

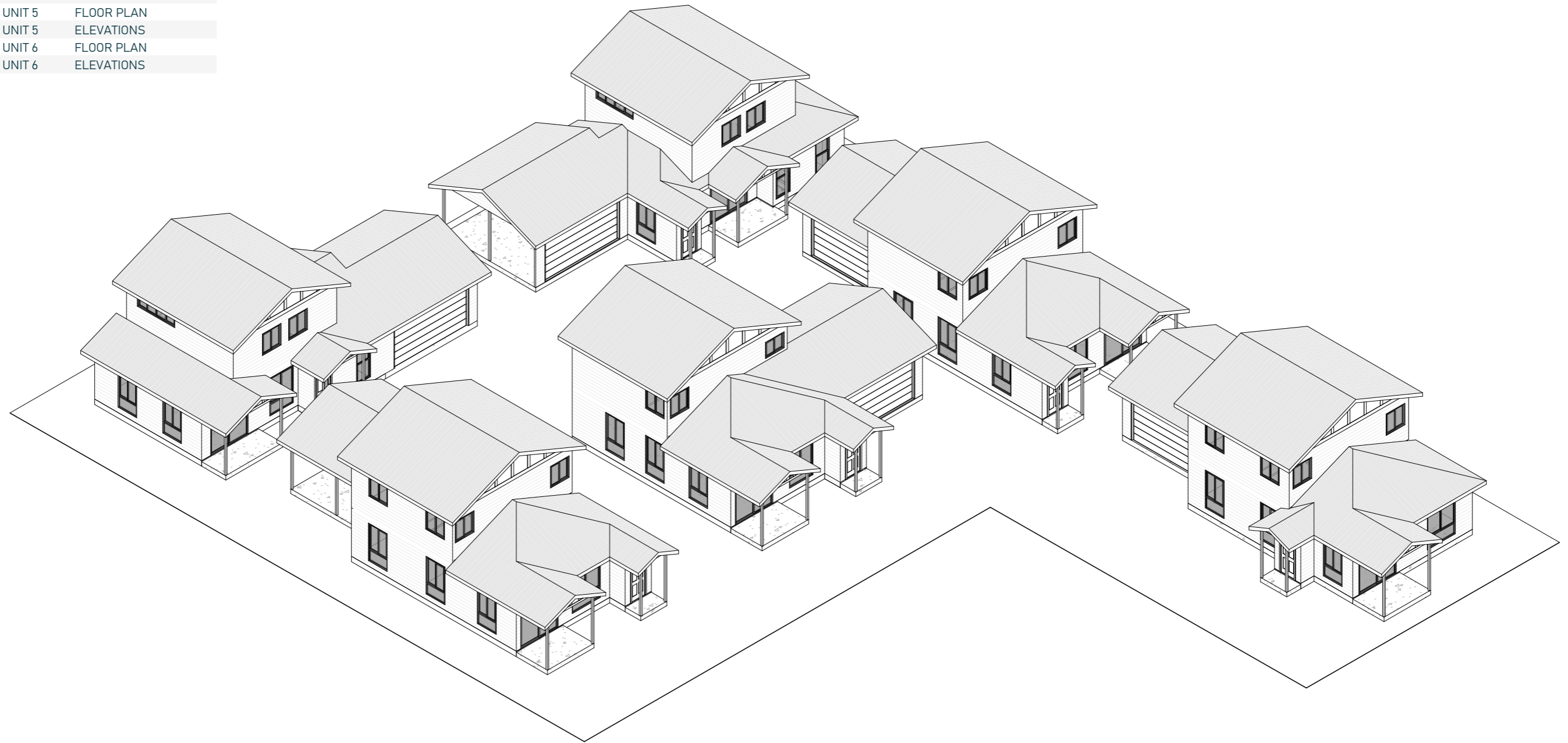
**DRAWING SET CONTENTS**

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03	PROPOSED SITE COVERAGE

2.0\_PROPOSED

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CONCEPT DESIGN

Revisions

12/06/25	2B - Floor Plans 5-6
20/06/25	3A - Elevations
12/08/25	3B - Units 1-6 pre-survey
21/10/25	4A - Final Review
13/11/25	5A - Planning Application

Project No: 250104  
Client Name: JIM GLEESON  
Project Address: 18-20 JENKINS STREET, NEWTOWN

## PROPERTY DESCRIPTION

### EXISTING LOTS

LOT ON PLAN: LOT 3 RP63099  
 ADDRESS: 20 JENKINS STREET  
 LOT AREA: 860 m<sup>2</sup>

LOT ON PLAN: LOT 2 RP78188  
 ADDRESS: 18 JENKINS STREET  
 LOT AREA: 349 m<sup>2</sup>

LOT ON PLAN: LOT 19 RP17023  
 ADDRESS: 18 JENKINS STREET  
 LOT AREA: 577 m<sup>2</sup>

**TOTAL AREA OF 3 LOTS: 1,786 m<sup>2</sup>**

### GENERAL SITE NOTES:

REAL PROPERTY INFORMATION TO BE CONFIRMED BY LICENSED SURVEYOR PRIOR TO CONSTRUCTION.

LOCATION OF BUILDING TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.

LOCATION OF ALL SERVICES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.

SITE LEVELS, DRIVEWAY DESIGN & SITE WORKS TO DETAIL BY OTHERS.

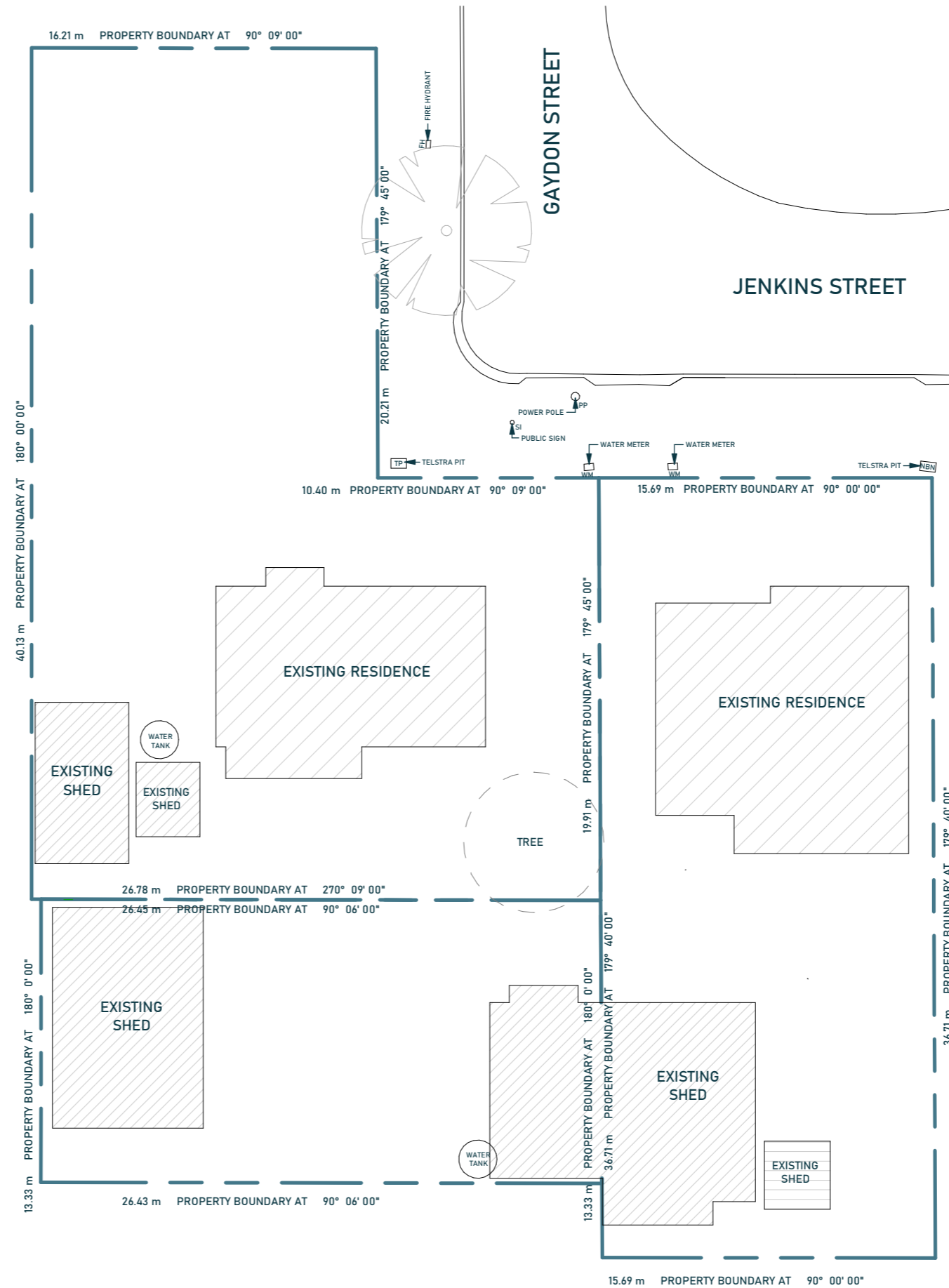
SOP DENOTES SET OUT POINTS FOR BUILDING SETOUT.

HOUSE TREATMENT PLANT TO DESIGN & DETAIL BY OTHERS.

RAINWATER TANK/S WITH A MINIMUM CAPACITY OF 5000 LITRES, TO BE PROVIDED IN ACCORDANCE WITH LOCAL GOVERNMENT PLANNING REQUIREMENTS. A MINIMUM OF 50% OF ROOF AREA TO BE COLLECTED AND DISCHARGED TO TANK. SEE DWG 12 FOR CALCULATIONS. RAINWATER TANK/S TO BE CONNECTED FOR INTERNAL AND EXTERNAL USE AS SPECIFIED IN PART MP 4.2 OF THE QUEENSLAND DEVELOPMENT CODE

DOWNPIPES CONNECTED TO RAINWATER TANKS VIA UNDERGROUND SURFACE DRAIN TO BE FITTED WITH VERMIN PROOF RAINWATER HEADS.

