

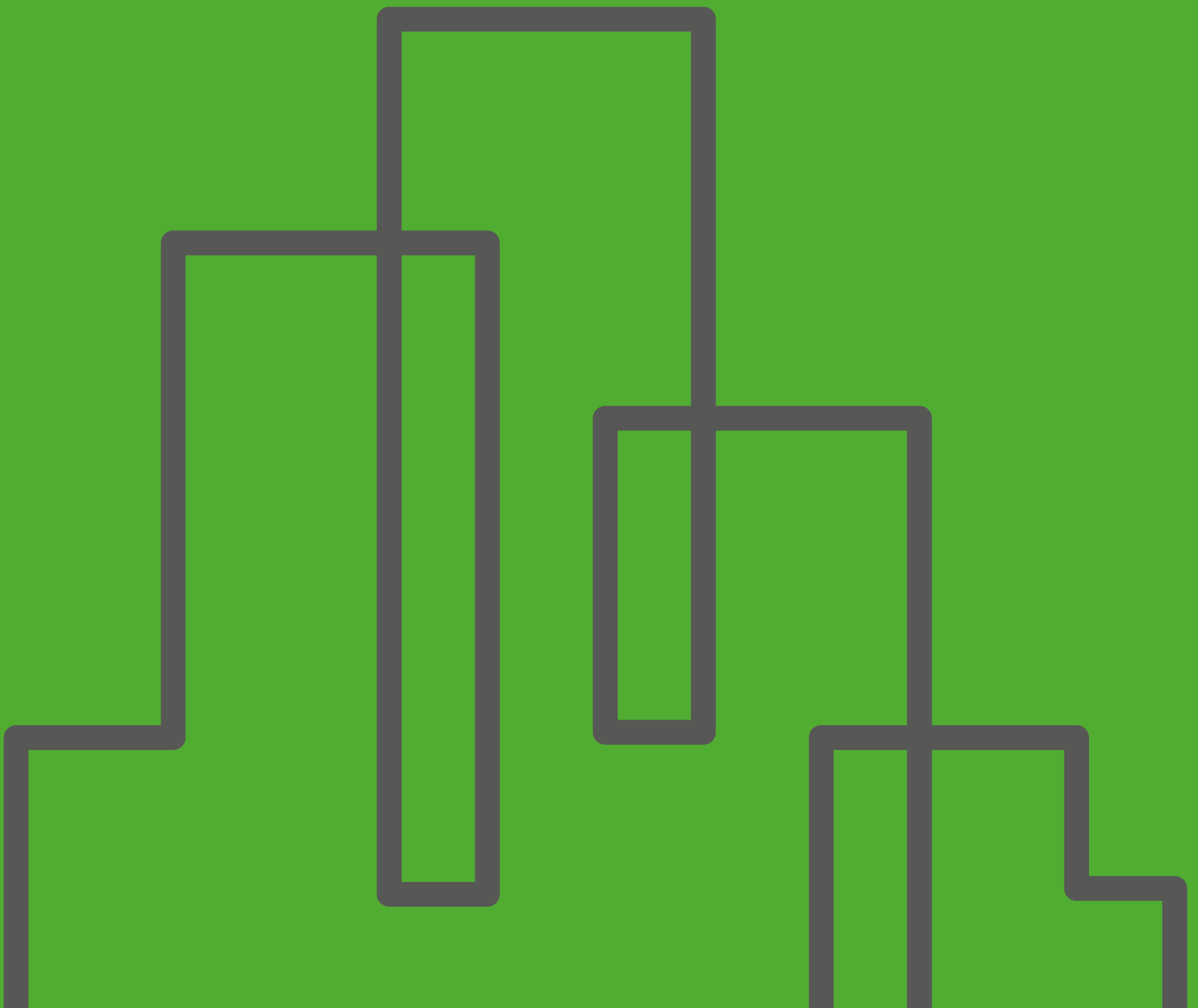
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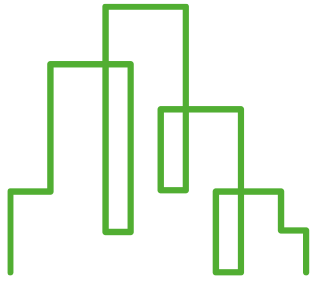
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# Toowoomba Technology Park

Preliminary Approval Document





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## Toowoomba Technology Park Preliminary Approval Document

Prepared by *Property Projects Australia Pty Ltd*  
Prepared for *Witmack Industrial Pty Ltd*

**7 February 2022**

info@propertyprojectsaustralia.com.au

**propertyprojectsaustralia.com.au**

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**Toowoomba**

141 Russell Street, Toowoomba  
Qld 4350

PO Box 3686, Toowoomba 4350  
Phone: 07 4632 0516

**Brisbane**

Office 1, 618-626 Brunswick Street  
New Farm Qld 4005

PO Box 1264, New Farm Qld 4005  
Phone: 07 3254 1566

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## About the Preliminary Approval Document

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### 1.1 Introduction

This Preliminary Approval Document (“PAD”) forms part of the Variation Request that seeks to vary the effect of the *Toowoomba Regional Planning Scheme 2012 (Version 19)*.

#### 1.1.1 Purpose

1. The planning intent for the Toowoomba Technology Park (TTP) is to establish a regionally significant innovation hub that attracts and incubates new and emerging businesses and activities that promote knowledge creation and entrepreneurship in industry, research and development, science, agribusiness, engineering and technology;
2. The PAD establishes the framework for enabling and managing the planning intent for the TTP.

#### 1.1.2 Application

1. The PAD applies to all land within the TTP Preliminary Approval Area (currently described as Lot 1 on SP296139, Lot 14 on SP296139 and Lot 4 on SP296139), as illustrated at Figure 1.

#### 1.1.3 Components

1. The PAD comprises the following elements:-
  - (a) About the Preliminary Approval Document;
  - (b) Tables of Assessment;
  - (c) Toowoomba Technology Park Code ;
  - (d) Airport Environs Overlay Code;
  - (e) Development Codes:-
    - (i) TTP Advertising Devices Code;
    - (ii) TTP Landscaping Code;
    - (iii) TTP Reconfiguring a Lot Code;
    - (iv) TTP Transport, Access and Parking Code; and
    - (v) TTP Works and Services Code.
  - (f) TTP Definitions;
  - (g) TTP Indicative Master Site Plan;
  - (h) TTP Structure Plan.

## **1.2 Interpretation**

### **1.2.1 Relationship with Planning Scheme**

1. In the event of any inconsistency between the provisions of the PAD and the *Toowoomba Regional Planning Scheme 2012 (Version 19)*, the provisions of the PAD prevail.
2. In the absence of an equivalent provision within the PAD, the provisions of the *Toowoomba Regional Planning Scheme 2012 (Version 19)* apply.

### **1.2.2 Definitions**

1. A term used in the PAD has its ordinary meaning unless that term is defined by one of the following:-
  - (a) The PAD;
  - (b) The *Toowoomba Regional Planning Scheme 2012 (Version 19)*;
  - (c) The *Planning Act 2016* (the “Act”);
  - (d) The *Planning Regulation 2017* (the “Regulation”).
2. In the event a term has been assigned a meaning in more than one of the instruments listed in 1.2.2(1) above, the meaning contained in the instrument highest on the list will prevail.

### **1.2.3 Staging**

1. The PAD does not preclude the assessment of a development application within the TTP Preliminary Approval Area in part or in stages.

## Figure 1 – TTP Preliminary Approval Area



Legend: — Toowoomba Technology Park (TTP) Preliminary Approval Area

Scale: NTS

Source: Queensland Globe

The content of this document includes third party data. Property Projects Australia Pty Ltd does not guarantee the accuracy of such data.



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## 2.0 Tables of Assessment

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### 2.1 Preliminary

1. The tables in this part identify the category of development, and the category of assessment and assessment benchmarks for assessable development within the TTP Preliminary Approval Area.

### 2.2 Reading the Tables

1. The tables identify the following:-
  - (a) The category of development; prohibited, accepted, accepted development subject to requirements or code or impact assessment;
  - (b) The assessment benchmarks for development.
2. The process for determining a category of development within the TTP Preliminary Approval Area is:-
  - (a) for a material change of use, establish the use by reference to the use definitions, in accordance with Part 1.2.2;
  - (b) determine if the development is not assessable development under the PAD, planning scheme or is accepted development under Schedules 6 and 7 of the Regulation;
  - (c) determine if the development is assessable development under Schedule 10 of the Regulation;
  - (d) if the development is not identified in (b) or (c) above, determine the initial category of assessment by reference to the tables in:
    - (i) Table 1– Category of development and assessment – Material Change of Use; and
    - (ii) Table 2– Category of development and assessment – Reconfiguring a Lot;
    - (iii) Table 3 – Category of development and assessment – Operational Works;
    - (iv) Table 4 – Category of development and assessment – Building Works
    - (v) Table 4 – Category of development and assessment – Overlays
3. A material change of use is assessable development requiring Impact Assessment:-
  - (a) unless the table of assessment states otherwise;
  - (b) if the use is not listed in the table of assessment or not defined;
  - (c) unless otherwise prescribed in the Act or Regulation.

4. Reconfiguring a lot is assessable development requiring code assessment unless the tables of assessment state otherwise or unless otherwise prescribed in the Act or the Regulation.

### 2.3 Other Matters

1. Accepted development does not require a development approval and is not subject to assessment benchmarks. However, certain requirements may apply to some types of development for it to be accepted development. Where nominated in the tables of assessment, accepted development must comply with the requirements identified as acceptable outcomes in the relevant parts of the applicable code(s) as identified in the relevant column.
2. Accepted development (including accepted development subject to requirements) that does not comply with one or more of the nominated acceptable outcomes in the relevant parts of the applicable code(s) becomes code assessable development unless otherwise specified.
3. The following rules apply in determining assessment benchmarks for each category of development and assessment in the TTP Preliminary Approval Area.
4. Code assessable development:
  - (a) is to be assessed against all the assessment benchmarks identified in the assessment benchmarks column;
  - (b) that occurs as a result of development becoming code assessable pursuant to subsection 2.3(2), must:
    - i. be assessed against the assessment benchmarks for the development application, limited to the subject matter of the required acceptable outcomes that were not complied with or were not capable of being complied with under subsection 2.3(2); and
    - ii. comply with all required acceptable outcomes identified in subsection 2.3(1), other than those mentioned in sub-section 2.3(2).

*Editor's note – This type of assessment is referred to as “limited” code assessment because the assessment is limited to the subject matter of the acceptable outcomes that were not able to be met under the nominated requirements for accepted development.*

- (c) That complies with:-
  - i. the purpose and overall outcomes of the code complies with the code;
  - ii. the performance or acceptable outcomes complies with the purpose and overall outcomes of the code.

*Editor's note – The whole code, being the code purpose, overall outcomes, performance outcomes and acceptable outcomes of the code, forms the assessment benchmark.*

*Editor's note – Performance outcomes and acceptable outcomes carry equal weight in assessment hierarchy. Where an acceptable outcome is not provided for all elements of the corresponding performance outcome, the remaining elements of the performance outcome must be assessed for compliance.*

- (d) is to be assessed against any assessment benchmarks for the development identified in Section 26 of the Regulation.

*Editor's note - Section 27 of the Regulation identifies the matters code assessment must have regard to.*

5. Impact Assessable development:-

- (a) is to be assessed against the identified assessment benchmarks in the assessment benchmarks column (where relevant);
- (b) assessment is to have regard to the whole of the PAD;
- (c) assessment is to have regard to any other relevant matters;
- (d) is to be assessed against any assessment benchmarks for the development identified in Section 30 of the Regulation; and
- (e) assessment is to have regard to the whole of the planning scheme, to the extent relevant.

## 2.4 Categories of Development and Assessment – Material Change of Use

Table 1 identifies the categories of development and assessment for development in the TTP Preliminary Approval Area for making a material change of use.

**Table 1 – Material Change of Use – TTP Preliminary Approval Area**

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
Childcare Centre	Code Assessment If located in Precinct B as shown on the Structure Plan (Appendix B).	Toowoomba Technology Park Code Community and Recreation Uses Code Environmental Standards Code Integrated Water Cycle Management Code

		TTP Landscaping Code TTP Transport, Access and Parking Code TTP Works and Services Code
Community Use	<b>Code Assessment</b> If located in Precinct B as shown on the Structure Plan (Appendix B).	Toowoomba Technology Park Code Community and Recreation Uses Code Environmental Standards Code Integrated Water Cycle Management Code TTP Landscaping Code TTP Transport, Access and Parking Code TTP Works and Services Code TTP Environmental Standards Code
Caretaker's Accommodation	<b>Code Assessment</b>	Toowoomba Technology Park Code Environmental Standards Code Integrated Water Cycle Management Code TTP Landscaping Code TTP Transport, Access and Parking Code TTP Works and Services Code
Food and Drink Outlet	<b>Code Assessment</b> If located in Precinct B as shown on the Structure Plan (Appendix B).	Toowoomba Technology Park Code Environmental Standards Code TTP Landscaping Code TTP Transport, Access and Parking Code TTP Works and Services Code Integrated Water Cycle Management Code
Function Facility	<b>Code Assessment</b> If located in Precinct B as shown on the Structure Plan (Appendix B).	Toowoomba Technology Park Code Environmental Standards Code TTP Landscaping Code TTP Transport, Access and Parking Code TTP Works and Services Code

Low Impact Industry

**Accepted Development**

If:

- i. The reuse of an existing building used for Service Industry or Medium Impact Industry; and
- ii. No more than 25m<sup>2</sup> additional Gross Floor Area is proposed.

**Code Assessment**

Toowoomba Technology Park Code  
Environmental Standards Code  
TTP Landscaping Code  
TTP Transport, Access and Parking Code  
TTP Works and Services Code  
Integrated Water Cycle Management Code

Medium Impact Industry

**Accepted Development**

If:

- i. The reuse of an existing building used for High Impact Industry or Research and Technology Industry; and
- ii. No more than 25m<sup>2</sup> additional Gross Floor Area is proposed.

**Code Assessment**

Toowoomba Technology Park Code  
Environmental Standards Code  
TTP Landscaping Code  
TTP Transport, Access and Parking Code  
TTP Works and Services Code

		Integrated Management Code	Water Cycle	Cycle
Research and Technology Industry	<p><b>Accepted Development</b></p> <p>If:</p> <ul style="list-style-type: none"> <li>i. The reuse of an existing building used for High Impact Industry; and</li> <li>ii. No more than 25m<sup>2</sup> additional Gross Floor Area is proposed.</li> </ul> <p><b>Code Assessment</b></p>			
TTP Office	<p><b>Code Assessment</b></p> <p>Where within Precinct B and the total Gross Floor Area for Office and/or TTP Office uses within the TTP Preliminary Approval Area does not exceed 22,253<sup>2</sup>.</p>	<p>Toowoomba Technology Park Code Environmental Standards Code TTP Landscaping Code TTP Transport, Access and Parking Code TTP Works and Services Code Integrated Water Cycle Management Code</p>		
Service Industry	<p><b>Accepted Development</b></p> <p>If:</p> <ul style="list-style-type: none"> <li>i. The reuse of an existing building used for an Industry Activities use(s); and</li> <li>ii. No more than 25m<sup>2</sup> additional Gross Floor Area is proposed.</li> </ul>			

	<b>Code Assessment</b>	Toowoomba Technology Park Code Environmental Standards Code TTP Landscaping Code TTP Transport, Access and Parking Code TTP Works and Services Code Integrated Water Cycle Management Code
Substation	<b>Code Assessment</b>	Toowoomba Technology Park Code Community and Recreation Uses Code Environmental Standards Code Integrated Water Cycle Management Code TTP Landscaping Code TTP Transport, Access and Parking Code TTP Works and Services Code
Telecommunications Facility	<p><b>Accepted Development</b> If a low-impact facility as defined by the Telecommunications (Low Impact Facilities) Determination 1997.</p> <p><b>Accepted Development Subject to Requirements</b></p> <p>If:</p> <p>(i) not increasing the number of Telecommunications facilities on the Site, and:</p> <p>(a) increasing the height of an existing Telecommunications facility by no more than 5m; or</p>	Telecommunications Facilities Code

(b) replacing an existing Telecommunications facility with a new Telecommunications facility with a height no more than 5m greater than the existing Telecommunications facility;

OR

(ii) not meeting the description listed in the categories of development and assessment column for accepted development.

