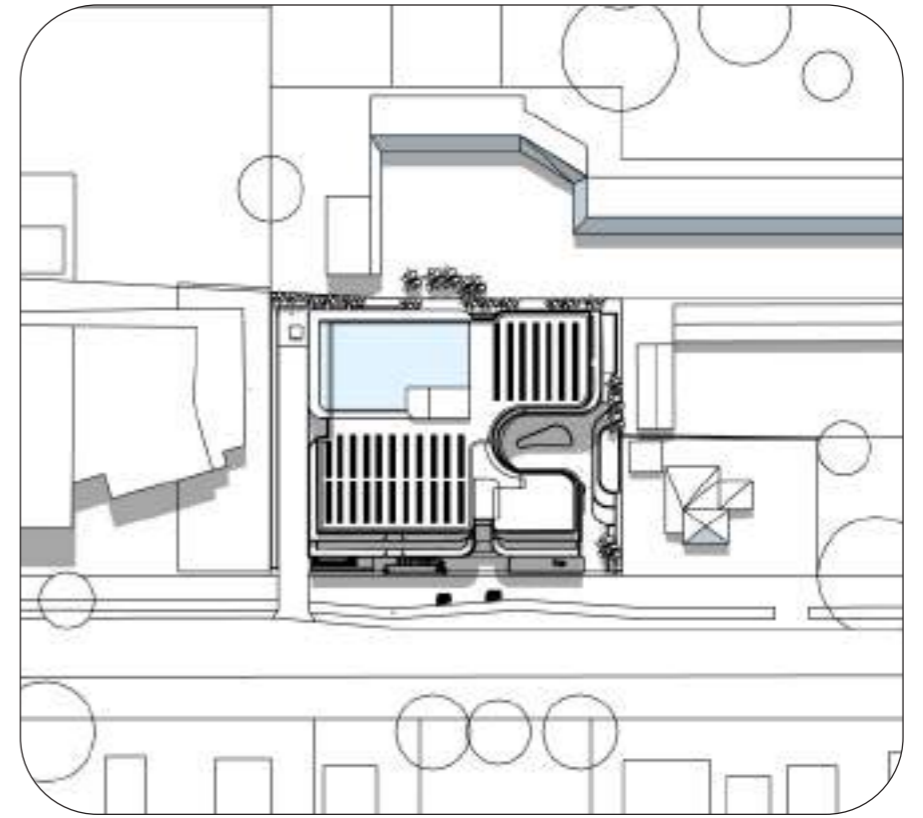




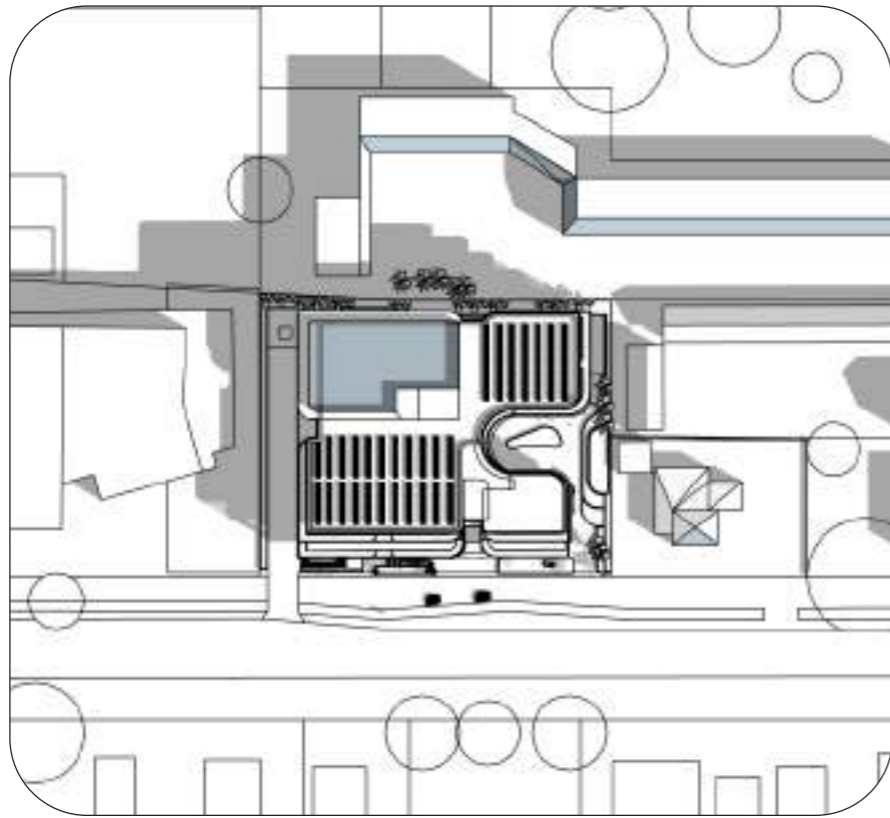
SUMMER | 9 AM
21 DECEMBER 2026



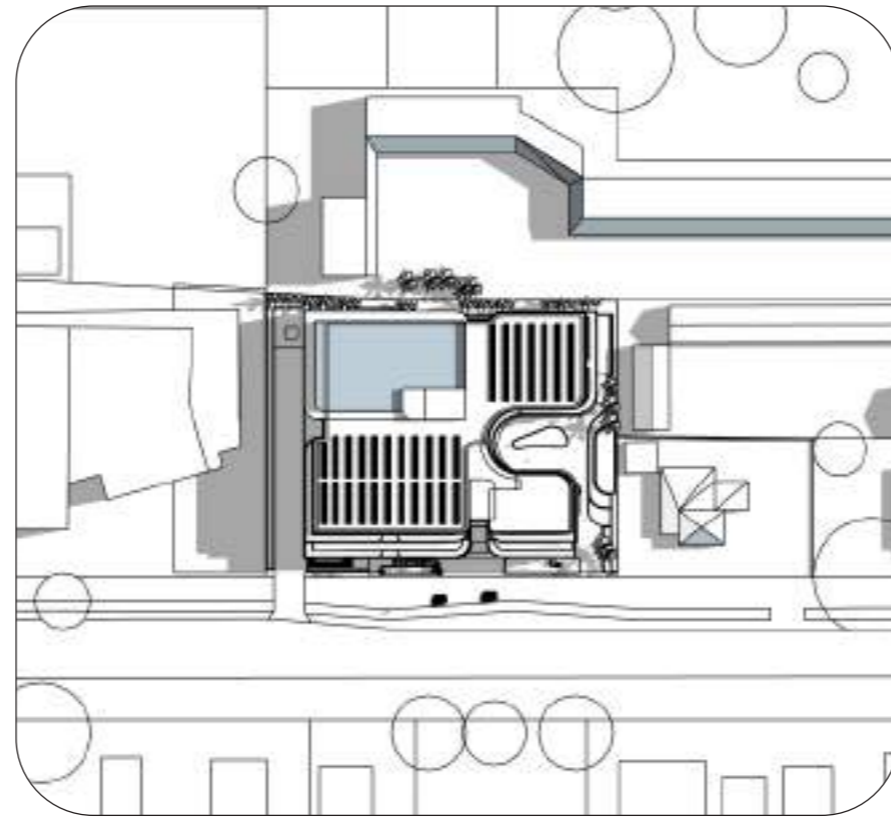
SUMMER | 12 PM