ROOF STORMWATER IS TO DISCHARGE TO LOCAL GOVERNMENT REQUIREMENTS AND APPROVAL. TANK/S OVERFLOW AND DOWNPIPES NOT CONNECTED TO RAINWATER TANK/S TO DISCHARGE TO NOMINATED DISCHARGE POINTS VIA BLUBBER SYSTEM.



CONCEPT DESIGN



QBCC Licence #15028233  
 ABN #29 754 793 261  
 HIA MEMBER #119 462

BUILDER AND TRADES TO CONFIRM ALL MEASUREMENTS, DETAILS AND SPECIFICATIONS PRIOR TO SET OUT AND ORDERING OF MATERIALS. REPORT ANY DISCREPANCIES TO DESIGNER. NO RESPONSIBILITY WILL BE TAKEN BY LOCKHART DRAFTING & DESIGN AFTER CONSTRUCTION HAS COMMENCED.

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## JIM GLEESON

Project No: 250104  
 Project Type: PROPOSED UNITS  
 Project Address: 18-20 JENKINS STREET, NEWTOWN

### Revisions

- 12/06/25 2B - Floor Plans 5-6
- 20/06/25 3A - Elevations
- 12/08/25 3B - Units 1-6 pre-survey
- 21/10/25 4A - Final Review
- 13/11/25 5A - Planning Application

Designer: S. SCHULZ  
 Drawn By: S. SCHULZ  
 Checked By: S. SCHULZ



Project North

Scale (@A3):  
 As indicated

**01**  
 EXISTING SITE  
 PLAN

# PROPERTY DESCRIPTION

## EXISTING LOTS

LOT ON PLAN: LOT 3 RP63099  
 ADDRESS: 20 JENKINS STREET  
 LOT AREA: 860 m<sup>2</sup>

LOT ON PLAN: LOT 2 RP78188  
 ADDRESS: 18 JENKINS STREET  
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 LOT AREA: 577 m<sup>2</sup>

**TOTAL AREA OF 3 LOTS: 1,786 m<sup>2</sup>**

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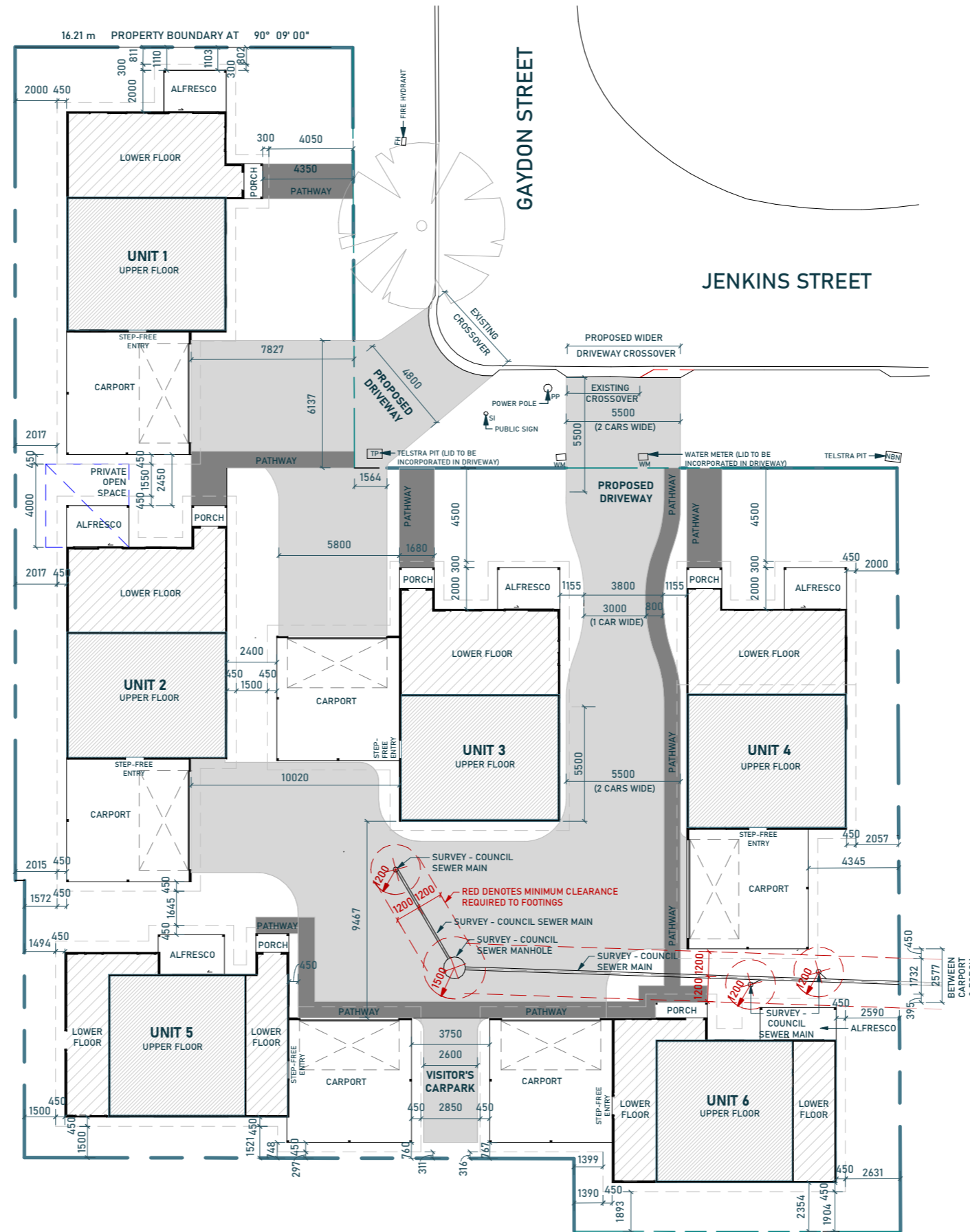
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**1 PROPOSED SITE PLAN**  
 1 : 250

CONCEPT DESIGN

## JIM GLEESON

Project No: 250104  
 Project Type: PROPOSED UNITS  
 Project Address: 18-20 JENKINS STREET, NEWTOWN

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Designer: S. SCHULZ  
 Drawn By: S. SCHULZ  
 Checked By: S. SCHULZ



Project North

Scale (@A3):  
 As indicated

# 02

## PROPOSED SITE PLAN

QBCC Licence #15028233  
 ABN #29 754 793 261  
 HIA MEMBER #119 462

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## BUILDING FOOTPRINT

(LOWER STOREY ONLY)

<b>UNIT 1</b>	
PORCH	1.5 m <sup>2</sup>
RESIDENCE	82.8 m <sup>2</sup>
ALFRESCO	6.0 m <sup>2</sup>
CARPOR	35.3 m <sup>2</sup>
<b>UNIT 1 TOTAL:</b>	<b>125.6 m<sup>2</sup></b>
<b>UNIT 2</b>	
PORCH	1.7 m <sup>2</sup>
RESIDENCE	80.3 m <sup>2</sup>
ALFRESCO	6.0 m <sup>2</sup>
CARPOR	35.3 m <sup>2</sup>
<b>UNIT 2 TOTAL:</b>	<b>123.3 m<sup>2</sup></b>
<b>UNIT 3</b>	
PORCH	1.7 m <sup>2</sup>
RESIDENCE	80.3 m <sup>2</sup>
ALFRESCO	6.0 m <sup>2</sup>
CARPOR	35.3 m <sup>2</sup>
<b>UNIT 3 TOTAL:</b>	<b>123.3 m<sup>2</sup></b>
<b>UNIT 4</b>	
PORCH	1.7 m <sup>2</sup>
RESIDENCE	83.0 m <sup>2</sup>
ALFRESCO	6.0 m <sup>2</sup>
CARPOR	33.6 m <sup>2</sup>
<b>UNIT 4 TOTAL:</b>	<b>124.3 m<sup>2</sup></b>
<b>UNIT 5</b>	
PORCH	1.4 m <sup>2</sup>
RESIDENCE	80.5 m <sup>2</sup>
ALFRESCO	6.0 m <sup>2</sup>
CARPOR	35.5 m <sup>2</sup>
<b>UNIT 5 TOTAL:</b>	<b>123.4 m<sup>2</sup></b>
<b>UNIT 6</b>	
PORCH	1.9 m <sup>2</sup>
RESIDENCE	78.8 m <sup>2</sup>
ALFRESCO	5.7 m <sup>2</sup>
CARPOR	35.3 m <sup>2</sup>
<b>UNIT 6 TOTAL:</b>	<b>121.7 m<sup>2</sup></b>
<b>TOTAL BUILDING F.P.:</b>	<b>741.6 m<sup>2</sup></b>

**TOTAL BUILDING FOOTPRINT: 41.5 %**

## TOTAL SEALED AREAS

(DRIVEWAYS, PATHS WITHIN BOUNDARIES)