**Code Assessment**

If:

(i) the Site contains one existing Telecommunications facility,

(ii) no more than one additional Telecommunications facility is proposed, and

(iii) one of the following applies:

- (a) where the existing Telecommunications facility has a height greater than 30m, the new Telecommunications facility does not have a height that is greater than the existing Telecommunications facility; or
- (b) where the existing Telecommunications facility has a height

Telecommunications Facilities Code

Environmental Standards Code  
Integrated Water Cycle Management Code

TTP Landscaping Code

TTP Transport, Access and Parking Code

TTP Works and Services Code

	<p>no more than 30m, the new Telecommunications facility has a height no more than 30m;</p> <p>OR</p> <p>(ii) If the Site does not contain an existing Telecommunications facility, only one additional Telecommunications facility is proposed and the proposed Telecommunications facility is no more than 30m in height.</p>	
Utility Installation	<p><b>Code Assessment</b></p> <p>If:-</p> <p>(i) for distribution of utility services within the TTP Preliminary Approval Area; and</p> <p>(ii) involving bulk transmission, storage, generation or treatment.</p>	<p>TTP Landscaping Code TTP Works and Services Code Integrated Water Cycle Management Code</p>

## 2.5 Categories of Development and Assessment – Reconfiguring a Lot

The Category of Assessment and Assessment Benchmarks that are applicable to Reconfiguring a Lot within the TTP Preliminary Approval Area is identified at Table 2 below.

**Table 2 – Reconfiguring a Lot – TTP Preliminary Approval Area**

Area	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
------	--	--

TTP Preliminary Approval Area	<b>Code Assessment</b>	TTP Reconfiguring a Lot Code TTP Works and Services Code
	Reconfiguring a Lot where creating lot/s as part of a Community Title Scheme.	

## 2.6 Categories of Development and Assessment – Operational Work

The Category of Assessment and Assessment Benchmarks that are applicable to Operational Works within the TTP Preliminary Approval Area is identified at Table 3 below.

**Table 3 – Operational Work – TTP Preliminary Approval Area**

Area	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
TTP Preliminary Approval Area	Accepted Development Subject to Requirements	TTP Advertising Devices Code
	If placing an Advertising Device on a premises for a Pole Sign or Wall Sign.	
	<b>Code Assessable</b>	TTP Advertising Devices Code
	If placing an Advertising Device on the premises (other than for a Pole Sign or Wall Sign)	

## 2.7 Categories of Development and Assessment – Overlays

Table 4 identifies where an overlay changes the categories of development and assessment from that identified elsewhere in the PAD and the relevant assessment benchmarks.

**Table 4 – Overlays – TTP Preliminary Approval Area**

Development	Categories of development and assessment		Assessment benchmarks for assessable development and requirements for accepted development
Airport Overlay Assessable Development	Environs – All	No Change	Airport Environs Overlay Code

## 3.0 Toowoomba Technology Park Code

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### 3.1 Toowoomba Technology Park Code

1. This Code Applies:-

- (a) within the TTP Preliminary Approval Area as identified at **Figure 1**;
- (b) where identified as requiring assessment against the Toowoomba Technology Park Code by the Tables of Assessment (Part 2).

### 3.2 Purpose and Overall Outcomes

The Purpose of the Toowoomba Technology Park Code is to:-

1. create a regionally significant enterprise and innovation precinct that attracts and incubates new and emerging businesses, industries and activities within a bespoke, vibrant and highly connected environment that is supported by excellent physical and digital infrastructure;
2. craft a sense of place that encourages knowledge creation, innovation and entrepreneurship through an urban design outcome that encourages people to interact and collaborate;
3. provide a flexible and adaptive assessment framework that facilitates the efficient establishment and growth of new and emerging businesses and industries in the fields of Technology and Innovation Industries and Advanced Manufacturing Industries.

*Note: Examples of Technology and Innovation Industries include AgriFood Industries, Electronic Information Storage Services, Data Processing and Web Hosting Services, Computer System Design and Related Services, Scientific Research Services and Software Publishing.*

*Note: Examples of Advanced Manufacturing Industries include Pharmaceutical and Medicinal Product Manufacturing, Medical, Surgical, Optical and Ophthalmic Equipment Manufacturing, Composites and Ceramics Manufacturing, Computer, Robotics and Electronic Equipment Manufacturing.*

4. enable land uses that directly support the staff and visitors to the TTP Preliminary Approval Area and which improve the attractiveness of the TTP as a next generation employment precinct.

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#### Toowoomba

141 Russell Street, Toowoomba  
Phone: 07 4632 0516

#### Brisbane

618 Brunswick Street, New Farm  
Phone: 07 3254 1566

5. The Overall Outcomes sought for the Toowoomba Technology Park Code are as follows:-
- (a) enable the establishment and growth of a range of new and emerging businesses and sectors that promote knowledge creation, innovation and entrepreneurship in the fields of industry, research and development, science, agribusiness, engineering and technology;
  - (b) facilitate the establishment of land uses that support the day to day activities of staff and visitors at the TTP, such as child care centres and food and drink outlets. Such uses are located within Precinct B of the TTP;
  - (c) residential uses, with the exception of caretaker's accommodation or similar accommodation activities that share a nexus with the business activities on-site, do not establish within the TTP;
  - (d) development provides urban design outcomes and contemporary building designs that achieve a high level of amenity and project a strong sense of innovation and entrepreneurial spirit;
  - (e) layout and building design maintains a visual balance between built form, landscaping and car parking;
  - (f) design encourages the exchange of information and collaboration by promoting the use of, and interaction within, the TTPs network of common spaces;
  - (g) development is oriented towards and activates principal street frontages, pedestrian pathways and common space areas, creating an inviting and safe environment;
  - (h) car parking is provided within the TTP Preliminary Approval Area that is sufficient to meet the demand generated by staff and visitors to the TTP. Car parking is supplied through a combination of on-site and on-street car parking;
  - (i) active transport facilities and networks are provided to promote the use walking and cycling within the TTP;
  - (j) development incorporates sustainable practices including maximising energy efficiency and water conservation to reduce, where practicable, demand and reliance on external supplies of energy and other resources;
  - (k) landscaping is provided within private and common areas to enhance the amenity and attractiveness of the TTP in a manner that contributes to a consistent landscape character;

- (l) the TTP is a secure and safe environment with a high standard of amenity, with access to all or parts of the TTP Preliminary Approval Area being limited to staff and bona-fide visitors;
  - (m) Development for office space associated with technology and innovation industries, and advanced manufacturing industries may be accommodated up to a cumulative maximum of 22,253m<sup>2</sup> GFA.
  - (n) industrial premises are designed to be attractive, energy efficient, consistent with the desired character of the TTP Preliminary Approval Area precincts and achieve a functional layout;
  - (o) development adequately minimises any potential adverse off-site environmental impacts;
  - (p) development is compatible with nearby sensitive land uses and areas; and
  - (q) risk of land contamination is avoided.
6. The Overall Outcomes sought for Precinct A, Precinct C and Precinct D within the TPP Area are as follows: -
- (a) land in these precincts accommodates uses and activities that require larger land and/or building areas to operate;
  - (b) the majority of car parking is provided on-site and within the Lot.
7. The Overall Outcomes sought for Precinct B within the TTP Preliminary Approval Area are as follows: -
- (a) the land accommodates the greatest intensity and diversity of uses within the TTP Preliminary Approval Area;
  - (b) the majority of car parking supply is provided as communal car parking with limited car parking being provided within the Lot;
  - (c) uses that support all users within the TTP Preliminary Approval Area, such as a child care centre or food and drink outlet, are only established within Precinct B.

### 3.3 Requirements for accepted development and assessment benchmarks for assessable development

**Table 5 – TTP Code – Requirements for accepted development and assessment benchmarks for assessable development**

**Criteria for development located in All Precincts.**

<b>Performance Outcome</b>	<b>Acceptable Outcome</b>
<b>Uses (All Precincts)</b>	
<p><b>PO1</b> The TTP Preliminary Approval Area accommodates regionally significant businesses and industries that are directly related to, or have a demonstrable nexus with, the Technology and Innovation or Advanced Manufacturing sectors.</p> <p>Commercial, retail and service activities which support the day-to-day functions of staff and visitors to the TTP only establish within Precinct B.</p> <p>Residential uses, other than caretaker's accommodation, do not establish within the TTP.</p>	<p><b>AO1.1</b> Uses which are consistent with the intent of the TTP Preliminary Approval Area include:</p> <ul style="list-style-type: none"> <li>(a) Child Care Centre (Precinct B);</li> <li>(b) Food and Drink Outlet (Precinct B);</li> <li>(c) Function Facility (Precinct B);</li> <li>(d) Low Impact Industry;</li> <li>(e) Medium Impact Industry;</li> <li>(f) Research and Technology Industry;</li> <li>(g) TTP Office;</li> <li>(h) Service Industry;</li> <li>(i) Telecommunications Facility;</li> <li>(j) Utilities Installation;</li> <li>(k) Caretakers Accommodation.</li> </ul> <p><b>AO1.2</b> Uses which are inconsistent with the intent of the TTP Preliminary Approval Area include:</p> <ul style="list-style-type: none"> <li>(a) accommodation activities (other than caretakers' accommodation);</li> <li>(b) entertainment activities, other than those listed in AO1.1; ;</li> <li>(c) market;</li> <li>(d) recreation activities;</li> <li>(e) rural activities; and</li> <li>(f) business activities other than those listed in AO1.1.</li> </ul>
<b>Caretaker's Accommodation (All Precincts)</b>	
<p><b>PO2</b> Development provides for the accommodation of a caretaker and their family members involved in the</p>	<p><b>AO2.1</b> A Caretaker's accommodation is:</p> <ul style="list-style-type: none"> <li>(a) separated from significant levels of emissions (adverse to human health or</li> </ul>

running of a non-residential use, in a manner that:

- (a) does not compromise the productivity of the use;
- (b) is safe and comfortable for the amenity of residents;
- (c) has regard to the landscape and private recreation needs of the residents; and
- (d) does not impact on the function or amenity of the TTP Preliminary Approval Area at street level.

amenity) generated by the use/s of the Site by at least 20m;

- (b) provided with a private landscape and recreation area which:
  - i. is directly accessible from a habitable room;
  - ii. if at ground level, has a minimum area of 16m<sup>2</sup> with minimum dimensions of 4m; and
  - iii. if a balcony, a veranda or a deck, has a maximum area of 8m<sup>2</sup> with minimum dimensions of 2.4m.

A02.2

No more than one (1) Caretaker's accommodation is provided per Lot.

#### Effects of Development

PO3

Outdoor lighting does not adversely affect the amenity of adjoining properties or create a traffic hazard on adjacent roads.

A03.1

Light emanating from any source complies with *Australian Standard AS4282 Control of the Obtrusive Effects of Outdoor Lighting*.

A03.2

Outdoor lighting is provided in accordance with *Australian Standard AS 1158.1.1 – Road Lighting – Vehicular Traffic (Category V) Lighting – Performance and Installation Design Requirements*.

#### Site Layout

PO4

The site layout responds sensitively to on-site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land use, such that:

- (a) any earthworks are minimised;
- (b) the retention of natural drainage lines is maximised;
- (c) the retention of existing vegetation is maximised;
- (d) damage or disruption to sewer, stormwater and water infrastructure is avoided; and

A04.1

No acceptable outcome is nominated.

#### Toowoomba

141 Russell Street, Toowoomba  
Phone: 07 4632 0516

#### Brisbane

618 Brunswick Street, New Farm  
Phone: 07 3254 1566

- (e) there is adequate buffering, screening and separation to sensitive land uses.

### Building Design and Address

#### PO5

Development has a high quality appearance and makes a positive contribution to the character of the TTP Preliminary Approval Area having regard to orientation of buildings to the roads and driveways, and incorporation of way-finding elements.

Building Entrances are:

- (a) oriented to and identifiable from the Principal Driveway Frontage;
- (b) clearly identified by singular entrances and defined pathways; and
- (c) defined through shelter and human scale architectural design.

#### A05.1

The unarticulated length of external walls along a Principal Driveway Frontage does not exceed 15m.

#### A05.2

Where applicable, any ancillary office space or sales area of each building is sited on and oriented towards the Principal Driveway Frontage.

#### A05.3

Pedestrian entries:

- (a) are visible from the Principal Driveway Frontage and visitor car parking areas and are separate to vehicle access points;
- (b) incorporate sun and rain shelter, such as overhangs or awnings, that are a minimum of 900mm wide from the external building face to the outermost projection; and
- (c) are defined by human scale design elements (such as, doors, windows, awnings, a portico, landscaping, etc).

#### A05.4

A building must be provided with a pedestrian entry point that is oriented toward and accessible from the Principal Driveway Frontage.

#### PO6

Landscaping is provided to enhance the appearance of the development and unsightly components are screened.

#### A06.1

Landscaping is provided along all road and driveway frontages of the site, for a minimum width of:

- (a) 3m along the frontage of the Lot to the Toowoomba Bypass Corridor, Vision Street or Pipe Street; or
- (b) 2m along the frontage of the Lot any Principal Driveway Frontage.

#### A06.2

A minimum of 5% of the Lot is used to provide landscaping.