21 DECEMBER 2026



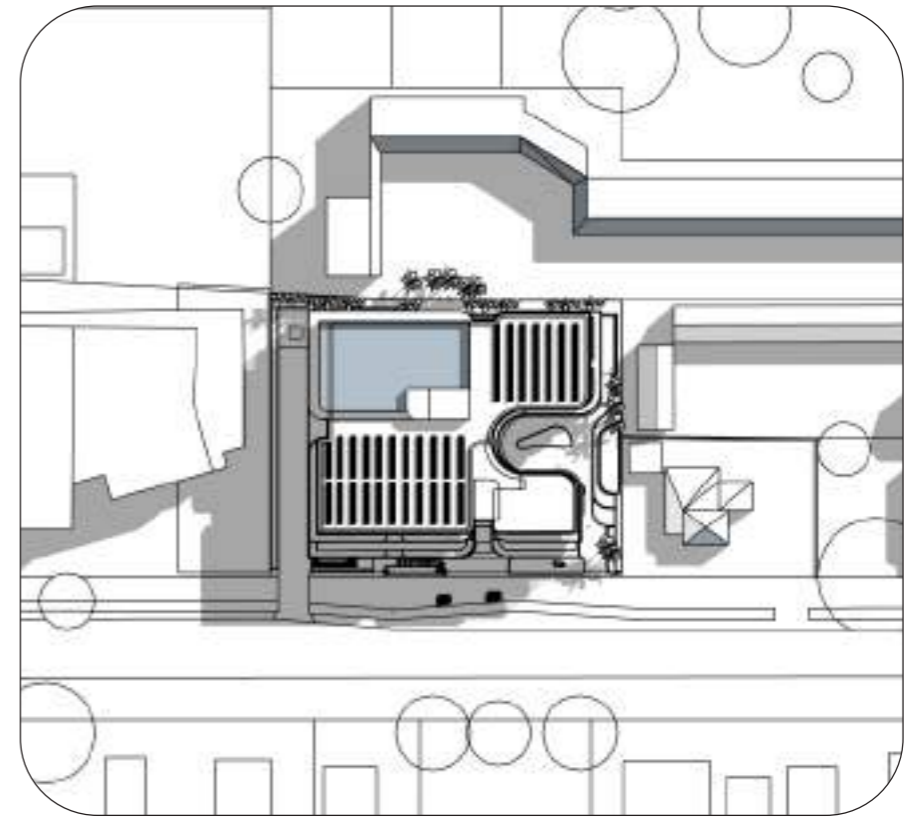
SUMMER | 3 PM
21 DECEMBER 2026



WINTER | 9 AM
21 JUNE 2026



WINTER | 12 PM
21 JUNE 2026



WINTER | 3 PM
21 JUNE 2026