**TOTAL SEALED AREAS: 421.8 m<sup>2</sup>**

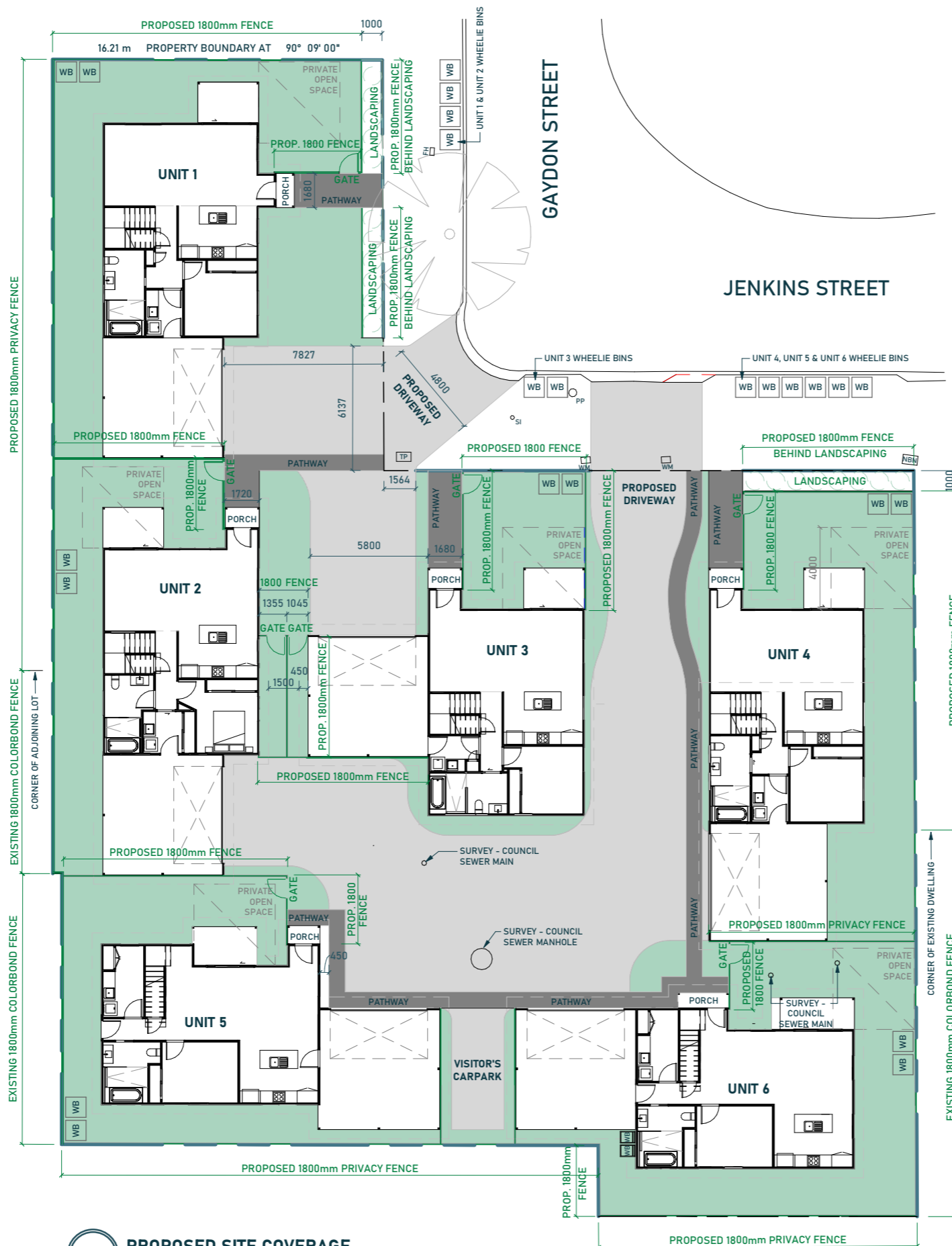
**TOTAL SEALED AREAS: 23.6 %**

## TOTAL IMPERVIOUS AREAS

TOTAL BUILDINGS: 741.6 m<sup>2</sup>  
TOTAL DRIVEWAYS/PATHS: 421.8 m<sup>2</sup>

**TOTAL IMPERVIOUS AREA: 1,163.4 m<sup>2</sup>**

**TOTAL IMPERVIOUS AREAS: 65.1 %**



**1 PROPOSED SITE COVERAGE**  
1 : 250

## LEGEND

- PROPOSED DRIVEWAYS MATERIAL 1: EXPOSED AGGREGATE
- PROPOSED WALKING PATH. MATERIAL 2
- GRASSED AREAS
- 1800mm HIGH FENCING
- WHEELIE BIN STORAGE
- DENOTES FRONT SETBACK \*

PRINT IN COLOUR FOR CLEAR INTERPRETATION OF PLAN

## LANDSCAPING (TOTAL)

(ALL PERMEABLE AREAS)

UNIT 1 - ALL LANDSCAPING	142.8 m <sup>2</sup>
UNIT 2 - ALL LANDSCAPING	99.3 m <sup>2</sup>
UNIT 3 - ALL LANDSCAPING	66.4 m <sup>2</sup>
UNIT 4 - ALL LANDSCAPING	112.2 m <sup>2</sup>
UNIT 5 - ALL LANDSCAPING	93.1 m <sup>2</sup>
UNIT 6 - ALL LANDSCAPING	111.7 m <sup>2</sup>

**LANDSCAPING TOTAL AREA: 625.5 m<sup>2</sup>**

**TOTAL LANDSCAPING: 35.0%**

## LANDSCAPING (FRONT SETBACK\* ONLY)

(PERMEABLE AREAS IN FRONT SETBACK\*)

UNIT 1 - FRONT SETBACK	76.5 m <sup>2</sup>
UNIT 2 - FRONT SETBACK	19.9 m <sup>2</sup>
UNIT 3 - FRONT SETBACK	44.5 m <sup>2</sup>
UNIT 4 - FRONT SETBACK	55.8 m <sup>2</sup>

**LANDSCAPING - FRONT SETBACK ONLY: 196.7 m<sup>2</sup>**

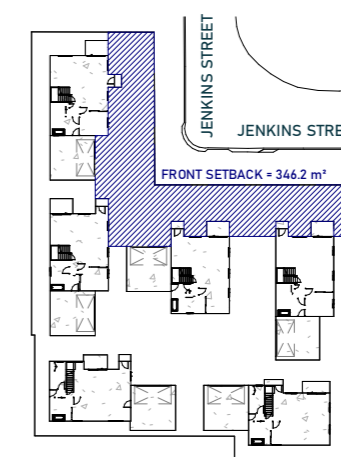
**LANDSCAPING: 56.8 % OF FRONT SETBACK\***

## SEALED AREAS (FRONT SETBACK\* ONLY)

(EXCLUDING ALFRESCO & PORCHES)

**SEALED AREAS - FRONT SETBACK ONLY: 149.6 m<sup>2</sup>**

**SEALED AREAS: 43.2 % OF FRONT SETBACK\***



**2 \* FRONT SETBACK AREA**  
1 : 1000

CONCEPT DESIGN

## JIM GLEESON

Project No: 250104  
Project Type: PROPOSED UNITS  
Project Address: 18-20 JENKINS STREET, NEWTOWN

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Designer: S. SCHULZ  
Drawn By: S. SCHULZ  
Checked By: S. SCHULZ



Project North

Scale (@A3):  
As indicated

**03**  
PROPOSED SITE  
COVERAGE



QBCC Licence #15028233  
ABN #29 754 793 261  
HIA MEMBER #119 402

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**GENERAL FLOOR PLAN NOTES:**

FLOOR PLAN DIMENSIONS DO NOT INCLUDE INTERNAL WALL SHEETING UNLESS NOTED OTHERWISE.

ALL PLANT, AIR CONDITIONING EQUIPMENT MUST BE CONTAINED WITHIN THE BUILDING OR VISUALLY SCREENED TO ALL STREET FRONTAGES, PUBLIC VIEWING LOCATIONS AND ADJOINING PREMISES.

WALL CLADDING MATERIALS, FIXINGS & FLASHING DETAILS REFER TO NCC 2022 VOLUME TWO PART 7.5 TIMBER AND COMPOSITE WALL CLADDING.

GLAZING SIZES, SAFETY & VISIBILITY REFER TO NCC 2022 VOLUME TWO PART 8.3 GLASS. ALL GLAZING TO BE INSTALLED IN ACCORDANCE WITH CLAUSE 8.3.2 OF NCC 2022.

ALL WET AREAS & EXTERNAL WATERPROOFING TO BE WATERPROOFED IN ACCORDANCE WITH NCC 2022 VOLUME TWO PART 10.2 WET AREA WATERPROOFING.

ALL DIMENSIONS AND DESIGN INFORMATION TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORK.

ALL PLUMBING FIXTURES AND INSTALLATIONS INCLUDING PRESSURE LIMITING DEVICES, HOT WATER SYSTEMS AND DUAL FLUSH TOILET SUITES TO BE WELS RATED IN ACCORDANCE WITH AS/NZ 6400 - 2005 & AS 3500.

BATH AND SHOWERS TO COMPLY WITH NCC 2022.

**UNIT 1 BUILDING AREAS**

<b>LOWER FLOOR</b>	
RESIDENCE:	82.8 m <sup>2</sup>
PORCH:	1.5 m <sup>2</sup>
ALFRESCO:	6.0 m <sup>2</sup>
CARPORT:	35.3 m <sup>2</sup>
<b>UPPER FLOOR</b>	
RESIDENCE:	49.9 m <sup>2</sup>
<b>TOTAL AREA:</b>	<b>175.5 m<sup>2</sup></b>