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<p>P07 Service areas or areas used for storage of plant and equipment are:-</p> <ul style="list-style-type: none"> <li>(a) located so that they are not visible from the street or common space areas; or</li> <li>(b) where compliance with (a) is not possible, screened so that they do not detract from the quality of the streetscape or common space areas.</li> </ul>	<p>A07.1 Where the lot has one (1) driveway frontage, no service areas or areas used for storage of plant and equipment are located between the building and the Principal Driveway Frontage.</p> <p>A07.2 Where the lot has more than one (1) driveway frontage or has frontage to a Common Space or a Pedestrian Walkway, service areas or areas used for storage of plant and equipment must:-</p> <ul style="list-style-type: none"> <li>(a) not be located within the front quarter of the Total Building Length;</li> <li>(b) be screened to achieve a minimum of 50 per cent transparency; and</li> <li>(c) be screened with a screen constructed of material(s) stated at Column 1, Table 7.</li> </ul>
<p>P08 Buildings:</p> <ul style="list-style-type: none"> <li>(a) have a high-quality appearance when viewed from adjoining driveway frontages, adjoining lots and common spaces;</li> <li>(b) incorporate variations to building form, materials and finishes that promote visual interest;</li> <li>(c) are designed in a contemporary theme or style and which exude a strong sense of innovation;</li> <li>(d) do not reflect an architectural style that is, or comparable to colonial, federation or heritage style architecture.</li> </ul>	<p>A08.1 External building materials are selected from the list provided at Table 6.</p> <p>A08.2 All building facades and elevations must incorporate more than one (1) colour and/or material.</p> <p>A08.3 The minimum finish for all building facades is:-</p> <ul style="list-style-type: none"> <li>(a) painted;</li> <li>(b) face brickwork; or</li> <li>(c) where concrete or concrete blockwork is used, rendered and then painted.</li> </ul> <p>A08.4 Building facades that address a Principal Driveway Frontage, Secondary Driveway Frontage, Common Space or Pedestrian Walkway are articulated by one or more of the following:-</p> <ul style="list-style-type: none"> <li>(a) change in roof or wall lines;</li> <li>(b) use of different materials and/or colours;</li> <li>(c) adding architectural element(s).</li> </ul> <p>A08.5 Buildings do not exude a colonial, federation or heritage architectural style or theme.</p>

## Fencing

PO9

Fences and walls:

- (a) are finished and maintained to be visually attractive;
- (b) are constructed of materials which are compatible within the character of the TTP;
- (c) achieve a balance between defining and securing private land and maintaining appropriate surveillance between private land and common spaces.

AO9.1

Fencing or boundary walls (excluding walls of a building) on a side or rear boundary have a maximum height of 2.4 metres.

AO9.2

Where a Lot has one (1) driveway frontage, no fencing or boundary wall is erected between the building and the Principal Driveway Frontage.

AO9.3

Where a Lot has more than one (1) driveway frontage, fencing or boundary walls (excluding walls of a building) are:-

In Precinct B:-

- (a) not provided, along any boundary, in the area between the building and the Principal Driveway Frontage; and
- (b) not located within the front quarter of the Total Building Length.

Where in All Other Precincts:-

- (a) designed to achieve a minimum of 50 per cent transparency; and

AO9.4

All fences and boundary walls are constructed using material(s) listed at Table 7.

*Note: Refer to Figure 2 that shows an example of typical fence or wall construction.*

## Plant and Equipment Storage

PO10

Mechanical plant and equipment areas and refuse and utility storage areas for premises are:

- (a) suitably located for convenient use; and

AO10.1

Mechanical plant and equipment that is located on the ground level must:-

- (a) not be located between the building and the Principal Driveway Frontage;
- (b) be screened so that it is not visible to the Principal Driveway Frontage, Secondary

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- (b) not visible to the Principal Driveway Frontage; or
- (c) designed to be visually attractive or screened.

Driveway Frontage, Common Spaces or Pedestrian Walkway.

#### AO10.2

Mechanical plant and equipment that is not located on the ground must:-

- (a) not be located on the building façade that addresses the Principal Driveway Frontage; and
- (b) be screened so that it is not directly visible from public view using parapets, screening or other façade elements.

#### AO10.3

Refuse bins, gas or fuel tanks are:-

- (a) stored within the building; or
- (b) screened so that they are not visible to the Principal Driveway Frontage, Secondary Driveway Frontage, Common Spaces or Pedestrian Walkway.

#### AO10.4

Liquid waste is stored for collection or disposal:-

- (a) underground; or
- (b) where above ground, the storage unit is:-
  - i. not located between the building and the Principal Driveway Frontage;
  - ii. screened so it is not visible to the Principal Driveway Frontage, Secondary Driveway Frontage, Common Spaces or Pedestrian Walkway.

#### PO11

Development provides for the collection, treatment and disposal of liquid wastes or sources of contamination such that off-site releases of contaminants do not occur.

#### AO11.1

Areas where potentially contaminating substances are stored or used, are:

- a) roofed and sealed with concrete, asphalt or similar impervious substance and bunded; and
- b) Located in an area free of flood in a 1 in 100 year flood event.

#### AO11.2

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Provision is made for spills to be bunded and retained on-site for removal and disposal by an approved means.

AO11.3

Roof water is piped away from areas of potential contamination.

### Safety and Security

P012

Building design promotes a safe environment for staff and visitors, including in after dark hours.

AO12.1

Outdoor security lighting must be provided to car parking areas and pathways that link the building to on-site car parking areas.

AO12.2

A clearly defined and dedicated pedestrian footpath is provided for each building that connects the building to:-

- (a) on-site public car parking areas; and
- (b) the Principal Driveway Frontage.

P013

Development is designed and managed so that it provides appropriate protection for community safety and health and avoids unacceptable risk to life and property.

AO13.1

Development is designed to:-

- (a) provide casual surveillance between each Lot and an adjoining Principal Driveway Frontage, Secondary Driveway Frontage, Common Spaces or Pedestrian Walkway;
- (b) comply with the relevant noise generation levels set out in the *Environmental Protection (Noise) Policy 2008*; and
- (c) comply with the relevant air quality design objectives set out in the *Environmental Protection (Air) Policy 2019*.

### Reverse Amenity

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PO14

Development for a sensitive land use is located, designed and constructed to:-

- (a) avoid or mitigate potential reverse amenity impacts that would restrict the ongoing lawful use of existing industrial uses; and
- (b) protect the health, wellbeing, amenity and safety of people at the sensitive land use.

*Note: To demonstrate compliance with PO14, a report, prepared by a suitably qualified person, should be submitted (e.g. a reverse amenity assessment).*

AO14.1

No acceptable outcome is nominated.

#### Low Impact Industry, Medium Impact Industry & Research and Technology Industry Uses

PO15

Development prevents or minimises the generation of any noise so that:

- (a) nuisance is not caused to adjoining premises or other nearby sensitive land uses; and
- (b) desired ambient noise levels in residential and rural areas are not exceeded.

AO15.1

Development achieves the noise generation levels set out in the *Environmental Protection (Noise) Policy 2008*.

PO16

Development minimises potential conflicts with, or impacts on, other uses having regard to vibration, odour, dust and other emissions to air.

AO16.1

Development achieves the air quality design objectives set out in the *Environmental Protection (Air) Policy 2019*.

AO16.2

Development that involves the outdoor storage of materials on sites that are capable of generating air contaminants either by wind or when disturbed are managed by:

- (a) being wholly enclosed and sealed in an appropriate storage system; or

	(b) a watering program so material cannot become airborne.
<p>P017 Direct sales to the public as part of industry activities occurs at a scale that is ancillary to and has a direct nexus with the industry conducted on the site.</p>	<p>AO17.1 Direct sales to the public as part of industry activities are restricted to the sale of items produced on site.</p> <p>AO17.2 The sales area associated with industry activities does not exceed 10% of the total Gross Floor Area of the premises.</p>
<p>P018 Office space provided as part of industry activities is ancillary, subordinate and directly related to the industry activity conducted on the site.</p>	<p>AO18.1 Office space provided as part of industry activities is ancillary, subordinate and directly related to the industry activity conducted on the site.</p>

#### Criteria for development located in Precinct B.

##### Uses

<p>P019. Precinct B of the TTP Preliminary Approval Area accommodates a range of activities:</p> <ul style="list-style-type: none"> <li>(a) which are of a similar nature to identified consistent uses, having regard to scale, nature of activity and potential impacts; or</li> <li>(b) which directly support the day-to-day functions of staff and visitors within the TTP Preliminary Approval Area; and</li> <li>(c) which do not include residential activities (excluding Caretaker's Accommodation).</li> </ul>	<p>AO19.1 Uses are consistent with the intent of Precinct B include:</p> <ul style="list-style-type: none"> <li>(a) Child care centre;</li> <li>(b) Community Use;</li> <li>(c) Food and Drink Outlet;</li> <li>(d) Research and Technology Industry;</li> <li>(e) TTP Office (where not exceeding a cumulative total of 22,253 m<sup>2</sup> GFA);</li> <li>(f) Function Facility;</li> <li>(g) Low Impact Industry;</li> <li>(h) Medium Impact Industry;</li> <li>(i) Caretakers Accommodation; and</li> <li>(j) Service Industry.</li> </ul>
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##### TTP Office

<p>P020 Development does not include any office or administrative functions that:-</p>	<p>AO20.1 The cumulative Gross Floor Area for all TTP Office uses, any ancillary office to another use, and any otherwise approved Office uses, within Precinct B, does not exceed a cumulative total of 22,253m<sup>2</sup> GFA.</p>
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- (a) would cause the cumulative Gross Floor Area (GFA) total to be exceeded; and
- (b) can locate elsewhere, outside the TTP Preliminary Approval Area; and
- (c) would undermine the viability, role or function of the centres network.

### Research and Technology Industry

PO21

Research and Technology Industry uses are only supported in Precinct A and Precinct B where:-

- (a) the use does not have the potential to create unacceptable offsite impacts, having regard to vibration, noise, odour, dust, other emissions to air, or risks to life and property; or
- (b) the use is designed and managed to avoid or mitigate all adverse impacts to adjoining premises and the natural environment.

AO21.1

The Research and Technology Use:-

- (a) does not create vibration impacts at adjoining premises;
- (b) achieves the air quality design objectives set out in the *Environmental Protection (Air) Policy 2019*;
- (c) achieves the noise generation levels set out in the *Environmental Protection (Noise) Policy 2008*;
- (d) does not create impacts that have the potential to cause unacceptable risks to people and property.

*Note: A noise/odour/air impact assessment report will assist in demonstrating achievement of AO21.1(a) and/or AO21.1(b).*

*A hazard assessment report will assist in demonstrating achievement of AO21.1(c). Applicants should refer to Part 4 of the Planning Guideline State Code 21 – Hazardous Chemical Facilities.*

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### Child Care Centre

#### PO22

The location and site design of a Child Care Centre is highly accessible and is co-located

with, or located close to, other centres of activities that service the day to day needs of staff and visitors within the TTP Preliminary Approval Area.

#### AO22.1

One (1) Child Care Centre, located within Precinct B, is provided to service the TTP Preliminary Approval Area.

#### AO22.2

The Child Care Centre co-locates with other activities that service the day to day needs of staff and visitors within the TTP Preliminary Approval Area.

#### PO23.

Buildings and activities are located and designed to discourage potentially hazardous vehicular or pedestrian movements and minimise on-site conflict between children's activities and car parking.

#### AO23.1

Parking spaces for parents are located on the Lot so that children are not required to cross the driveway or vehicular access way to reach the building.

### Building Setbacks and Siting

#### PO24

The development:-

- (a) has a building height and bulk that allows for the building to be set into the landscape/ streetscape without becoming visually intrusive; and
- (b) presents a highly articulated building form to the Principal Driveway Frontage, complemented by high quality landscaping within the front setback, which mitigate the visual impact of hardstand areas.

#### AO24.1

The maximum building height is 12 metres above ground level.

#### AO24.2

The maximum site cover is 50 per cent of the lot.

*Note: A building may have a height greater than 12m where it can be demonstrated that it will not have a significant impact on the visual amenity of the locality.*

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**P025**

Buildings are setback from the external TTP Preliminary Approval Area boundaries in such a way that:

- (c) identified road corridors and existing highway/road interchange upgrades are not compromised;
- (d) does not compromise the efficient development of surrounding industrial zoned land;
- (e) allowance is made for efficient use of the site;
- (f) the requirements of the Building Code of Australia can be satisfied;
- (g) the location of utility services and drainage paths are taken into account;
- (h) buildings help to screen any unsightly outdoor service, storage or other use areas;
- (i) existing or likely future use of adjoining land is not significantly adversely affected; and
- (j) effective buffer areas are provided to creeks and to agricultural land adjoining the Charlton Wellcamp Enterprise Area Local Plan area.

**A025.1**

Setbacks between a building and an external boundary of the TTP Preliminary Approval Area are not less than:-

- (a) 40 metres to the boundary shared with the Toowoomba Second Range Crossing road corridor;
- (b) 40 metres to the boundary shared with adjoining land that is within the Rural Zone and used for rural purposes;
- (c) 5 metres, in all other circumstances.

**A025.2**

Buildings and structures do not locate within the Stormwater Easement shown on the Structure Plan.

#### PO26

Buildings are sited in relation to lot boundaries so that:-

- (a) The continuity of built form along Principal and Secondary Driveway frontages is maintained;
- (b) Buildings do not dominate, detract from, or discourage the use of, Common Spaces or Pedestrian Walkways;
- (c) Building presents a varied and attractive façade to the Street Network and Common Space.

#### AO26.1

Setbacks between a building and a lot boundary are:-

- (a) a minimum setback of 6 metres or a maximum setback of 14 metres to a Principal Driveway Frontage ;
- (b) a setback to the Secondary Driveway Frontage is a minimum of 6 metres;
- (c) where the lot has frontage to Common Space or a Pedestrian Walkway, a minimum setback of 6m is provided between the building and the edge of the Common Space or Pedestrian Walkway.

*Note: Refer to Figure 3 which provides an example of a typical site layout within Precinct B.*

#### AO6.2

Where buildings are built to a side boundary that adjoins another lot, a minimum 3 metre deep x 2 metre wide recess must be provided at the intersection of the front façade and the side boundary.

*Note: Refer to Figure 3 which provides an example of a typical site layout within Precinct B.*

**Criteria for development located in Precincts A, C and D**

**Building Setbacks and Siting**

P027

The building has a height and bulk that allows for the building to be set into the landscape/ streetscape without becoming visually intrusive.

Where adjoining non-industrial zoned land, development:

A) is of a scale and layout generally compatible with the character of the nearby non-industrial area; and

B) provides adequate separation, buffering and screening so that the privacy and amenity of adjoining premises are not adversely affected.

A027.1

The maximum building height is 12 metres above ground level.

A027.2

Where adjoining land within the Rural Zone, all external areas are landscaped and sealed.

A027.3

New buildings, active outdoor use areas, site access and car parking, servicing or outdoor storage areas are set back from any boundary adjoining land within a Rural Zone, a minimum of 6m.

A027.4

Within the setback area provided under A027.3, both of the following are provided:

- (a) a minimum 1.8m high solid timber, brick or masonry fence; and
- (b) a densely planted landscape strip, having a minimum width of 3m.

A07.5

The maximum site cover is 50 per cent of the lot.

PO28

Buildings are setback from the external TTP Preliminary Approval Area boundaries in such a way that:

- (a) does not compromise the productive capacity of land that is used for rural purposes; and
- (b) does not compromise the efficient development of surrounding industrial zoned land;

AO28.1

Setbacks between a building and an external boundary of the TTP Preliminary Approval Area are not less than:-

- (a) 20 metres to the boundary shared with the Toowoomba Second Range Crossing road corridor;
- (b) 30 metres to the boundary shared with adjoining land that is within the Rural Zone and used for rural purposes;
- (c) 5 metres , in all other circumstances.

PO29

Buildings are sited in relation to lot boundaries so that:-

- (d) The continuity of built form along Principal and Secondary Driveway frontages is maintained;
- (e) Buildings do not dominate, detract from, or discourage the use of, Common Spaces or Pedestrian Walkways;
- (f) Building present a varied and attractive façade to the Street Network and Common Space.

AO29.1

Setbacks between a building and the boundary of a lot are:-

- (a) a minimum setback of 10 metres to a Principal Driveway Frontage;
- (b) a setback to the Secondary Driveway Frontage is a minimum of 6 metres;
- (c) where the lot has frontage to Common Space or a Pedestrian Walkway, a minimum setback of 6m is provided between the building and the edge of the Common Space or Pedestrian Walkway.; and
- (d) unless a built to boundary wall, a minimum setback to a side boundary of 5 metres.