SHADOW ANALYSIS

PROPOSED MEDICAL CENTRE

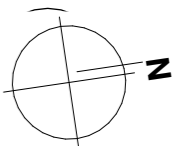
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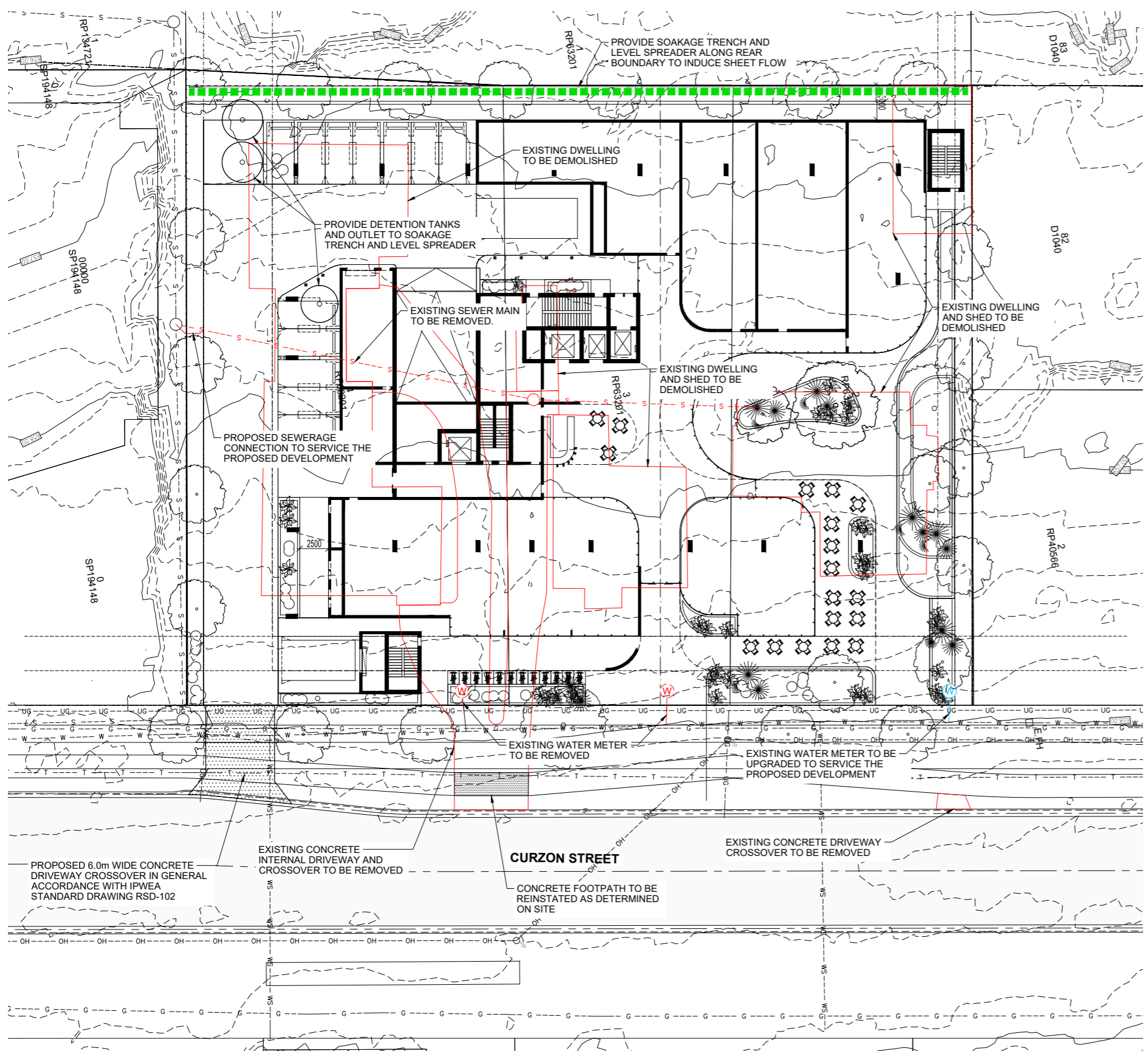