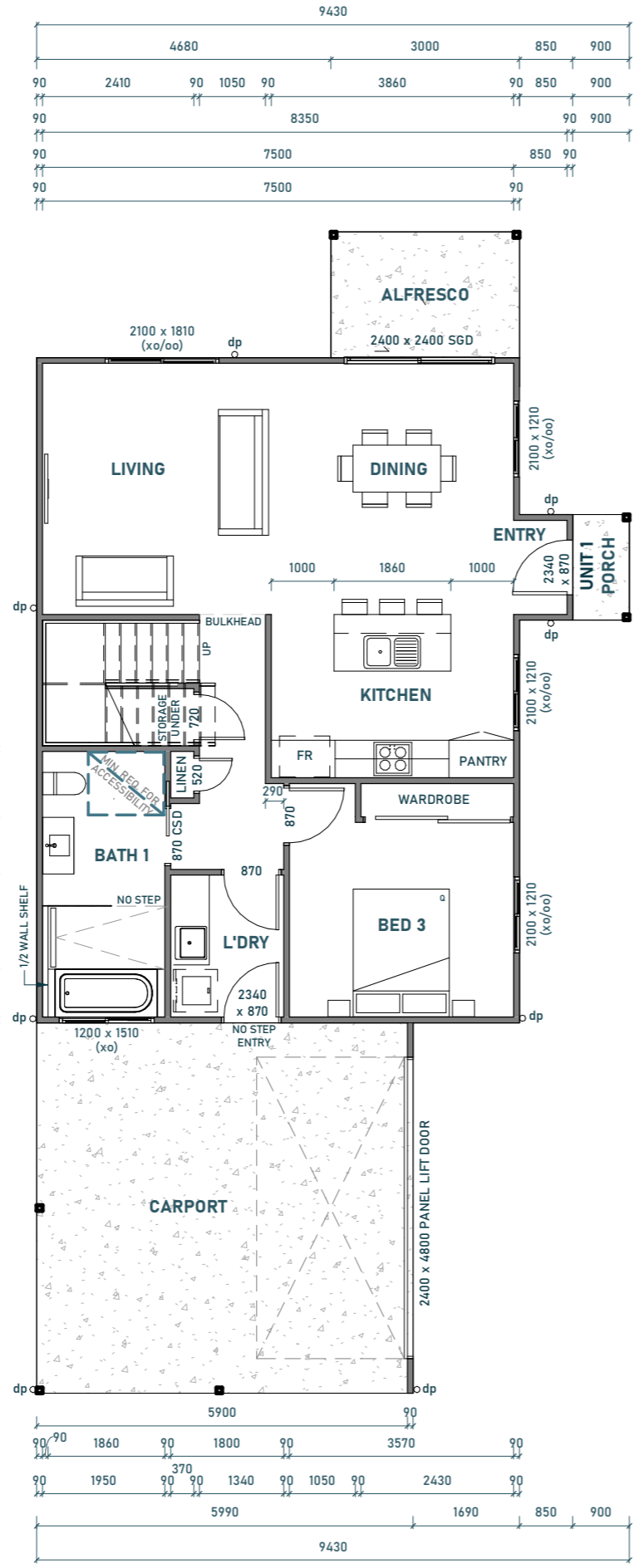
**BUILDING INFORMATION**

LOWER CEILING HT: 2700mm  
 LOWER WINDOW HEIGHT: 2400mm  
 LOWER ROOF PITCH: 22.5°  
 LOWER SOFFIT WIDTH: 450mm & 300mm

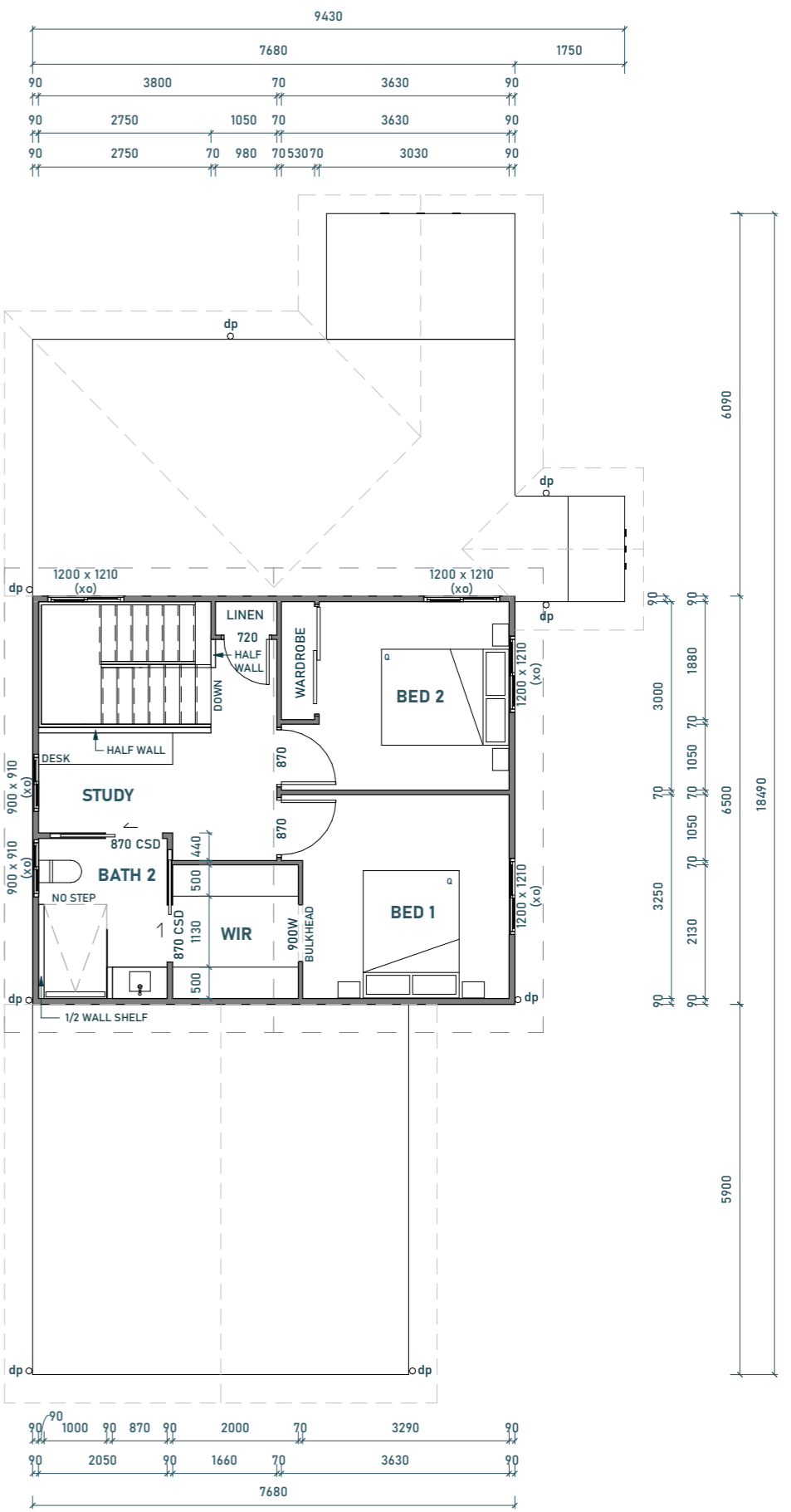
UPPER CEILING HT: 2550mm  
 UPPER WINDOW HEIGHT: 2100mm  
 UPPER ROOF PITCH: 22.5°  
 UPPER SOFFIT WIDTH: 450mm

**LEGEND**

- DENOTES LOCATION OF SMOKE ALARM TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 PART 9.5, AND THE AS3786-2014 BUILDING REGULATION.
- INDICATES 3 in 1 BATHROOM HEATER/LIGHT/FAN
- INDICATES EXHAUST FAN
- INDICATES LOCATION OF DOWNPIPES. TO BE CONFIRMED ON SITE. SEE ROOF DRAINAGE PLAN FOR ROOF DRAINAGE CALCULATIONS
- INDICATES POSSIBLE LOCATION OF EXTERNAL TAP. CONFIRM LOCATION ON SITE
- INDICATES LOCATION OF CEILING FAN BY OTHERS - Min 1200mm BLADE WIDTH
- INDICATES SUGGESTED LOCATION OF HOT WATER STORAGE TANK. CONFIRM ON SITE
- INDICATES HALF / NIB WALLS
- INDICATES FULL HEIGHT WALLS



**1 Unit 1 - Lower Floor**  
1 : 100



**2 Unit 1 - Upper Floor**  
1 : 100

CONCEPT DESIGN



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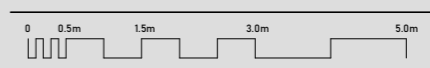
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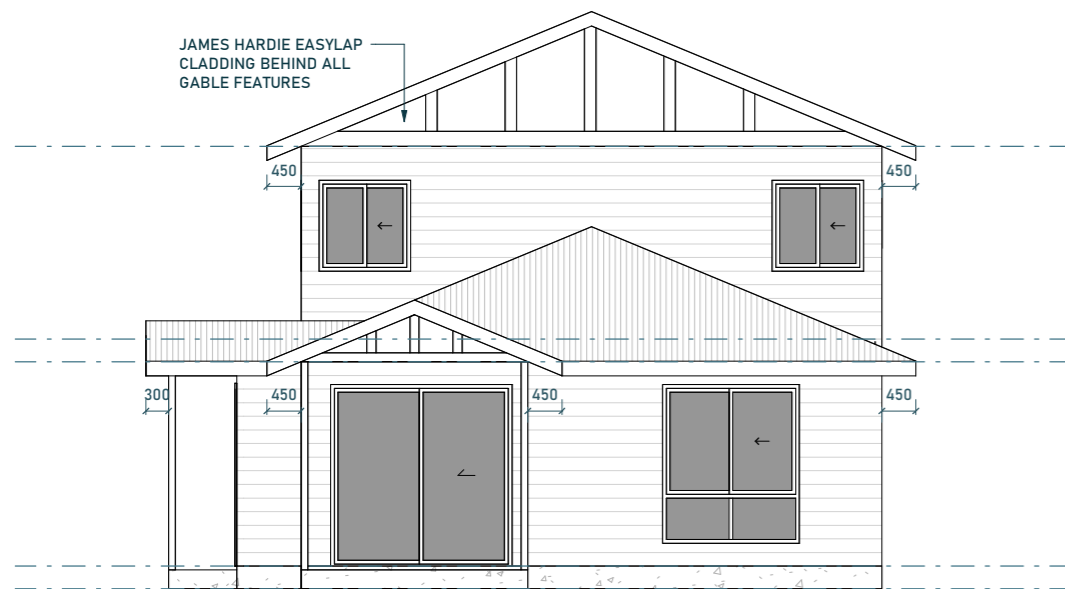
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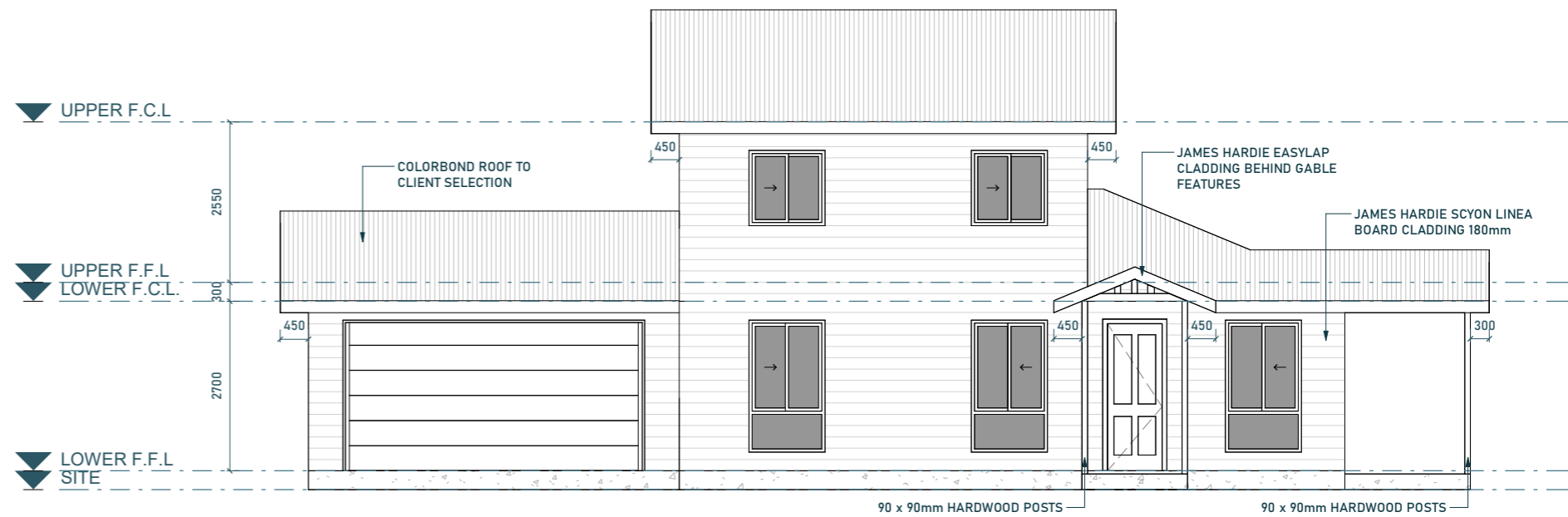