*Note: Refer to Figure 4 which provides an example of a typical site layout within Precinct A, C or D.*

AO29.2

A built to boundary wall is only provided where:-

- (a) located on a side boundary;
- (b) adjoining a side boundary of an adjoining lot;
- (c) the built to boundary wall has no openings or entries facing the relevant side boundary.

## **Table 6 - List of Materials and Finishes - Building Design**

### **Material & Finish (Common Description)**

#### **Toowoomba**

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### Facades

Glazing - clear or tinted, back painted

Brickwork – rendered in situ with colour or painted.

Brickwork – face brickwork

Concrete Blocks – coloured

Concrete Blocks – rendered and painted

Precast concrete panels - in situ with colour or painted

Colorbond

Commercial Panelled Systems – such as Compressed Fibre Cement (CFC) or ceramic tiles.

### Roofing

Corrugated and Metal Deck Sheeting – Colourbond Finish.

## **Table 7 - List of Materials and Finishes -Fences and Walls**

### **Material & Finish (Common Description)**

#### **Fencing and Walls**

Blockwork (Austral Masonry Honed Nickel; Pewter 200 Series Block Column with Capping Block; 200 Series Block Column with Render Finish; Gabion Stone Construction)

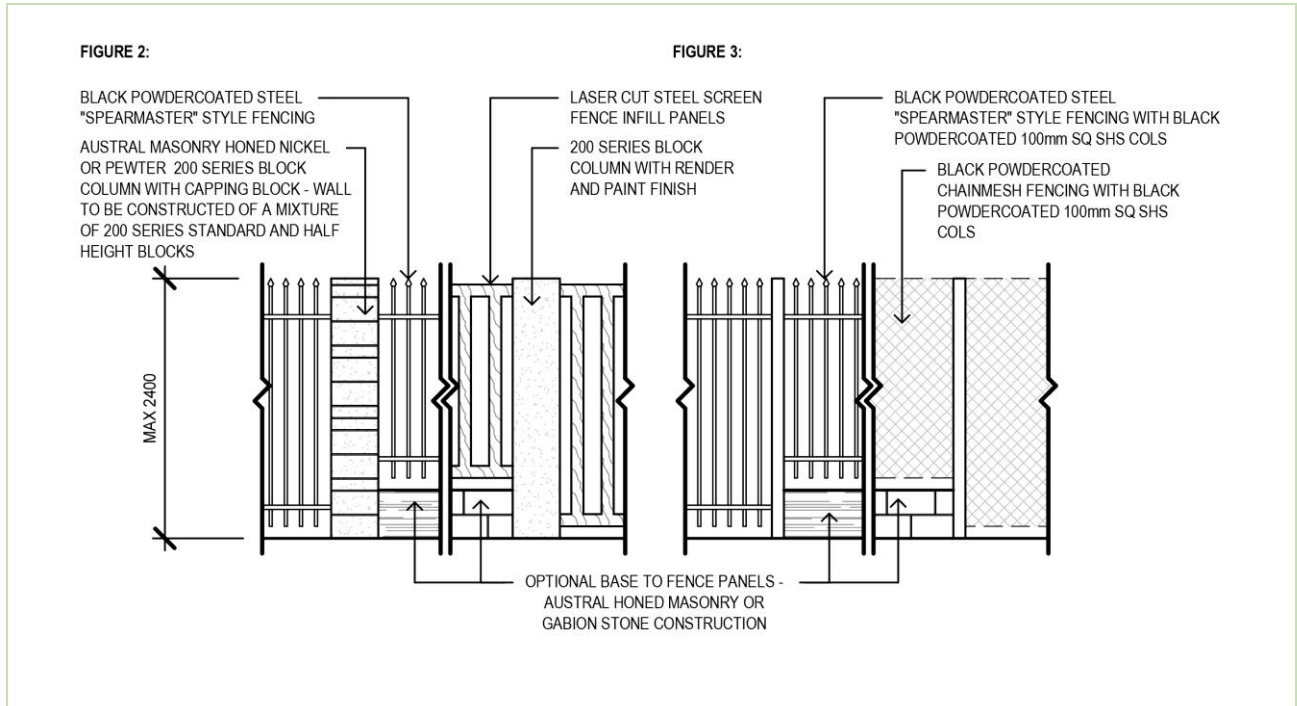
Feature breeze blockwork

Black Powder coated Steel “SpearMaster” Fencing

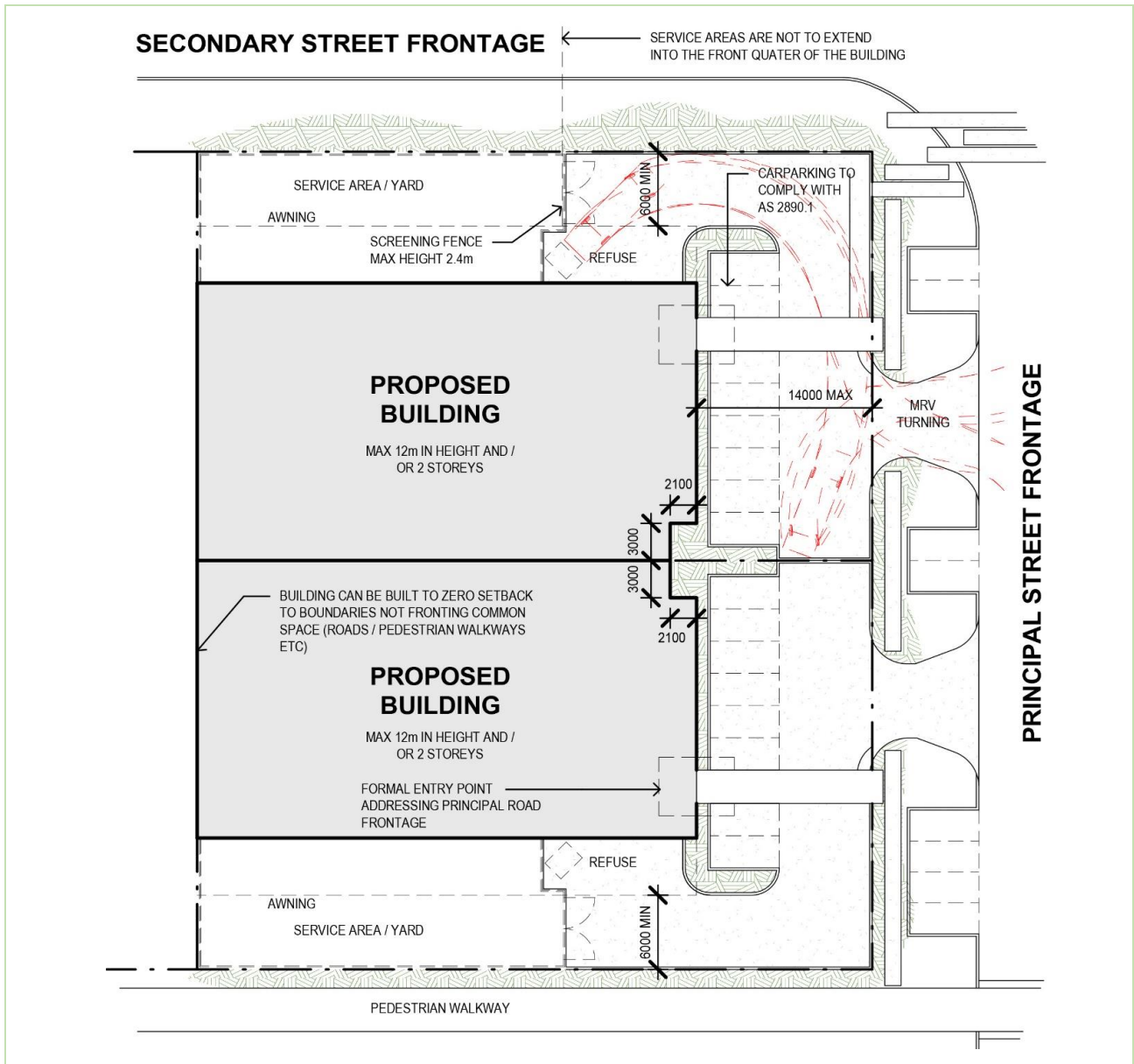
Laser Cut Steel Screen Infill Panel

Black Powder coated “ChainMesh” Fencing with Black Powder Coated 100mm SQ SHS columns.

## Figure 2 - Typical Wall and Fence Construction



## Figure 3 - Typical Site Layout (Precinct B)



Scale: NTS

Source: FKG Group

The content of this document includes third party data. Property Projects Australia Pty Ltd does not guarantee the accuracy of such data.

Note: See Appendix C for higher resolution image.

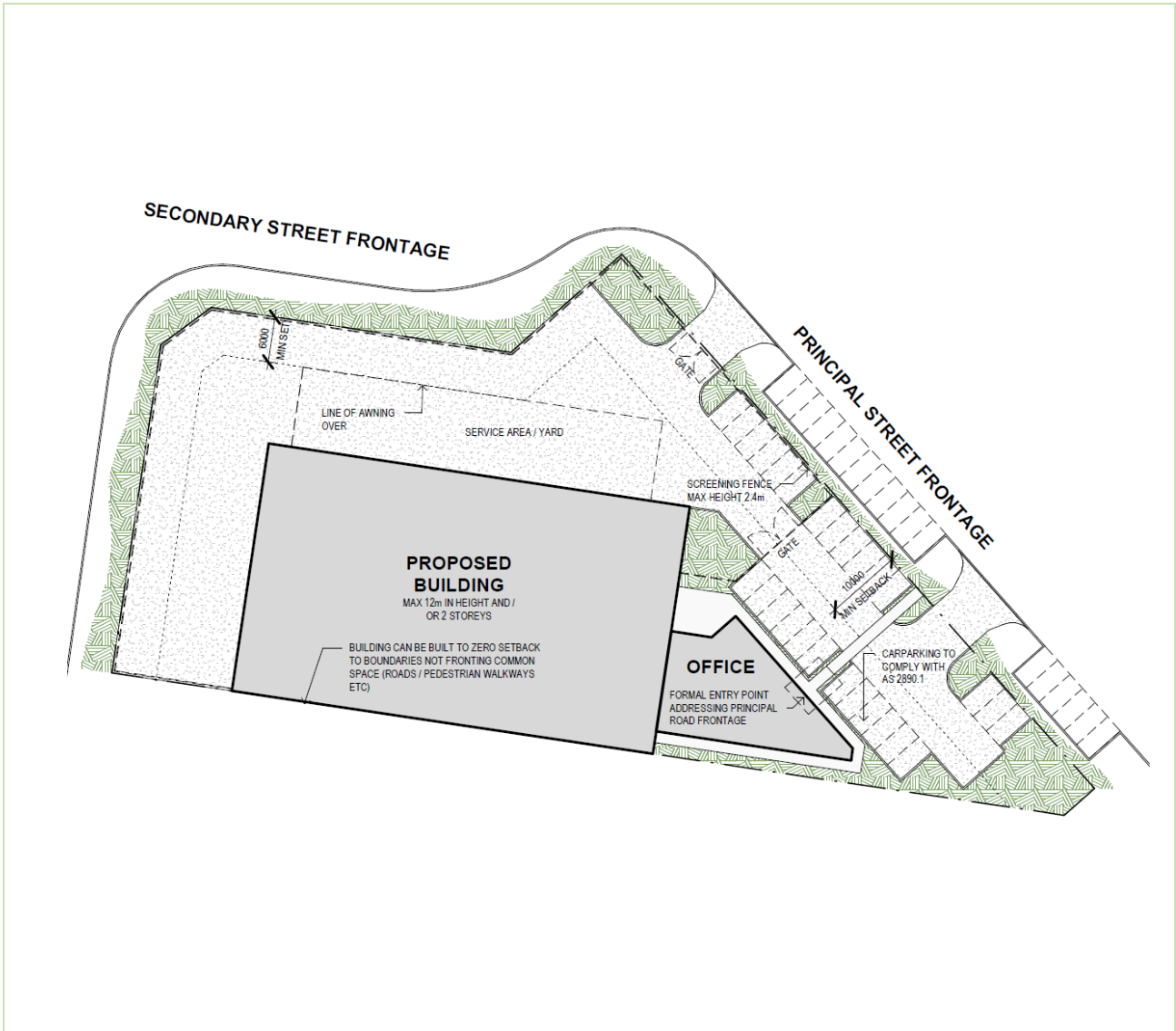
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**Figure 4 - Typical Site Layout (Precinct A, C & D)**



<p>Scale: NTS</p>	<p>Source: FKG Group</p>	<p>Note: See Appendix C for higher resolution image.</p>
<p>The content of this document includes third party data. Property Projects Australia Pty Ltd does not guarantee the accuracy of such data.</p>		

## 4.0 Development Codes

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### 4.1 Preliminary

1. Development Codes are the assessment benchmarks assessment where identified as an applicable code in Part 2.
2. Where a Development Code identified at Part 2 is not included in Part 4, the Development Code included in the *Toowoomba Regional Planning Scheme 2012 (Version 19)* applies.
3. The following other development codes are applicable in the TTP Preliminary Approval Area:-
  - a. TTP Advertising Devices Code;
  - b. TTP Landscaping Code;
  - c. TTP Reconfiguring a Lot Code;
  - d. TTP Transport, Access and Parking Code; and
  - e. TTP Works and Services Code.
  - f. TTP Environmental Standards Code

## 4.2 TTP Advertising Devices Code

1. This code applies to development identified as requiring assessment against the TTP Advertising Devices Code by the categories of development and assessment tables in Part 2 – Tables of Assessment.

### 4.2.1 Purpose and Overall Outcomes

1. The purpose of the Advertising Devices Code is to facilitate the advertising of businesses, products or services, while ensuring acceptable levels of safety and visual amenity within the TTP;
2. The purpose of the code will be achieved through the following overall outcomes:-
  - (a) advertising is aesthetically acceptable and compatible with the character and identify of the TTP; and
  - (b) advertising does not create a hazard to pedestrians, cyclists and vehicular traffic

*Note: Advertising devices within or adjacent to a State-controlled road corridor may require approval by the Department of Transport and Main Roads against the Roadside Advertising Guide.*

**Table 8 – TTP Advertising Devices Code – Requirements for accepted development and assessment benchmarks for assessable development**

Performance Outcome	Acceptable Outcome
<b>General</b>	
PO1 Advertising Devices are co-located with the business that they are advertising and do not detract from the quality of Common Spaces or Pedestrian Walkways.	AO1.1 Advertising Devices are erected and contained entirely within a lot.  AO1.2 Advertising Devices, other than Advertising Devices for the Body Corporate, are not erected within Common Space or Pedestrian Walkways.
PO2 The Advertising device: (a) is attractive and well integrated with the premises; (b) does not detract from the landscape or streetscape;	AO2.1 The Advertising Device complies with the maximum dimensions and other requirements set out in Table 9– Signage Information.  <i>Note: All dimensions set out in the table include framing or structural components as well as the sign itself.</i>

- (c) does not dominate the landscape or streetscape;
  - (d) does not contribute to visual cluttering;
  - (e) is compatible with the character of the locality;
  - (f) is constructed of quality materials which are able to be maintained in a neat, clean and tidy manner at all times;
  - (g) is of an appropriate size and shape for the locality in which it is situated;
  - (h) does not overshadow any Adjoining premises; and
  - (i) where possible, is incorporated within a landscaped environment and/or integrated with the building design.
- A02.2  
Advertising Devices do not move, revolve, strobe or flash. The advertising device promotes products and/or services available from the site on which it is located or contains a message relating to a business or community organisation located on the site.
- A02.3  
Advertising Devices are not constructed or finished using fluorescent or iridescent paint.