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Concept Design



APPENDIX B.

PROPOSED SERVICES PLAN
(KEHOE MYERS DRAWING: S2021406-PR01)



PRELIMINARY SERVICES LAYOUT
 SCALE:- 1:200 @ A1, 1:400 @ A3

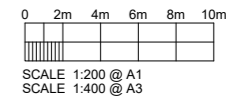
NOTE:
 + ALL SHOWN SERVICES ARE FROM ON SITE VISUAL INSPECTIONS AND EXISTING RECORDS ONLY. CONTRACTOR TO CONFIRM LOCATION AND DEPTH OF ALL INGROUND SERVICES PRIOR TO ANY EXCAVATION.

LEGEND	
PROPOSED WORKS	
	PROPOSED SEWER HOUSE CONNECTION
	PROPOSED WATER METER AND SERVICE (BY OTHERS)
	EXISTING INFRASTRUCTURE TO BE REMOVED
	PROPOSED CONCRETE DRIVEWAY
	2.0m WIDE CONCRETE FOOTPATH
	MAJOR DESIGN SURFACE CONTOURS (1.0m INTERVALS)
	MINOR DESIGN SURFACE CONTOURS (0.2m INTERVALS)
EXISTING WORKS	
	EXISTING KERB AND CHANNEL
	EXISTING CONTROL LINE
	EXISTING SEWER MAIN AND MANHOLE
	EXISTING WATER MAIN
	EXISTING WATER SERVICE
	EXISTING UNDERGROUND ELECTRICAL CONDUITS
	EXISTING OVERHEAD ELECTRICAL LINES AND POWER POLES
	EXISTING TELECOMMUNICATION LINES
	EXISTING GAS MAIN
	EXISTING ROAD PAVEMENT
	EXISTING FOOTPATH

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DATUM

DRAWING ISSUE			
ISSUE	DATE	DETAILS	INITIAL
P1	29.05.26	FOR APPROVAL	PJS



PRELIMINARY
 NOT FOR CONSTRUCTION
 DATE 29.05.26 03:16 PM

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CLIENT
SHRISAM PTY LTD

PROJECT
**PROPOSED MEDICAL CENTRE
 81 - 83 CURZON STREET,
 TOOWOOMBA**

DRAWING TITLE
**PRELIMINARY SERVICES
 LAYOUT**

DESIGN	ORIGINAL SIZE	A1
DRAWN	PROJECT NUMBER	S2021406
CHECKED		
APPROVED	DRAWING NUMBER	PR01
DATE	ISSUE	P1