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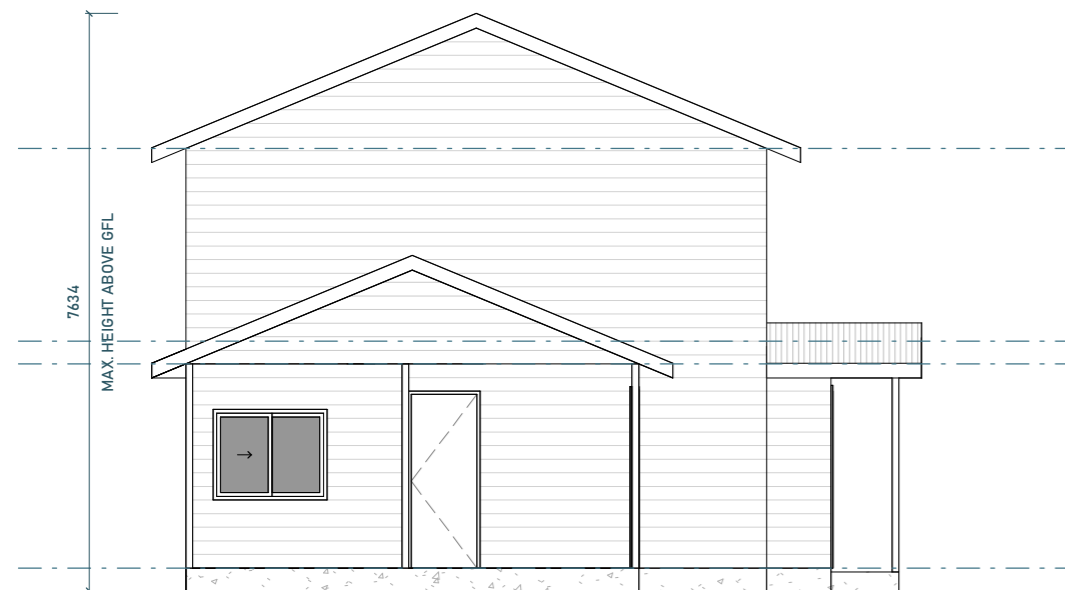
**04**  
UNIT 1  
FLOOR PLAN



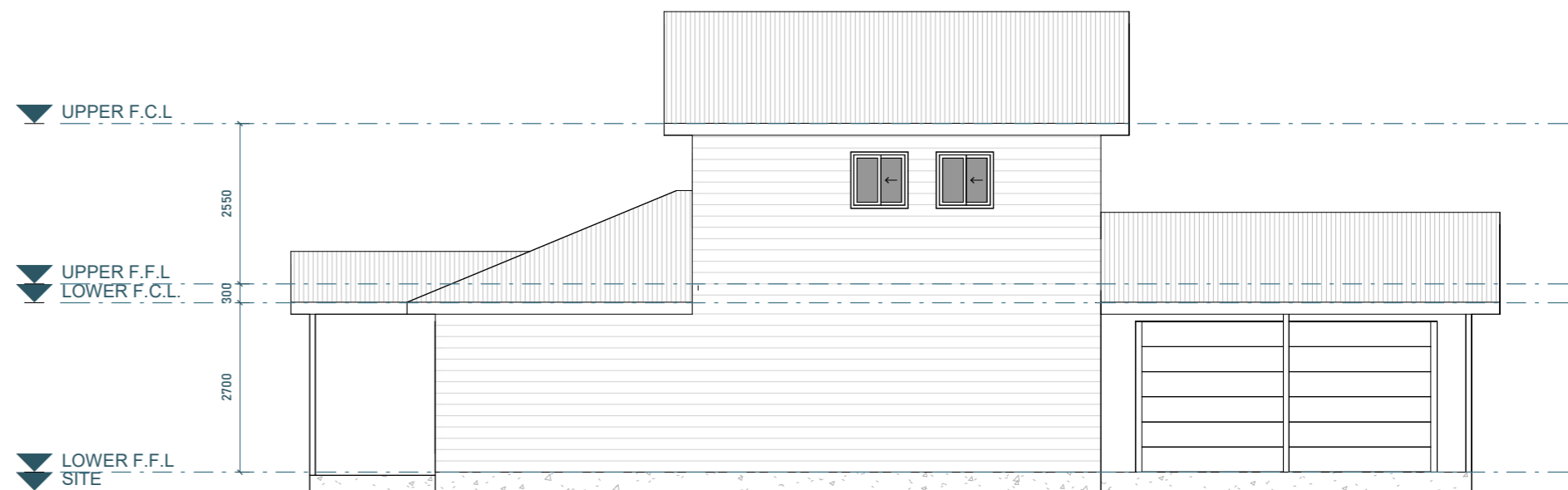
**1 UNIT 1 - NORTHERN ELEVATION**  
1 : 100



**2 UNIT 1 - EASTERN ELEVATION**  
1 : 100



**3 UNIT 1 - SOUTHERN ELEVATION**  
1 : 100



**4 UNIT 1 - WESTERN ELEVATION**  
1 : 100

CONCEPT DESIGN



QBCC Licence #15028233  
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Designer: S. SCHULZ  
Drawn By: S. SCHULZ  
Checked By: S. SCHULZ



**05**  
UNIT 1  
ELEVATIONS

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BATH AND SHOWERS TO COMPLY WITH NCC 2022.

**UNIT 2 BUILDING AREAS**

**LOWER FLOOR**  
 RESIDENCE: 80.3 m<sup>2</sup>  
 PORCH: 1.7 m<sup>2</sup>  
 ALFRESCO: 6.0 m<sup>2</sup>  
 CARPORT: 35.3 m<sup>2</sup>

**UPPER FLOOR**  
 RESIDENCE: 47.1 m<sup>2</sup>  
**TOTAL AREA: 170.4 m<sup>2</sup>**

**BUILDING INFORMATION**

LOWER CEILING HT: 2700mm  
 LOWER WINDOW HEIGHT: 2400mm  
 LOWER ROOF PITCH: 22.5°  
 LOWER SOFFIT WIDTH: 450mm & 300mm

UPPER CEILING HT: 2550mm  
 UPPER WINDOW HEIGHT: 2100mm  
 UPPER ROOF PITCH: 22.5°  
 UPPER SOFFIT WIDTH: 450mm

**LEGEND**

SA DENOTES LOCATION OF SMOKE ALARM TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 PART 9.5, AND THE AS3786-2014 BUILDING REGULATION.