#### Illumination of an Advertising Device

- PO3  
The level of illumination for an Advertising Device is safe and consistent with the nature of the surrounding area and ensures that there is no detriment to the amenity of the area in which the Advertising Device is located.
- A03.1  
The Illuminated Advertising Device does not resemble official traffic signs or signals, and is not located in a position where a traffic hazard or a nuisance is likely to be created.
- A03.2  
The luminance levels of the Advertising Device are consistent with the following standards:  
(a) Industrial areas: 500 cd/ m<sup>2</sup>;  
(b) Commercial areas: 400 cd/ m<sup>2</sup>;  
(c) Residential areas, Community areas, Rural areas and Other areas: 300 cd/ m<sup>2</sup>.
- A03.3  
The Advertising Device does not flash or strobe.
- PO4  
The Advertising device:
- A04.1  
Advertising devices are structurally sound and securely fastened to prevent accidental damage or injury.

- (a) does not unduly obstruct, or distract, vehicular or pedestrian traffic; AO4.2  
Advertising devices are constructed or located such that the view of any traffic sign, traffic signals or street name is maintained, and drivers' line of sight is not reduced.
  - (b) does not, due to height or illumination, interfere with the use, operation or safety of any airport; and
  - (c) is structurally sound. AO4.3  
Advertising devices do not penetrate the Airport Obstacle Limitation Surfaces shown on Airport Environs Overlay Maps.
- AO4.4 Advertising devices do not extend over a roadway or otherwise inhibit vehicular traffic.

**Table 9 – TTP Advertising Devices Design Requirements**

Performance Outcome	Acceptable Outcome
Type	Requirements
<p>Pole or Pylon Sign</p> <p>An advertising sign which is independent of a building and supported by one (1) or more columns. The display area may consist of multiple panels or slats, which can be replaced. The signs generally display a logo, products, service or goods, which are available for sale or other business activities on the lot where the sign is erected. The display surface has a height greater than its width.</p>	<ul style="list-style-type: none"> <li>(a) The sign is the only pole sign on the premises; or</li> <li>(b) Where a lot has frontage to the Toowoomba Second Range Crossing reserve, only one (1) pylon or pole sign is permitted to that frontage, where it is not closer than 100 metres to another pole or pylon sign on that frontage (whether or not on the same lot); and</li> <li>(c) Pylon or pole signs shall be contained within a volume of the following dimensions: maximum height of 4m; maximum size of 2.5m x 1.5m; and</li> <li>(d) The sign is not illuminated other than internally or by baffled lamps; and</li> <li>(e) The sign is double-sided or where single sided, erected so the back of the sign is not visible from a common or public place;</li> </ul>

- (f) Where the lot has one (1) driveway frontage, the sign is located a minimum of 3 metres from a side boundary of a property;
- (g) Where the lot has more than one (1) driveway frontage, the sign is located a minimum of 3 metres from the boundary with the Principal Driveway Frontage and one (1) metre from the Secondary Driveway Frontage..

#### Wall Signs

An advertising sign painted or otherwise affixed flat to a wall.

- i. Advertising signage must not project above the façade(s), roof lines or parapets of buildings;
- ii. Advertising signage must not project outwards from the building façade greater than 0.5 metres;
- iii. The sign has a display area that would not cause the total display area of all wall signs on the subject elevation to exceed the lesser of 30m<sup>2</sup> or 25% of the total wall area of the subject elevation;
- iv. Advertising signs attached to buildings shall be designed as an integral part of the building. For example:-
  - i. Recessed into the façade;
  - ii. Forming part of an element integral to the architectural design of the building; or
  - iii. Contained within a frame.
- v. On a lot that contains more than one business premises/tenancy, a single wall sign that provides an equal and consistent advertising opportunity for all tenant/business premises is used;

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	<ul style="list-style-type: none"> <li>vi. Illumination of wall signage must be by:-           <ul style="list-style-type: none"> <li>i. wall/sign mounted light fittings; and/or</li> <li>ii. ground mounted up-lights.</li> </ul> </li> <li>vii. Wall signs must not be painted directly on to the surface.</li> </ul>
--	--

**Vacant or Undeveloped Land Signage**  
A freestanding advertising sign that is placed on vacant or undeveloped land.

- (a) A maximum of two (2) freestanding advertising signs are permitted on an undeveloped or vacant lot.
- (b) The maximum dimension of a freestanding advertising sign is 1.0 metre x 1.414 metres.
- (c) The sign must be installed so that it can be removed.
- (d) Is oriented toward the Principal Driveway Frontage.

### 4.3 TTP Landscaping Code

1. This code applies to development identified as requiring assessment against the TTP Landscaping Code by the categories of development and assessment tables in Part 2 – Tables of Assessment.

#### 4.3.1 Purpose and Overall Outcomes

1. The purpose of the TTP Landscaping Code is to facilitate landscaping which is an integral component of urban design, contributing to the creation or enhancement of quality places and spaces.
2. The purpose of the code will be achieved through the following overall outcomes:-
  - (a) landscaping assists in the creation of aesthetically pleasing, safe, comfortable and functional environments for people to work and visit;
  - (b) landscaping is suitable for its intended function and is responsive to site and environmental conditions;
  - (c) landscaping is integrated with the overall design of a development, and contributes to a coherent streetscape and the desired local character; and
  - (d) landscaping is established in a manner that ensures the viability of species utilised and cost effective maintenance.

**Table 10 – TTP Landscaping Code – Requirements for accepted development and assessment benchmarks for assessable development**

Performance Outcome	Acceptable Outcome
<b>General</b>	
PO1 Landscape design is developed by a suitably qualified landscape professional and demonstrates an integrated approach to planning/development issues and documents both hard and soft works proposed for the development.	AO1.1 Landscape documentation is prepared by a suitably qualified Landscape Designer or Landscape Architect.
PO2 Landscape design reflects the local context and incorporates cohesive and desirable aspects of the prevailing landscape character.	AO2.1 Plant species are selected from the planting list provided at <b>Appendix D</b> .

	<p>A02.2 A minimum of 2.5 per cent of the lot area must be provided and maintained as landscaping.</p>
<p>PO3 Risks to personal safety and the potential for crime, vandalism and fear are reduced through landscape design that has been informed by Crime Prevention Through Environmental Design (CPTED) principles in relation to:</p> <ul style="list-style-type: none"> <li>(a) Surveillance</li> <li>(b) Access control</li> <li>(c) Territorial reinforcement.</li> <li>(d) Space management.</li> </ul>	<p>A03.1 Trees have a minimum clear trunk height of 1.8 metres at maturity.</p> <p>A03.2 Ground covers and shrubs have a maximum height of 0.6 metres at maturity.</p> <p>A03.3 Access to car parking areas and pedestrian pathways must be delineated through the use of different surface materials, such as coloured concrete, paving or exposed aggregate.</p> <p>A03.4 The landscape design provides opportunities for clear sight lines from private lots to Common Space and Pedestrian Walkways space.</p>
<p>PO4 Automatic irrigation systems are installed to all landscaping areas to create a healthy landscape environment.</p>	<p>A04.1 Automatically controlled irrigation is provided to all landscape areas within a lot that provides:-</p> <ul style="list-style-type: none"> <li>i. drip irrigation to planted areas; and</li> <li>ii. sprinkler irrigation to grassed areas.</li> </ul>

#### 4.4 TTP Reconfiguring a Lot Code

1. This code applies to development identified as requiring assessment against the TTP Reconfiguring a Lot Code by the categories of development and assessment tables in Part 2 – Tables of Assessment.

##### 4.4.1 Purpose and Overall Outcomes

1. The purpose of the TTP Reconfiguring a Lot Code is to:
  - (a) facilitate the reconfiguration of the land within the TTP Preliminary Approval Area to support the creation of a regionally significant innovation and business hub that attracts and incubates new and emerging businesses and activities in a range of industries and sectors;
  - (b) provide for good neighbourhood design, consistent with the character and environmental values of the Preliminary Approval Area in which the land is located;
  - (c) ensure the creation of a sense of place and distinctive identity;
  - (d) ensure lot reconfiguration facilitates safe and efficient provision of, and equitable access to, infrastructure and services;
  - (e) ensure transport networks provide for appropriate levels of accessibility and accommodate a wide range of travel modes including walking, cycling and the use of public transport;
  - (f) encourage development to be resource efficient; and
  - (g) Provide for neighbourhood design that suits safe and practical connectivity with adjoining similar uses in terms of roads, open space and stormwater drainage layout.
2. The purpose of the code will be achieved through the following overall outcomes:-
  - (a) lot reconfiguration and urban design facilitates the creation of safe, convenient, functionally efficient and attractive environments with a distinctive sense of innovation and entrepreneurship;
  - (b) lot reconfiguration is responsive to the local environment, including its topography, natural drainage systems, streetscape character, views and vistas;
  - (c) lot reconfiguration facilitates compatible relationships between different land uses and activities;
  - (d) lot design and sizes are suited to the intended use of the land;

- (e) lot orientation facilitates the conservation of non-renewable energy sources and the design of buildings that are appropriate for the local climatic conditions;
- (f) infrastructure is supplied to all lots in a safe, efficient, coordinated and sequenced manner which minimises whole of life cycle costs and is sensitive to the environment in which they are provided;
- (g) stormwater drainage systems protect people and the built and natural environments in a cost effective manner;
- (h) the street system and driveway network provides acceptable levels of access, safety and convenience for all users and provides for a high level of connectivity and permeability across the TTP Preliminary Approval Area;
- (i) lot configuration supports the shared supply of on-street car parking for staff and visitors to the TTP;
- (j) lot reconfiguration increases opportunities for walking, cycling and the use of public transport;
- (k) Common Space and Pedestrian Walkways are safe, attractive and accessible to staff and visitors to the TTP, including people with disabilities;
- (l) lots facilitate connectivity of roads, driveway network, open space and stormwater drainage.

**Table 11 – TTP Reconfiguring a Lot Code – Requirements for assessable development**

Performance Outcome	Acceptable Outcome
<b>Rearrangement of Boundaries</b>	
PO1 The lots resulting from the rearrangement of boundaries does not contribute to:	AO1.1 No additional lots are created by the rearrangement of boundaries.
(a) the potential to introduce uses or activities which conflict with the intent of the TTP Preliminary Approval Area.	AO1.2 The resulting lots from rearranging boundaries are contained entirely within the TTP Preliminary Approval Area (Figure 1).

PO2

The lots resulting from the rearrangement of boundaries do not require any change to infrastructure or services.

A02.1

All lots retains all existing connections to water, sewer, electricity and other infrastructure and does not require additional infrastructure connections or augmentation.

A02.2

Except for an area of common space, all resulting lots have, or are provided with, frontage to a constructed Principal Driveway or Secondary Driveway.

PO3

The lots resulting from the rearrangement of boundaries have the appropriate size, dimensions and road access to accommodate uses consistent with the zone in which the lots are located.

A03.1

Each resulting lot has a minimum size of 2,000m<sup>2</sup> and minimum frontage of 20 metres.

### Subdivision – Movement Network

PO4

The driveway and pedestrian network provides for convenient and safe movement within the TTP Preliminary Approval Area and between the TTP Preliminary Approval Area and higher order roads.

A04.1

Access to the TTP Preliminary Approval Area is via Pipe Street or Vision Street only.

A04.2

The layout of the internal driveway network is constructed generally in accordance with the Structure Plan (Appendix B).

A04.3

A Principal Driveway or Secondary Driveway is constructed in accordance with TTP Works and Services Code.

A04.4

Common Space and Pedestrian Walkways are provided generally in accordance with the Structure Plan (Appendix B).

### Subdivision – General

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P05

The layout of driveways, lots and infrastructure responds appropriately to environmental features of the site or locality by:

- (a) following the natural topography;
- (b) minimising the need for earthworks; maintaining natural drainage features and floodways;
- (c) providing for adequate buffering of (d), (e) and (f);
- (d) connecting driveways to existing streets on adjoining land as necessary for the orderly development of the precinct.

A05.1

No acceptable outcome is nominated.

P06

Reconfigurations within the TTP Preliminary Approval Area ensure an integrated, orderly and efficient development outcome is achieved across all lots in respect to access to the external road network, pedestrian and vehicle movement within the site and built form and function.

A06.1

No acceptable outcome is nominated.

P07

Subdivision:-

- (a) occurs in a logical pattern and sequence;
- (b) is of a scale and density that facilitates an efficient land use pattern and facilitates a mix of new and emerging business uses and activities;
- (c) is designed to create a campus style community that is compact and walkable;

A07.1

New lots, excluding a Common Property Lot, have a minimum lot area of 2,000m<sup>2</sup>.

A07.2

New lots are established generally in accordance with the Structure Plan (Appendix B).

A07.3.

All lots have, or are provided with, frontage to a Principal Driveway or Secondary Driveway.

A07.4

- |  |  |
|--|--|
| <ul style="list-style-type: none"> <li>(d) creates lots that have access to constructed driveway frontage;</li> <li>(e) provides sufficient area for car parking within common property and new lots;</li> <li>(f) creates a high quality streetscape and well connected Common Space and Pedestrian Walkway;</li> <li>(g) is provided with all necessary infrastructure networks and is well serviced by community facilities.</li> </ul> | <p>Where a new Principal Driveway or Secondary Driveway is required to be constructed or extended to service a lot, the new driveway is constructed for the full frontage of the lot.</p> <p>A07.5<br/>A Principal Driveway or Secondary Driveway is constructed in accordance with TTP Works and Services Code.</p> <p>A07.6<br/>All lots are connected to water, wastewater, stormwater, electricity and telecommunications and data services.</p> |
|--|--|

PO8 Reconfiguration avoids risk to human safety and the environment from natural hazards and contaminated land.

A08.1  
Subdivision of contaminated land does not occur.

PO9  
Development does not compromise the delivery of existing or future public transport routes and encourages a highly connected local street network that enables public transport to efficiently service the area without the need to 'repeat a part of a route as part of the one trip'.

A09.1  
The Type A1 and Type A2 driveway network is designed to accommodate the movements of a 14.5m long bus.

### Subdivision – External Impacts

PO10  
Subdivision design creates Lots that are adequately dimensioned and shaped to accommodate functional building designs outside of the setback area to the Toowoomba Second Range Crossing corridor.

A010.1  
Where any part of a lot, excluding a lot for common property, is within 20 metres of the Toowoomba Second Range Crossing Corridor, the lot has an area that is a minimum of 20 metres x 20 metres that is not located within 20 metres of the Toowoomba Second Range Crossing.

*Note: This is to ensure that there is adequate area to accommodate a future building that is located a minimum of 20 metres from the Toowoomba Second Range Corridor.*

## Natural Values

### PO11

Development is provided with an adequate water supply for firefighting purposes that is safely located and freely accessible.

### AO11.1

Any new lot can be connected to a reticulated water supply system.