H/L/F INDICATES 3 in 1 BATHROOM HEATER/LIGHT/FAN

EX INDICATES EXHAUST FAN

dp INDICATES LOCATION OF DOWNPIPES. TO BE CONFIRMED ON SITE. SEE ROOF DRAINAGE PLAN FOR ROOF DRAINAGE CALCULATIONS

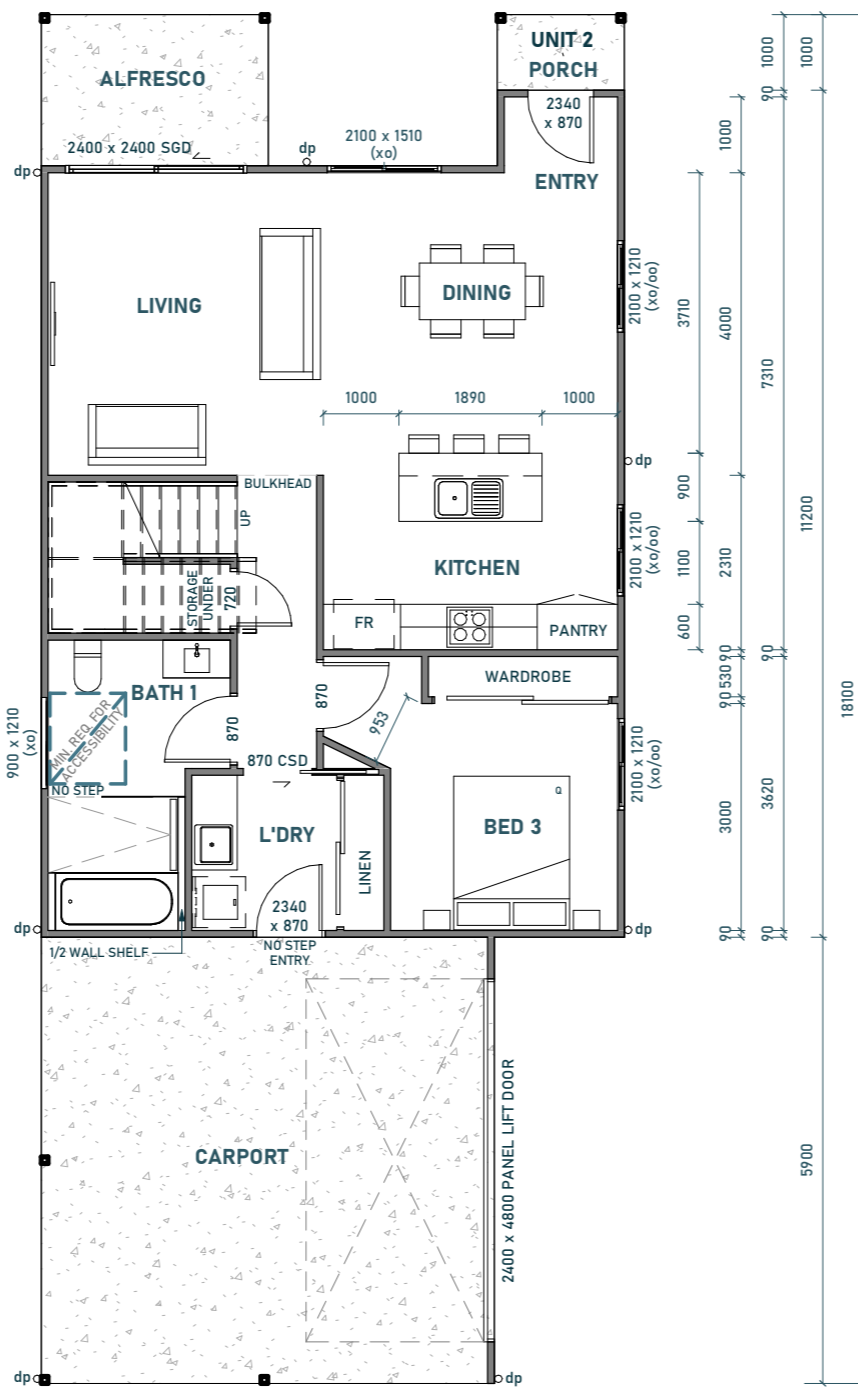
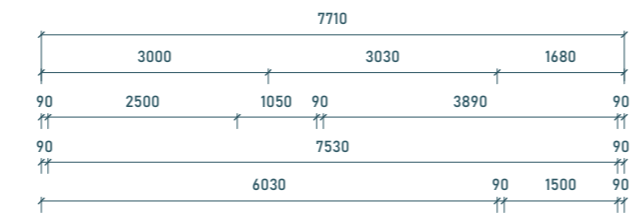
tap INDICATES POSSIBLE LOCATION OF EXTERNAL TAP. CONFIRM LOCATION ON SITE

C/F INDICATES LOCATION OF CEILING FAN BY OTHERS - Min 1200mm BLADE WIDTH

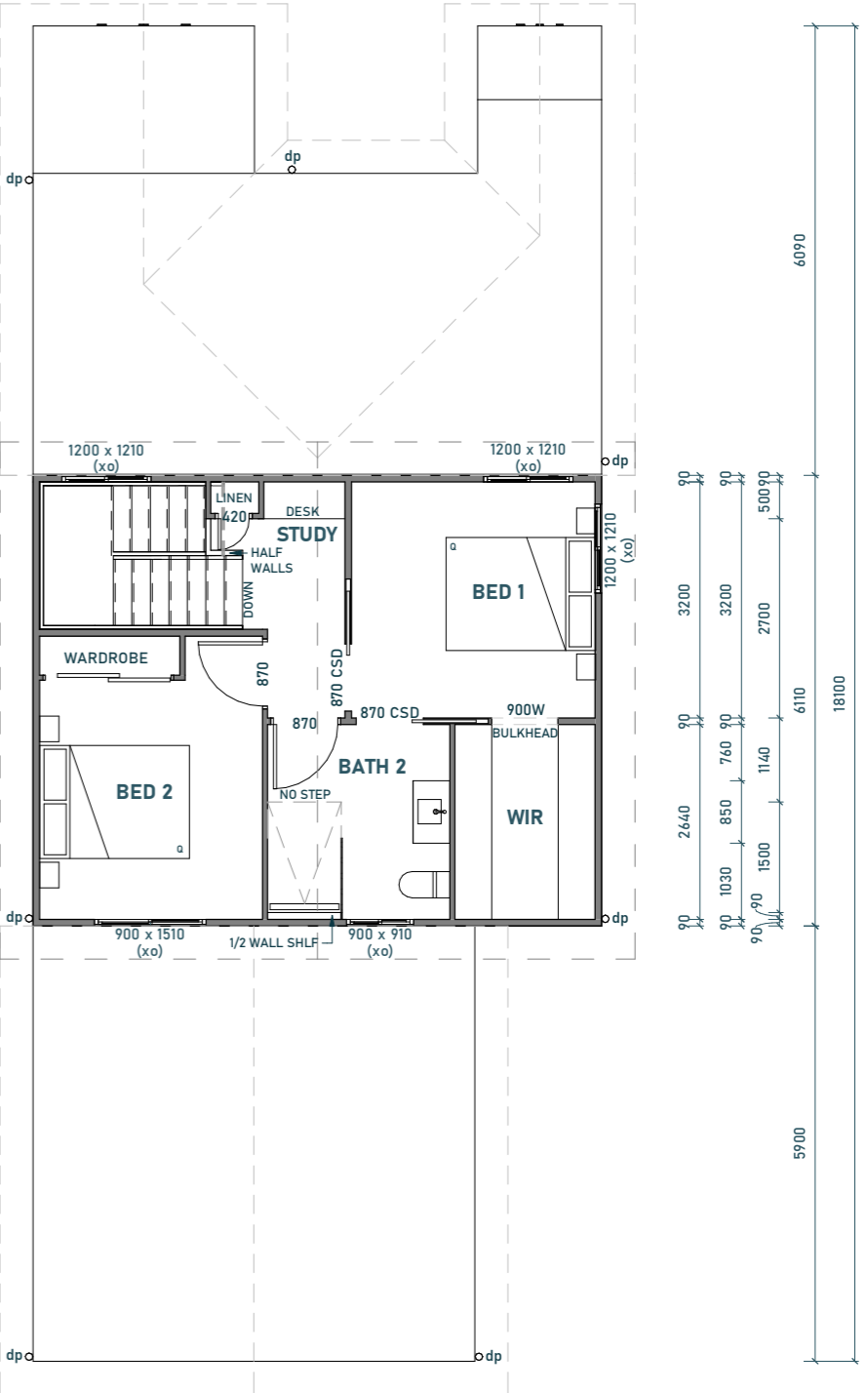
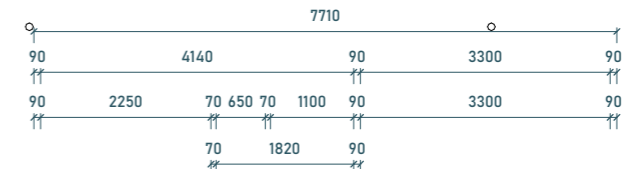
HWS INDICATES SUGGESTED LOCATION OF HOT WATER STORAGE TANK. CONFIRM ON SITE

— INDICATES HALF / NIB WALLS

— INDICATES FULL HEIGHT WALLS



**1 Unit 2 - Lower Floor**  
1 : 100



**2 Unit 2 - Upper Floor**  
1 : 100



BUILDER AND TRADES TO CONFIRM ALL MEASUREMENTS, DETAILS AND SPECIFICATIONS PRIOR TO SET OUT AND ORDERING OF MATERIALS. REPORT ANY DISCREPANCIES TO DESIGNER. NO RESPONSIBILITY WILL BE TAKEN BY LOCKHART DRAFTING & DESIGN AFTER CONSTRUCTION HAS COMMENCED.

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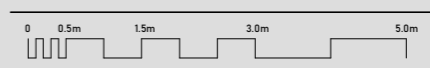
DRAWINGS ARE PROPERTY OF LOCKHART DRAFTING & DESIGN & ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT.

**JIM GLEESON**

Project No: 250104  
 Project Type: PROPOSED UNITS  
 Project Address: 18-20 JENKINS STREET, NEWTOWN

- Revisions**
- 12/06/25 2B - Floor Plans 5-6
  - 20/06/25 3A - Elevations
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  - 13/11/25 5A - Planning Application

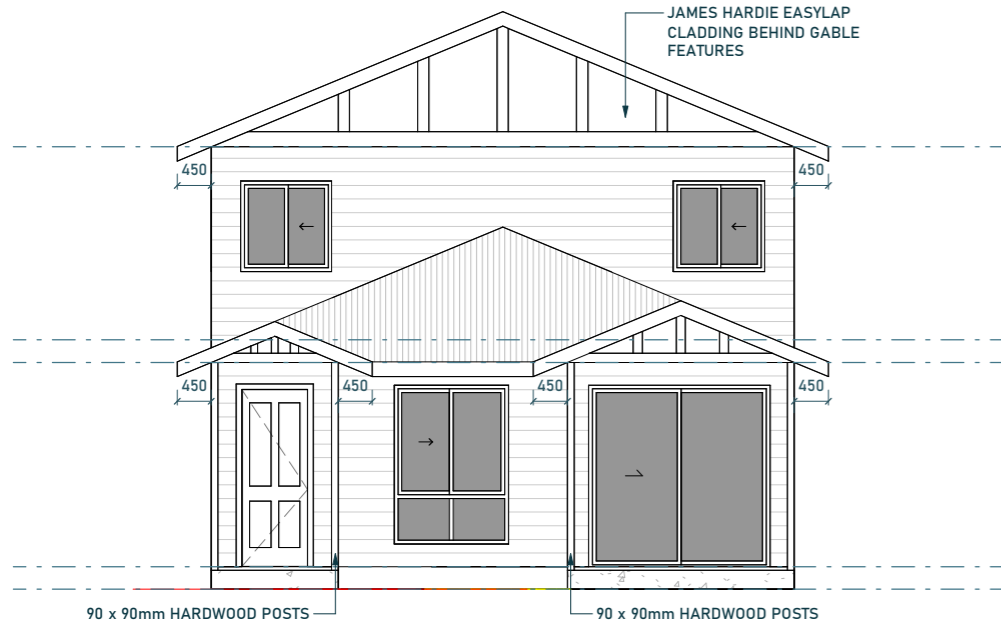
Designer: S. SCHULZ  
 Drawn By: S. SCHULZ  
 Checked By: S. SCHULZ



Scale (@A3): 1 : 100

CONCEPT DESIGN

**06**  
 UNIT 2  
 FLOOR PLAN

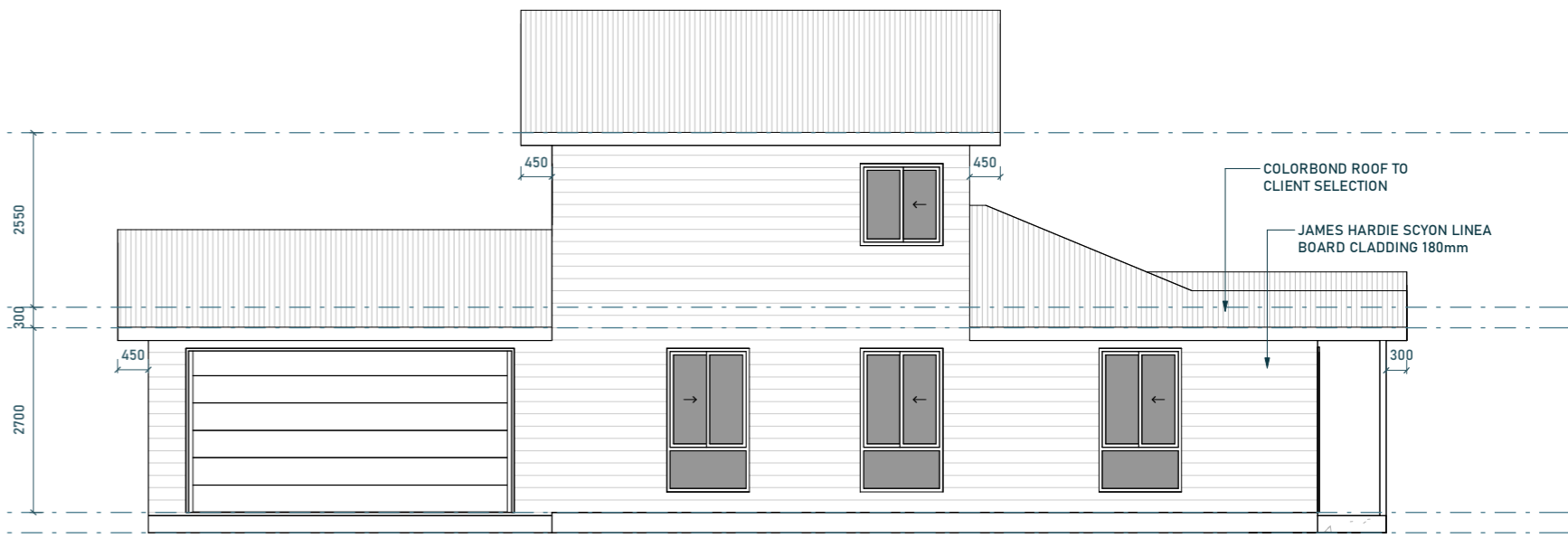


**1 UNIT 2 - NORTHERN ELEVATION**  
1 : 100

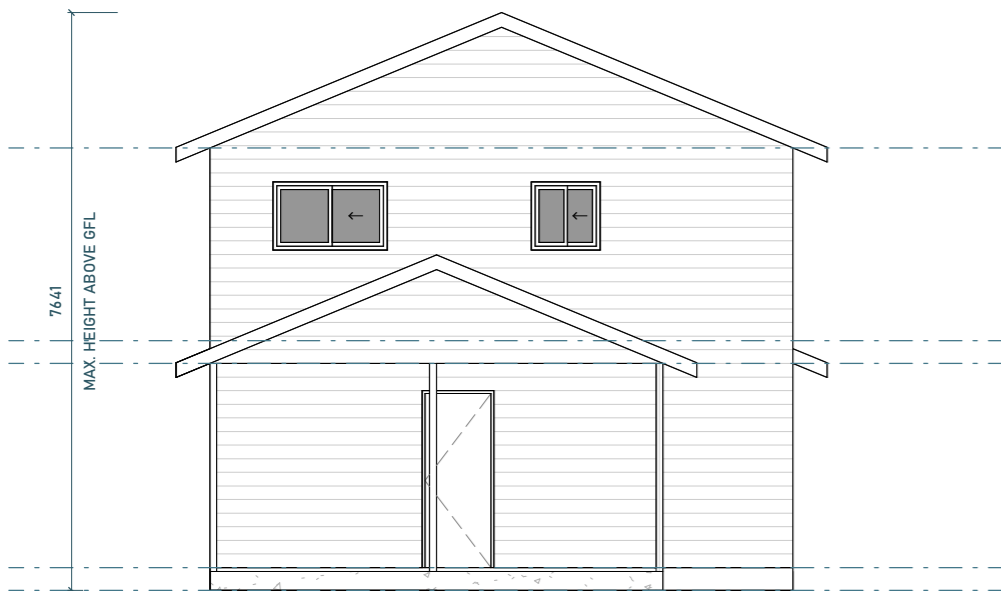
UPPER F.C.L

UPPER F.F.L  
LOWER F.C.L

LOWER F.F.L  
SITE



**2 UNIT 2 - EASTERN ELEVATION**  
1 : 100

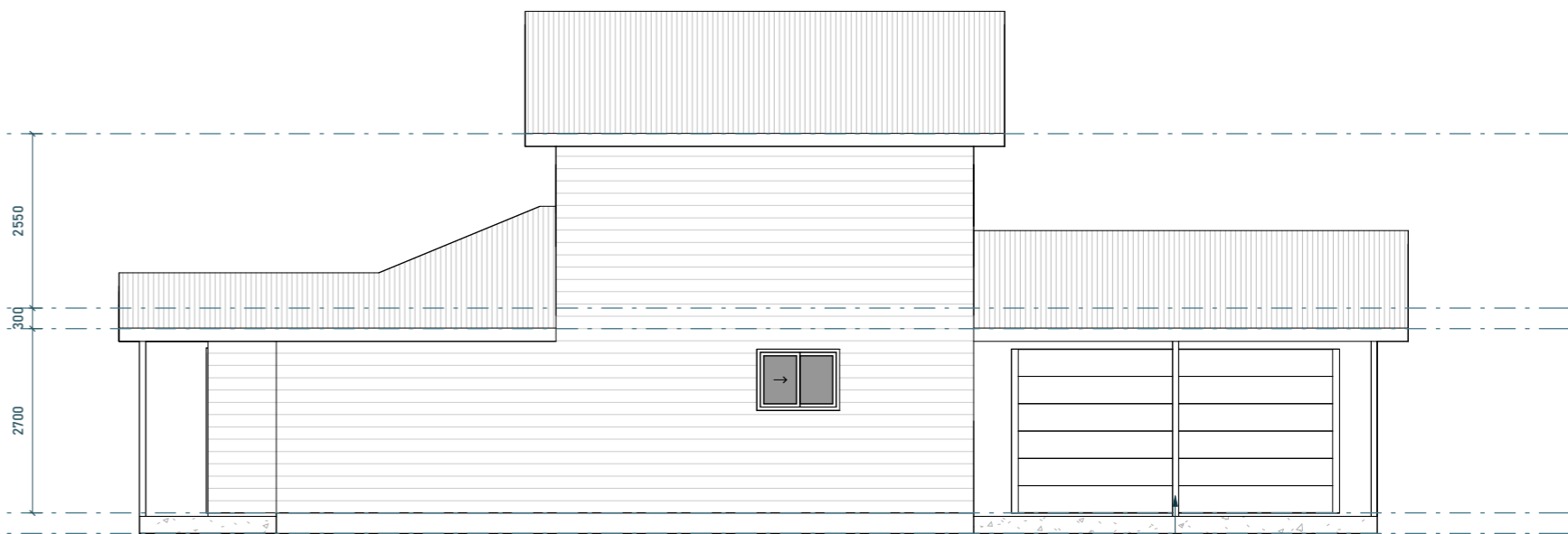


**3 UNIT 2 - SOUTHERN ELEVATION**  
1 : 100

UPPER F.C.L

UPPER F.F.L  
LOWER F.C.L

LOWER F.F.L  
SITE



**4 UNIT 2 - WESTERN ELEVATION**  
1 : 100

CONCEPT DESIGN



QBCC Licence #15028233  
ABN #29 754 793 261  
HIA MEMBER #119 482

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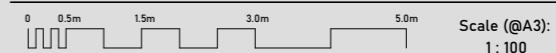
**JIM GLEESON**

Project No: 250104  
Project Type: PROPOSED UNITS  
Project Address: 18-20 JENKINS STREET, NEWTOWN

**Revisions**

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- 21/10/25 4A - Final Review
- 13/11/25 5A - Planning Application

Designer: S. SCHULZ  
Drawn By: S. SCHULZ  
Checked By: S. SCHULZ



**07**  
UNIT 2  
ELEVATIONS

**GENERAL FLOOR PLAN NOTES:**

FLOOR PLAN DIMENSIONS DO NOT INCLUDE INTERNAL WALL SHEETING UNLESS NOTED OTHERWISE.