### AO11.2

A water supply outlet, suitable for firefighting purposes, is located within 40 metres of the following:

- (a) all of the land; or
- (b) a building envelope designated on each lot; or
- (c) the centre of each lot, excluding access handles (where no building envelope is designated).

## Subdivision – Communal Car Parking

### PO12

Subdivision design accommodates car parking, both on-street and communal, that contributes the majority of car parking supply within the TTP Preliminary Approval Area.

### AO12.1

In Precinct B, communal car parking is provided within common property at a rate of 2 spaces per 100m<sup>2</sup> of Future Gross Floor Area (GFA).

*Note: Future GFA is calculated using the total area (m<sup>2</sup>) of Development Lots proposed to be created, divided by two (e.g. if 5 x 1,000m<sup>2</sup> Development Lots are proposed to be created, Future GFA equals (5 x 1000) / 2 = 2,500m<sup>2</sup> or 50 communal car parks.*

## Services

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P013

Services, including water supply, stormwater management, sewage disposal, waste disposal, drainage, electricity and telecommunications, are provided in a manner that:

- (a) is efficient;
- (b) minimises risk of adverse environmental or amenity related impacts;
- (c) promotes total water cycle management and the efficient use of water resources; and
- (d) minimises whole of life cycle costs for that infrastructure.

A013.1

Lots are connected to services and utilities in accordance with the TTP Works and Services Code.

#### 4.5 TTP Transport, Access and Parking Code

1. This code applies to development identified as requiring assessment against the TTP Transport, Access and Parking Code by the categories of development and assessment tables in Part 2 – Tables of Assessment.

##### 4.5.1 Purpose and Overall Outcomes

2. The purpose of the TTP Transport, Access and Parking Code will be achieved through the following overall outcomes:-
  - (a) the function, safety and efficiency of the transport network is protected or improved;
  - (b) pedestrians (including people with a disability) and cyclists are provided with a high level of accessibility, safety and convenience within the TTP Preliminary Approval Area;
  - (c) access, parking, servicing and associated manoeuvring areas are designed to be safe, functional and to meet the reasonable demands generated by the TTP;
  - (d) access, parking, servicing and associated manoeuvring areas do not detract from streetscape character and are designed to discourage crime and anti-social behaviour; and
  - (e) car parking supply is adequate to meet the demand generated by the development and is supplied through a combination of on-street and on-site car parking spaces.

**Table 12 – TTP Transport, Access and Parking Code – Requirements for accepted development and assessment benchmarks for assessable development**

Performance Outcome	Acceptable Outcome
<b>Driveway Crossovers</b>	
PO1	AO1.1.
Vehicular access arrangements:	Each lot is provided with one (1) driveway crossover that is constructed in accordance with in accordance with Australian Standard AS 2890.1 – Off Street Car Parking (and Australian Standard AS 2890.2 where relevant).
(a) are appropriate for:	
i. the capacity of the parking area;	
ii. the volume, frequency and type of vehicle useage; and	
iii. the function and configuration of the access driveway;	
(b) minimise any potentially adverse impact on:	
i. the safety and efficiency of the driveway;	

- ii. the integrity of any infrastructure within the driveway reserve; and
  - iii. the safety of access to adjacent properties; and
- (c) protect the amenity of premises in the vicinity.

### Transport Network

#### PO2

Onsite transport network infrastructure (including driveways, parking, access, pedestrian and cyclist facilities) provides for convenient and safe movement within the TTP Preliminary Approval Area and between the TTP Preliminary Approval Area and higher order roads.

#### AO2.1.

Lots have or are provided with, frontage to a Principal Driveway or Secondary Driveway.

#### AO2.2

Where a new Principal Driveway or Secondary Driveway is required to be constructed or extended to service a development, the new driveway is constructed for the full frontage of the lot.

#### AO2.3

A dedicated 1.2-metre-wide pedestrian footpath must be provided that connects the building entrance to:-

- i. a Principal Driveway Frontage or Secondary Driveway Frontage; and
- ii. car parking areas provided on the lot.

#### PO3

Development is designed to encourage walking and cycling within the TTP.

#### AO3.1

End of Trip Facilities are provided in each building in accordance with Queensland Development Code Part 4.1 – Sustainable Buildings.

### Access

#### PO5

Vehicle access arrangements and queuing areas are appropriate for:

- (a) the capacity of the parking area;
- (b) the volume, frequency and type of vehicle usage; and
- (c) the function and characteristics of the access driveway and adjoining driveway or network.

#### AO5.1

Access driveways and queuing areas are located and designed in accordance with the provisions of Australian Standard AS 2890.1 Part 1: Off Street Carparking.

## Parking and Circulation

### PO6

Provision is made within the TTP Preliminary Approval Area, using on-site and on-street car parking, for a car parking supply that is adequate to meet the average demand generated by business and users of the TTP.

### A06.1

In Precinct B, Car parking within the lot is provided at a maximum rate of two (2) spaces per tenancy plus one (1) space per 250m<sup>2</sup> Gross Floor Area.

### A06.2

In Precinct A, C or D, car parking is provided within the lot and is provided at a minimum rate of two (2) spaces per tenancy plus one (1) space per 100m<sup>2</sup> Gross Floor Area.

*Note: Parking requirements must be calculated to one decimal place and rounded up or down to the nearest whole number, i.e. where the total is equal to or greater than 0.5 the number is rounded up and where less than 0.5 the number is rounded down.*

### PO7

Car parking areas within a Lot are designed to be:

- (a) clearly identifiable; and
- (b) convenient, safe and accessible.

### A07.1

Car parking within a lot is located between the building and the Principal Driveway Frontage.

### A07.2

Car parking within a lot is designed to comply with AS 2890.1 Part 1: Off Street Carparking.

### A07.3

Car parking, access and any other vehicle access/manoeuvring areas vehicle manoeuvring areas are imperviously sealed.

### PO8

Car parking areas are designed to provide spaces which meet the needs of people with disabilities.

### A08.1

One (1) car parking space for people with disabilities is provided per building. The car parking space is provided within the lot or within the lots Principal Driveway Frontage.

### A08.2

Parking spaces for people with disabilities are designed in accordance with the provisions of Australian Standard AS2890.6.

### A08.3

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Pathways and ramps between the parking space for people with disabilities and the entrance to the building it serves are designed in accordance with the provisions of Australian Standard AS1428.1: Design for Access and Mobility.

### Servicing

#### PO9

Provision is made within the Lot for the loading, unloading, manoeuvring and access by service vehicles that:

- (a) is adequate to meet the demands generated by the development;
- (b) is able to accommodate the design service vehicle requirements; and
- (c) does not unduly impede vehicular, cyclist and pedestrian safety and convenience within the Lot.

#### AO9.1

A lot with an area of less than 2,500m<sup>2</sup> is not required to provide service bays within the lot.

#### AO9.2

A lot with an area of more than 2,500m<sup>2</sup> must be designed to enable a Medium Rigid Vehicle (MRV) to:-

- i. enter the Lot in forward gear;
- ii. manoeuvre within the Lot; and
- iii. exit the Lot in forward gear.

#### PO10

The development (excluding high rise buildings in excess of three (3) stories) is designed to ensure that waste storage and collection can be undertaken in a manner that complies with

#### AO10.1

Bulk refuse storage and collection is provided in Precinct A, C or D. In Precinct B, bulk refuse storage and collection or wheelie bin storage and collection is accepted.

#### AO10.2

Where bulk refuse storage and collection is used:-

- (a) a container storage area is dedicated that is large enough to cater for the expected volume of general waste and recycling; and
- (b) the bin storage area is roofed and bunded, contains an impervious surface, is in close proximity to a hose cock and is graded and drained to either a wastewater system connection or to an area of significant landscaping, waste water treatment device or water quality improvement system; and
- (c) An RPEQ certificate is provided for the development that states: -

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- i. appropriate manoeuvring is adequate with vehicles being able to enter and exit the property in a forward gear;
- ii. overhead clearance is adequate for the applicable refuse vehicle;
- iii. driveway surface is appropriate for a HRV;
- iv. side clearance is appropriate for wheelie bin collection;
- v. collection areas are appropriate for either bulk bins or wheelie bins.

#### A010.3

Where wheelie bin storage and collection is used in Precinct B, the development:-

- (a) utilises a maximum of four (4) wheelie bins per lot;
- (b) outside of collection times, bins are stored within the curtilage of the property in a designated area that is impervious and in close proximity to a hose cock.

#### 4.6 TTP Works and Services Code

1. This code applies to development identified as requiring assessment against the TTP Works and Services Code by the categories of development and assessment tables in Part 2 – Tables of Assessment.

##### 4.6.1 Purpose and Overall Outcomes

1. The purpose of the TTP Works and Services Code is to ensure development is provided with a level of infrastructure that is adequate to support the safe and efficient establishment of the TTP.
2. The purpose of the code will be achieved through the following overall outcomes:-
  - (a) Lots are provided with an appropriate level of services to meet the demands of development;
  - (b) the integrity of existing infrastructure is maintained;
  - (c) access, parking, streets and pedestrian and cycle paths are provided to standards that ensure safe, convenient and efficient operation of movement networks;
  - (d) risk to life and property is avoided;
  - (e) development facilitates the efficient provision of infrastructure and use of resources;
  - (f) whole of life cycle costs for infrastructure are minimised; and
  - (g) the provision of infrastructure, services and utilities needed to service development does not detract from environmental values or from the desired character and amenity of the locality.

**Table 13 – TTP Works and Services Code – Requirements for accepted development and assessment benchmarks for assessable development**

Performance Outcome	Acceptable Outcome
<b>Utilities</b>	
PO1 A water supply is provided that is adequate for the current and future needs of the intended use.	A01.1 Premises are connected to a water supply in accordance with PSP No. 3 – Engineering Standards – Water and Waste Water Infrastructure of the <i>Toowoomba Regional Planning Scheme 2012 (Version 19)</i> .

A01.2

Water supply systems and connections are designed and constructed in accordance with SC6.3 PSP No. 3 Engineering Standards – Water and Wastewater Infrastructure.

PO2

Wastewater treatment and disposal is provided that is appropriate for the level of demand generated, protects public health and avoids environmental harm.

A02.1

Premises are connected to a wastewater system in accordance with PSP No. 3 – Engineering Standards – Water and Waste Water Infrastructure of the *Toowoomba Regional Planning Scheme 2012 (Version 19)*.

PO3

The development is equipped with an adequate energy supply approved by and installed in accordance with the standards of the relevant energy regulatory authority.

A03.1

Premises are capable of being connected to an electricity supply approved by the relevant energy regulatory authority or an approved energy provider and distributor.

PO4

Premises are connected to telecommunications and data services (e.g. fibre optic cable).

A04.1

Premises are capable of being connected to telecommunications and data services in accordance with current standard prescribed by the relevant service provider.

PO5

The development is consistent with the objectives of the Stormwater Management Report (Quantity).

A05.1

Premises are connected to the stormwater drainage network in accordance with *PSP No 2 Engineering Standards Roads and Drainage Infrastructure of the Toowoomba Regional Planning Scheme 2012 (Version 19)*.

PO6

Development near utility services does not:

- (a) adversely affect the function of the service; or
- (b) place an additional load on the service; and
- (c) protects the infrastructure from physical damage; and
- (d) allows ongoing necessary access for maintenance purposes.

A06.1

Setbacks and loadings to relevant infrastructure are in accordance with the *Queensland Development Code MP 1.4*.

**Movement Network**

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<p>P07 Premises are provided with the following works along the full extent of the driveway frontage and to a standard that is appropriate to the function of the driveway and the character of the locality:</p> <ul style="list-style-type: none"> <li>(a) appropriate driveway treatment;</li> <li>(b) appropriate pavement edging (including kerb and channel);</li> <li>(c) safe vehicular access;</li> <li>(d) safe footpaths and bikeways;</li> <li>(e) street scaping or street tree planting;</li> <li>(f) stormwater drainage; and</li> <li>(g) street lighting systems.</li> </ul>	<p>A07.1 Design and construction of Principal Driveways and Secondary Driveways is in accordance with the Standard Driveway Drawings provided at Appendix E.</p> <p>A07.2 Design and construction of Pedestrian Walkways is in accordance with AUSTRROADS "Guide to Road Design" - Part 6.</p> <p>A07.3 On-site car parking is constructed in accordance with AS 2890.1 Part 1: Off Street Carparking.</p> <p>A07.4 Communal car parking spaces are constructed in accordance with AS 2890.1 Part 1: Off Street Carparking.</p>
<p>P08 Provision is made in the driveway reserve for street scaping, pedestrians and cyclists in a manner consistent with:</p> <ul style="list-style-type: none"> <li>(a) the current and projected level of usage;</li> <li>(b) the desired streetscape character; and</li> <li>(c) activities which are anticipated to occur within the verge.</li> </ul>	<p>A08.1 Where required by the Standard Driveway Drawings (Appendix E), pedestrian footpaths are provided within the Principal Driveway and Secondary Driveway reserves in accordance with AUSTRROADS "Guide to Road Design" - Part 6.</p>

#### Earthworks and Retaining Walls

<p>P09 Earthworks result in stable landforms and structures.</p>	<p>A09.1 Earthworks and the construction of retaining walls and batters are undertaken in accordance with AS3798 – 2007 "Guidelines on Earthworks for Commercial and Residential Development.</p>
<p>P010 Earthworks are undertaken in a manner that:</p> <ul style="list-style-type: none"> <li>(a) minimises height of retaining walls and batter faces;</li> </ul>	<p>A010.1 Earthworks and the construction of retaining walls and batters are undertaken in accordance with AS3798 – 2007 "Guidelines</p>

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- (b) does not unduly impact on the amenity or privacy for occupants of the Site or on adjoining land; and
  - (c) does not unduly impact on the amenity of the streetscape.
- on. Earthworks for Commercial and Residential Development.

## 5.0 Definitions

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1. The following terms are defined under the PAD.

### 5.1 Use Definitions

Use Term	Use Definition	Examples Include	Examples Do Not Include
TTP Office	<p><i>TTP Office</i> means the use of premises for the carrying out the general business and administrative functions:-</p> <ul style="list-style-type: none"> <li>i. of an innovative or emerging industry or business where the core activities are in fields of industry, research and development, science, agribusiness, engineering or information and technology; and</li> <li>ii. the business or activity has a nexus with other activities within the TTP Preliminary Approval Area; or</li> <li>iii. of a business or activity that has a requirement to connect and have access to technologies that are available within the TTP.</li> </ul>	Biotechnology Industry Headquarters, Agribusiness Office.	Office

## 5.1 Administrative Terms

Term	Definition
Principal Driveway Frontage	<p>The Principal Driveway Frontage is:-</p> <ul style="list-style-type: none"> <li>i. A frontage to a driveway identified as a “Principal Driveway” on the “Driveway Plan”; or</li> <li>ii. Where not identified on the Driveway Plan, where a lot has one (1) driveway frontage, that driveway frontage;</li> <li>iii. Where not identified on the Driveway Plan, where a lot has one (1) or more driveway frontages, the frontage that is most commonly addressed by other buildings in the block.</li> </ul>
Secondary Driveway Frontage	<p>The Secondary Driveway Frontage is:-</p> <ul style="list-style-type: none"> <li>i. A frontage to a driveway identified as a “Principal Driveway” on the “Driveway Plan”; or</li> <li>ii. Where not identified on the Driveway Plan, where a lot has more than one driveway frontage, a frontage that is not the Principal Driveway Frontage.</li> </ul>
Total Building Length	The maximum horizontal length of the building on the lot
Lot	A lot within the TTP Preliminary Approval Area on which Development is intended to occur, excluding a lot for common property.
Development	Means all activities defined as development under the Planning Act 2016, conducted or undertaken in connection with the TTP Preliminary Approval Area.

## Appendix A – Concept Masterplan

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Prepared by:

FKG Group



# MASTER SITE PLAN - COLOUR

1 : 3000



MASTER SITE PLAN  
1616-003 H

05/02/2018

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PERFORMANCE BEYOND EXPECTATION

## Appendix B – Structure Plan

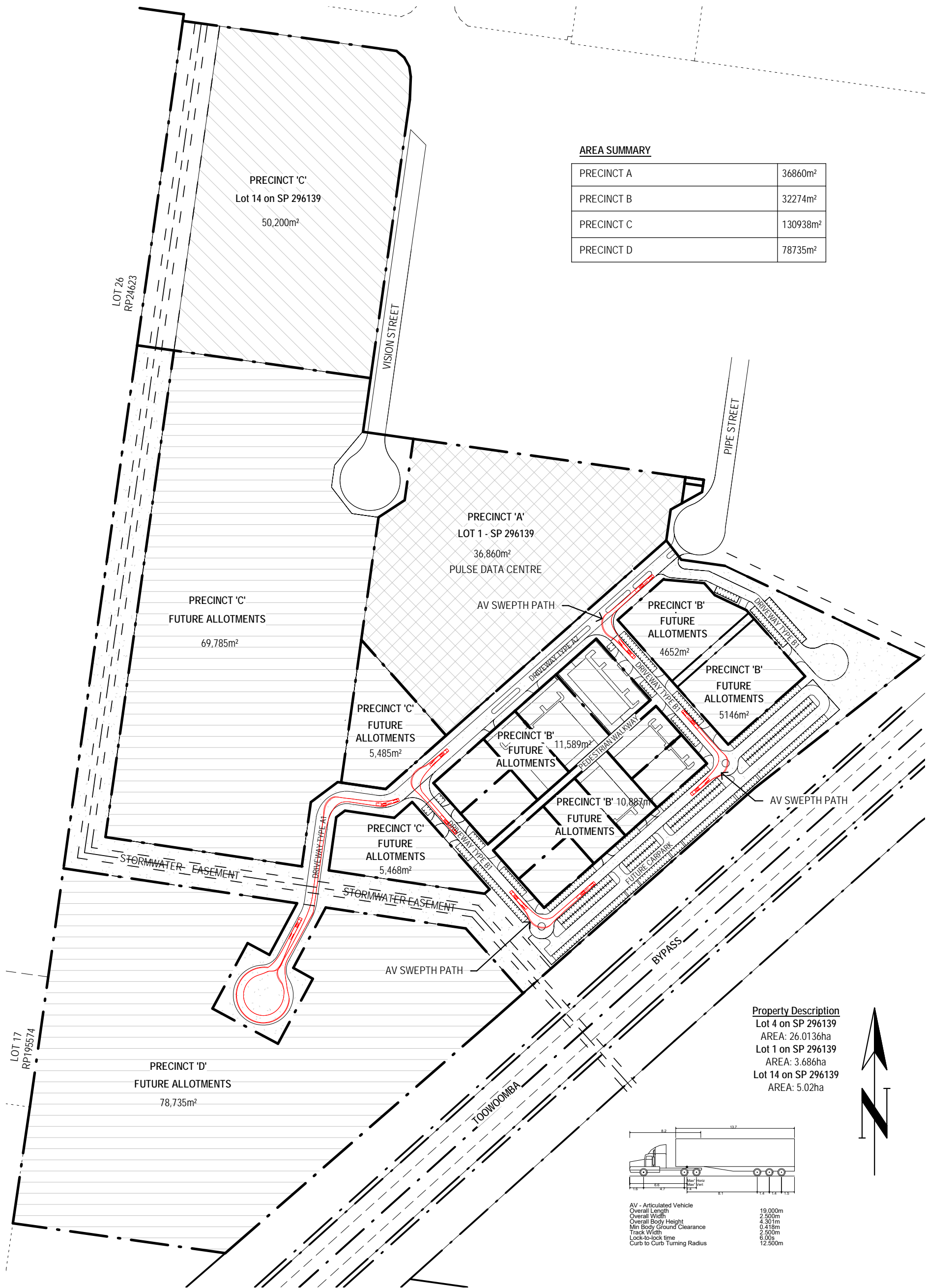
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Prepared by:

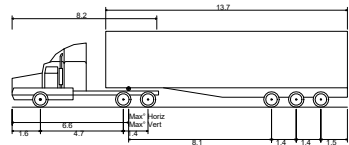
FKG Group

**AREA SUMMARY**

PRECINCT A	36860m <sup>2</sup>
PRECINCT B	32274m <sup>2</sup>
PRECINCT C	130938m <sup>2</sup>
PRECINCT D	78735m <sup>2</sup>



**Property Description**  
 Lot 4 on SP 296139  
 AREA: 26.0136ha  
 Lot 1 on SP 296139  
 AREA: 3.686ha  
 Lot 14 on SP 296139  
 AREA: 5.02ha



AV - Articulated Vehicle  
 Overall Length 19.000m  
 Overall Width 2.500m  
 Overall Body Height 4.301m  
 Min Body Ground Clearance 0.418m  
 Track Width 2.500m  
 Lock-to-lock time 6.00s  
 Curb to Curb Turning Radius 12.500m

**CONCEPT PLAN**

1 : 3000



**CONCEPT PLAN**  
 1616-002 H

08/05/2018

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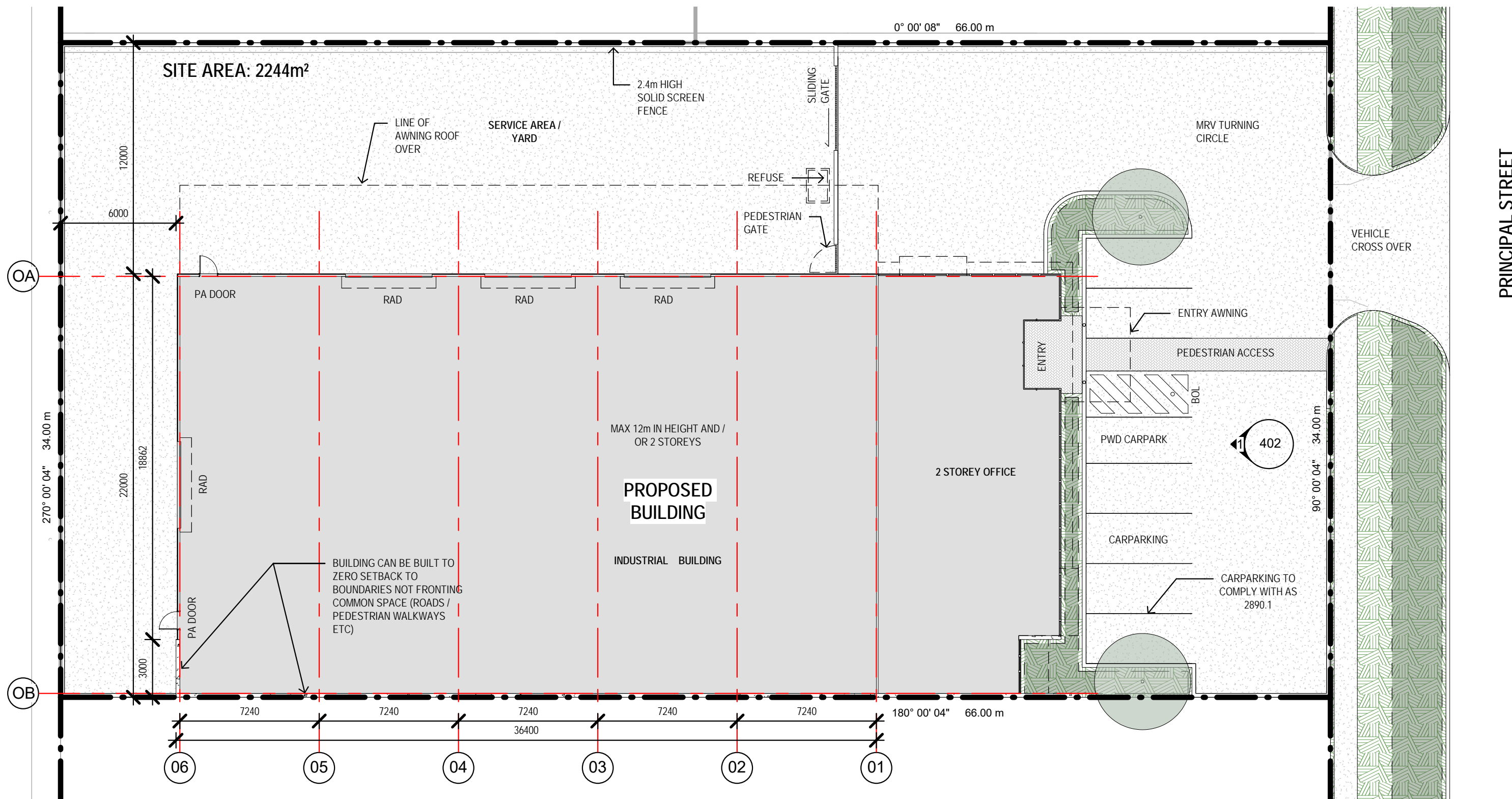
## Appendix C – Typical Building Layout Plans

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**TOWN PLANNING INFO**  
 SITE AREA: 2244m<sup>2</sup>  
 BUILDING AREA: 1188m<sup>2</sup>  
 SITE COVER: 44% (MAX 50%)  
 LANDSCAPING AREA: 56m<sup>2</sup> (2.5%)



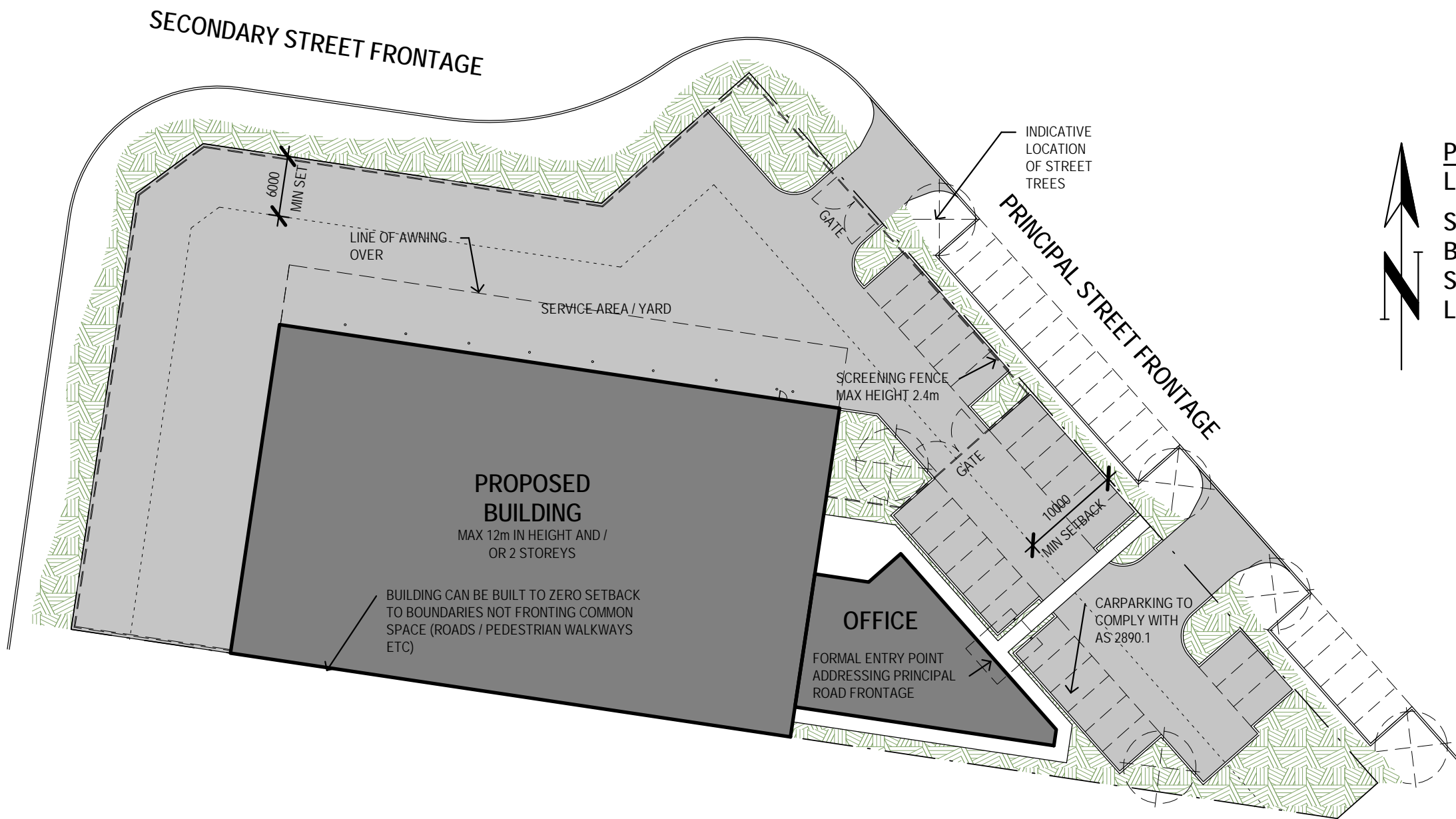
275 McDOUGALL STREET  
 PO BOX 6441  
 TOOWOOMBA QLD 4350  
 07 4620 0500  
[www.fkg.com.au](http://www.fkg.com.au)  
[design@fkg.com.au](mailto:design@fkg.com.au)

PERFORMANCE BEYOND EXPECTATION

No.	Description	Date
A	ISS FOR COMMENT	25/01/2018

**TOOWOOMBA TECH PARK -  
 PRECINCT B - TYPICAL LAYOUT**  
 PIPE STREET, WELLCAMP  
 WITMACK INDUSTRIAL  
 Pty Ltd

SITE PLAN - OPTION 2		
Status	ISS FOR DA	1641.102 A
Date	25/01/2018	Project No.
Checked	Drawn	Scale 1 : 200 @ A3



**PROPERTY DESCRIPTION**  
 Lot 4 on SP 296139  
 Site Area - 5450m<sup>2</sup>  
 Building Area - 2131m<sup>2</sup>  
 Site Coverage - 39%  
 Landscaping Area - 427m<sup>2</sup>

**Site Plan**

1 : 500

**FKG GROUP**  
 275 McDOUGALL STREET  
 PO BOX 6441  
 TOOWOOMBA QLD 4350  
 07 4620 0500  
[www.fkg.com.au](http://www.fkg.com.au)  
[design@fkg.com.au](mailto:design@fkg.com.au)  
 PERFORMANCE BEYOND EXPECTATION

No.	Description	Date
A	ISSUE FOR COMMENT	15/05/18

**TOOWOOMBA TECH PARK -  
 PRECINCT C - TYPICAL LAYOUT**  
 PIPE STREET, WELCAMP  
 WITMACK INDUSTRIAL  
 Pty Ltd

SITE PLAN		
ISSUE FOR DA	1736.001	A
Status	Date	Project No.
Checked	15/05/18	1736.001
Drawn	Scale	Issue
	1 : 500 @ A3	A

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15/05/2018 4:59:48 PM

## Appendix D – Landscaping Species List

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Botanical Name	Common Name
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Ground overs and Grasses	
<i>CAREX appressa</i>	Tall Sedge
<i>CAREX buchananii</i>	Tussock Grass
<i>CHRYSOCEPHALUM apiculataum</i>	Yellow Buttons
<i>DIANELLA caerulea</i>	Flax Lily
<i>GAHNIA aspera</i>	Razor Grass
<i>GREVELLEA Mt Tamboritha</i>	Woolly Grevilea
<i>HYMENOCALLIS littoralis</i>	Spider Lily
<i>ISOLEPSIS nodosa</i>	Knobby Club Rush
<i>LOMANDRA hystrix</i>	Mat Rush
<i>LOMANDRA glauca 'blue ridge'</i>	Mat Rush blue ridge
<i>LOMANDRA longifolia</i>	Spiny-headed Mat Rush
<i>LOMANDRA flaviatilis 'shara'</i>	Lomandra Shara
<i>LOMANDRA 'Shara'</i>	Matrush Cultivar
<i>MYOPORUM parvifolium</i>	Creeping Boobialla
<i>POA poiformis 'Kingsdale'</i>	Tussock Grass
<i>OZOTHAMUS diosmifolius</i>	Rice Flower
<i>THEMEDA triandra</i>	Kangaroo Grass
<i>THEMEDA australis 'mingo'</i>	Mingo
<i>THEMEDA triandra</i>	Kangaroo Grass

Shrubs	
<i>BACKEA virgata 'miniature'</i>	Twiggy Backea
<i>CALLISTEMON 'Great Balls of Fire'</i>	Bottlebrush
<i>CALLISTEMON 'Captain Cook'</i>	Bottlebrush

<i>CALLISTEMON 'Mary Mackillop'</i>	Bottlebrush cultivar
<i>CALLISTEMON Viminalis 'Slim'</i>	Willow Bottlebrush
<i>CALLISTEMON Viminalis</i>	Bottlebrush
<i>CASURINA 'Cousin It'</i>	Cousin It
<i>GREVILLEA 'Robyn Gordon'</i>	Grevillea cultivar.
<i>LEPTOSPERMUM 'Lavender Lights'</i>	Leptospermum cultivar
<i>LEPTOSPERMUM 'Pink Cascade'</i>	Leptospermum hybrid
<i>LEPTOSPERMUM 'Mersmer Eyes'</i>	Coastal Tea Tree
<i>MELALEUCA 'Claret Tops'</i>	Claret Tops
<i>MELALEUCA thymifolia</i>	Thyme Honey-myrtle
<i>WESTRINGIA fruticosa 'Zena'</i>	Coastal Rosemary
<i>WESTRINGEA 'Violet skies'</i>	Dwarf Rosemary

Feature	
<i>DORYANTHES palmerii</i>	Giant Spear lily
<i>XANTHORREA australis</i>	Grass Tree
<i>XANTHORRHEA glauca</i>	Grass Tree
<i>MACROZAMIA communis</i>	Cycad
<i>MACROZAMIA moorei</i>	Cycad

Trees	
<i>ARAUCARIA cunninghamii</i>	Hoop Pine
<i>ARAUCARIA bidwillii</i>	Bunya Pine
<i>BACKHOUSIA citriodora</i>	Lemon Scented Myrtle
<i>BANKSIA integrifolia</i>	Coastal Banksia
<i>CASUARINA cunninghamiana</i>	River She-Oak
<i>CASUARINA littoralis</i>	Black She-Oak

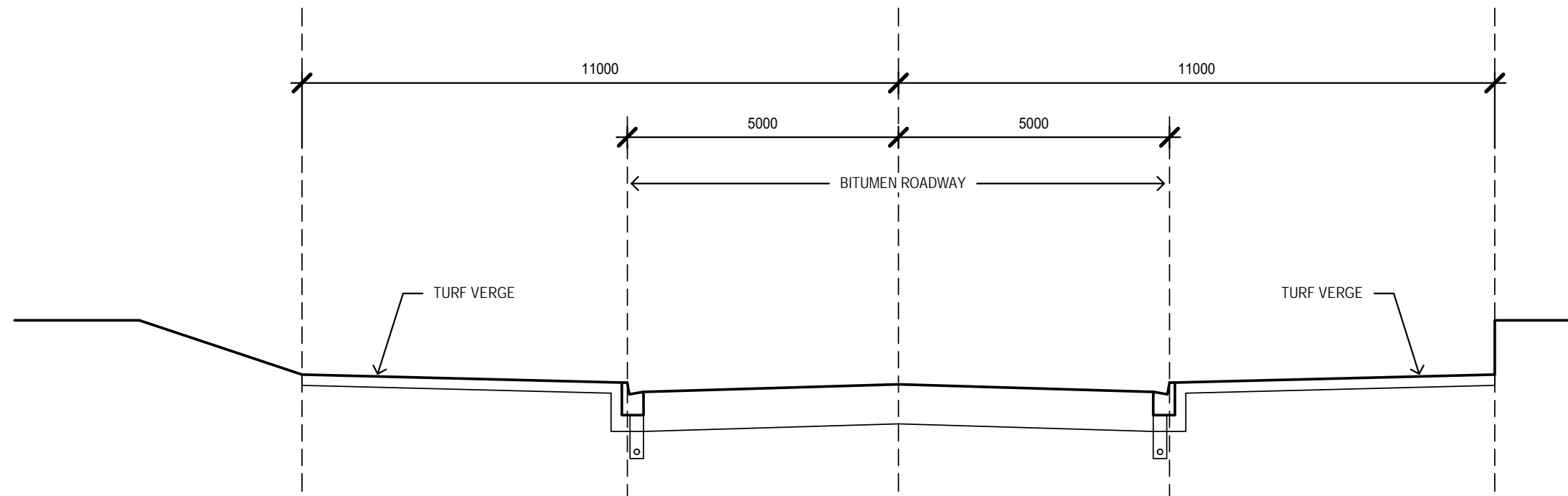
<i>CORYMIBIA citriodora</i>	Lemon Scented Gum
<i>CORYMIBIA tessellaris</i>	Moreton Bay Ash
<i>CUPANIOPSIS anacardioides</i>	Tuckeroo
<i>BRACHYCHITON acerifolium</i>	Flame Tree
<i>BRACHYCHITON australis</i>	Broad-Leaved Bottle Tree
<i>BRACHYCHITON 'Bella Donna'</i>	Brachychiton Hybrid
<i>BRACHYCHITON discolor</i>	Lacebark Tree
<i>BRACHYCHITON populneas</i>	Kurrajong
<i>BRACHYCHITON roseus 'jerilderie Red'</i>	Brachychiton cultivar
<i>BRACHYCHITON rupestre</i>	Queensland Bottle Tree
<i>EUCALYPTUS argophloia</i>	Chinchilla White Gum
<i>EUCALYPTUS crebra</i>	Narrow-Leaved Ironbark
<i>EUCALYPTUS populnea</i>	Poplar Box
<i>EUCALYPTUS siderophloia</i>	Grey Ironbark
<i>EUCALYPTUS tereticornis</i>	Forest Red Gum
<i>GEIJERA parviflora</i>	Wilga
<i>MELALUEUCA linariifolia</i>	Flax -Leaved Paper Bark
<i>TRISTANIOPSIS laurina 'Luscious'</i>	Water Gum

## Appendix E – Typical Driveway Cross Section

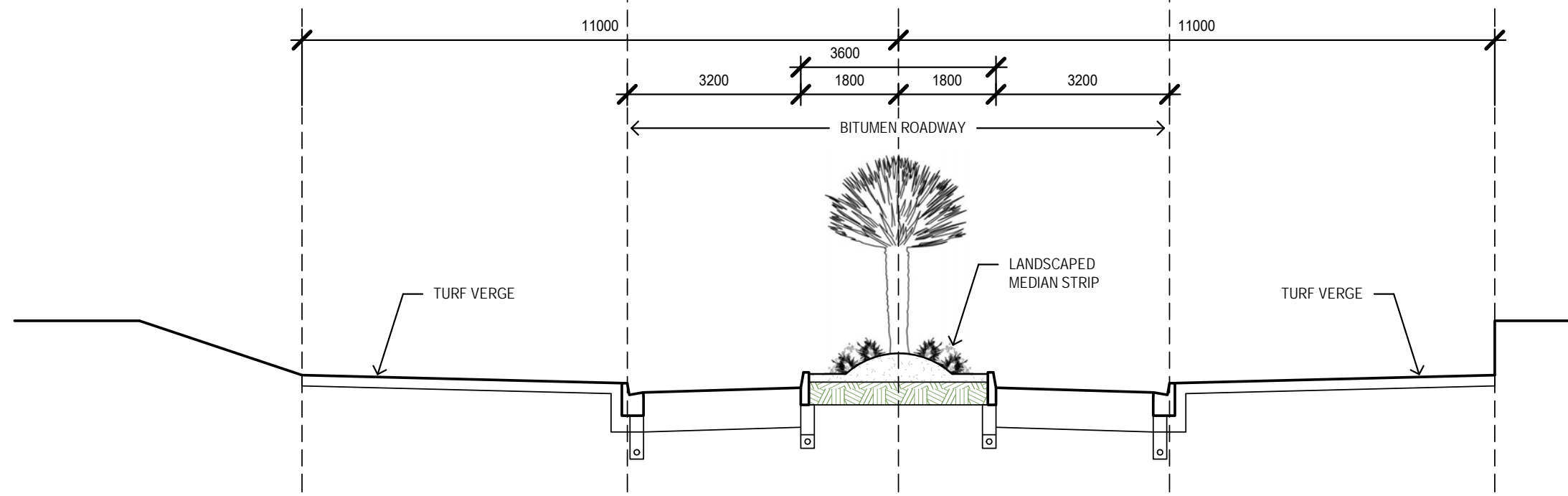
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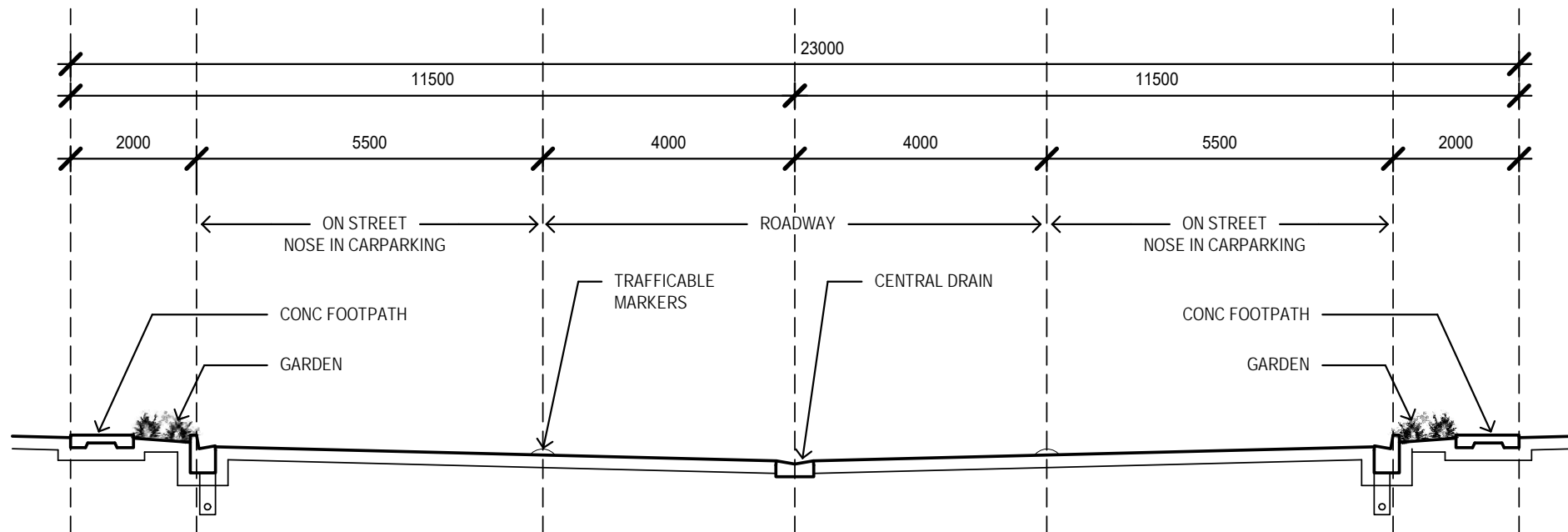
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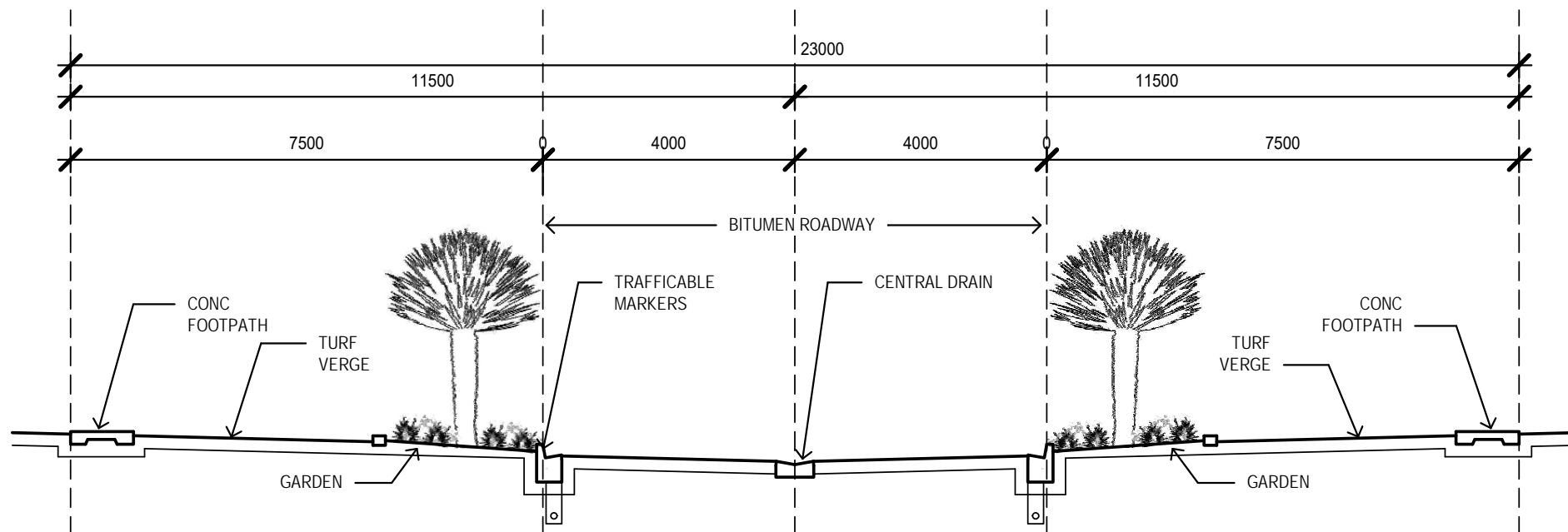
**DRIVEWAY TYPE A1**



**DRIVEWAY TYPE A2**



**DRIVEWAY TYPE B1**



**DRIVEWAY TYPE B2**