ALL PLANT, AIR CONDITIONING EQUIPMENT MUST BE CONTAINED WITHIN THE BUILDING OR VISUALLY SCREENED TO ALL STREET FRONTAGES, PUBLIC VIEWING LOCATIONS AND ADJOINING PREMISES.

WALL CLADDING MATERIALS, FIXINGS & FLASHING DETAILS REFER TO NCC 2022 VOLUME TWO PART 7.5 TIMBER AND COMPOSITE WALL CLADDING.

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ALL WET AREAS & EXTERNAL WATERPROOFING TO BE WATERPROOFED IN ACCORDANCE WITH NCC 2022 VOLUME TWO PART 10.2 WET AREA WATERPROOFING.

ALL DIMENSIONS AND DESIGN INFORMATION TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORK.

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BATH AND SHOWERS TO COMPLY WITH NCC 2022.

UNIT 3 BUILDING AREAS	
<b>LOWER FLOOR</b>	
RESIDENCE:	80.3 m <sup>2</sup>
PORCH:	1.7 m <sup>2</sup>
ALFRESCO:	6.0 m <sup>2</sup>
CARPOR:	35.3 m <sup>2</sup>
<b>UPPER FLOOR</b>	
RESIDENCE:	47.1 m <sup>2</sup>
<b>TOTAL AREA:</b>	<b>170.4 m<sup>2</sup></b>

**BUILDING INFORMATION**

LOWER CEILING HT: 2700mm  
 LOWER WINDOW HEIGHT: 2400mm  
 LOWER ROOF PITCH: 22.5°  
 LOWER SOFFIT WIDTH: 450mm & 300mm

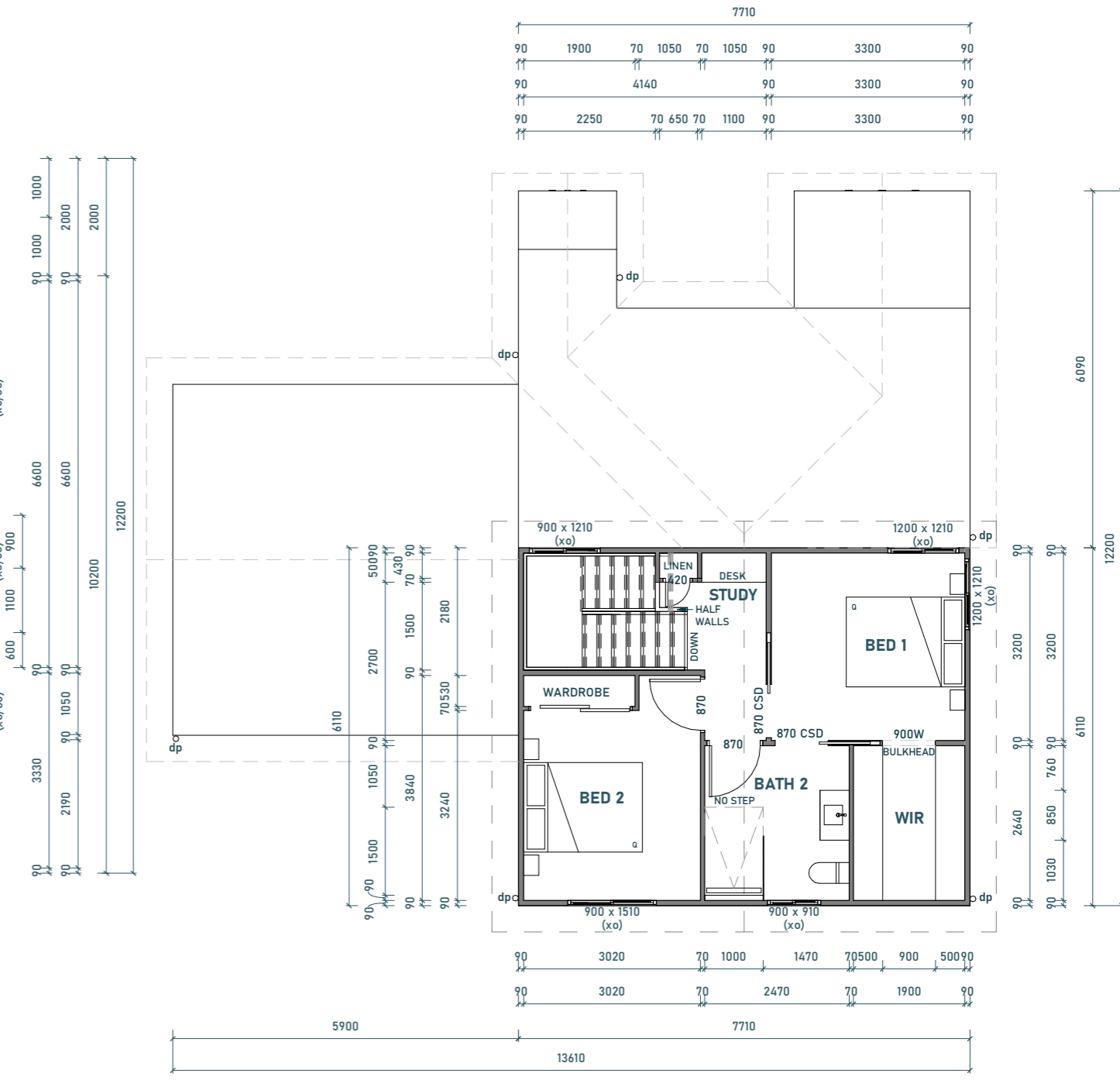
UPPER CEILING HT: 2550mm  
 UPPER WINDOW HEIGHT: 2100mm  
 UPPER ROOF PITCH: 22.5°  
 UPPER SOFFIT WIDTH: 450mm

**LEGEND**

- SA DENOTES LOCATION OF SMOKE ALARM TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 PART 9.5, AND THE AS3786-2014 BUILDING REGULATION.
- INDICATES 3 in 1 BATHROOM HEATER/LIGHT/FAN
- EX INDICATES EXHAUST FAN
- INDICATES LOCATION OF DOWNPIPES. TO BE CONFIRMED ON SITE. SEE ROOF DRAINAGE PLAN FOR ROOF DRAINAGE CALCULATIONS
- tap INDICATES POSSIBLE LOCATION OF EXTERNAL TAP. CONFIRM LOCATION ON SITE
- INDICATES LOCATION OF CEILING FAN BY OTHERS - Min 1200mm BLADE WIDTH
- HWS INDICATES SUGGESTED LOCATION OF HOT WATER STORAGE TANK. CONFIRM ON SITE
- INDICATES HALF / NIB WALLS
- INDICATES FULL HEIGHT WALLS



**2 Unit 3 - Lower Floor**  
1: 100



**3 Unit 3 - Upper Floor**  
1: 100

CONCEPT DESIGN



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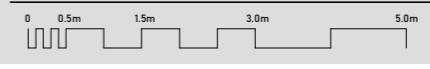
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**JIM GLEESON**

Project No: 250104  
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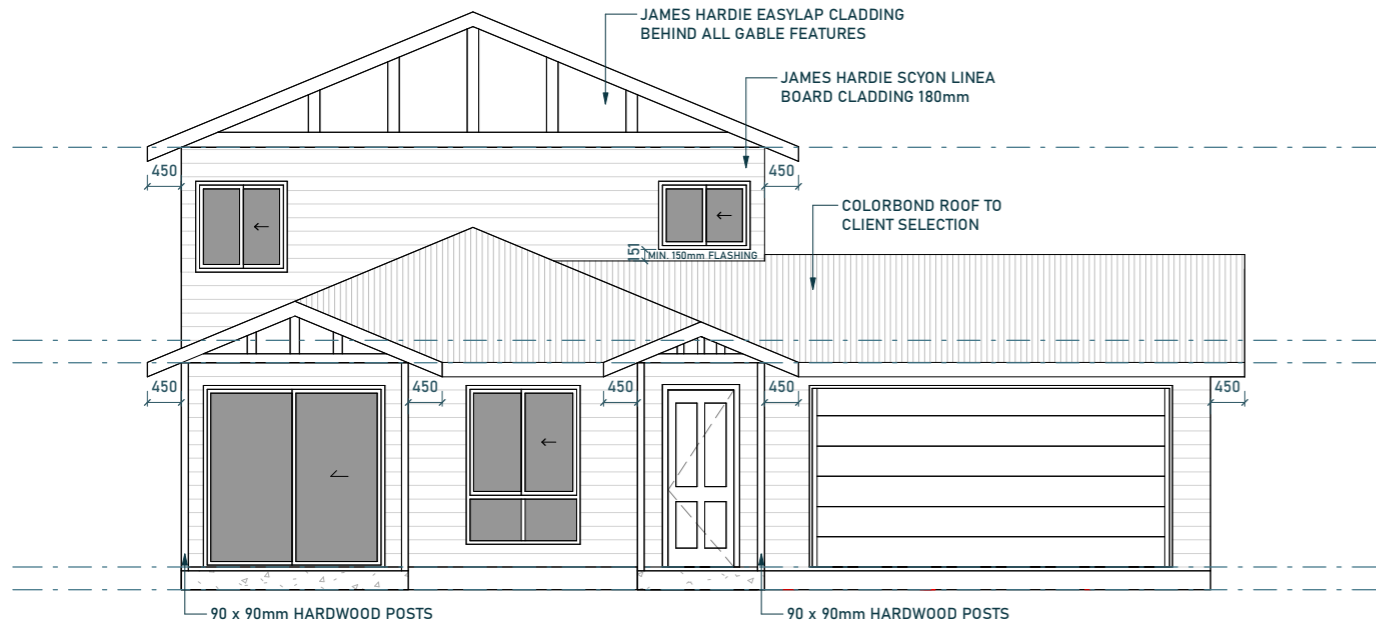
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  - 13/11/25 5A - Planning Application

Designer: S. SCHULZ  
 Drawn By: S. SCHULZ  
 Checked By: S. SCHULZ



Project North  
 Scale (@A3): 1: 100

**08**  
 UNIT 3  
 FLOOR PLAN

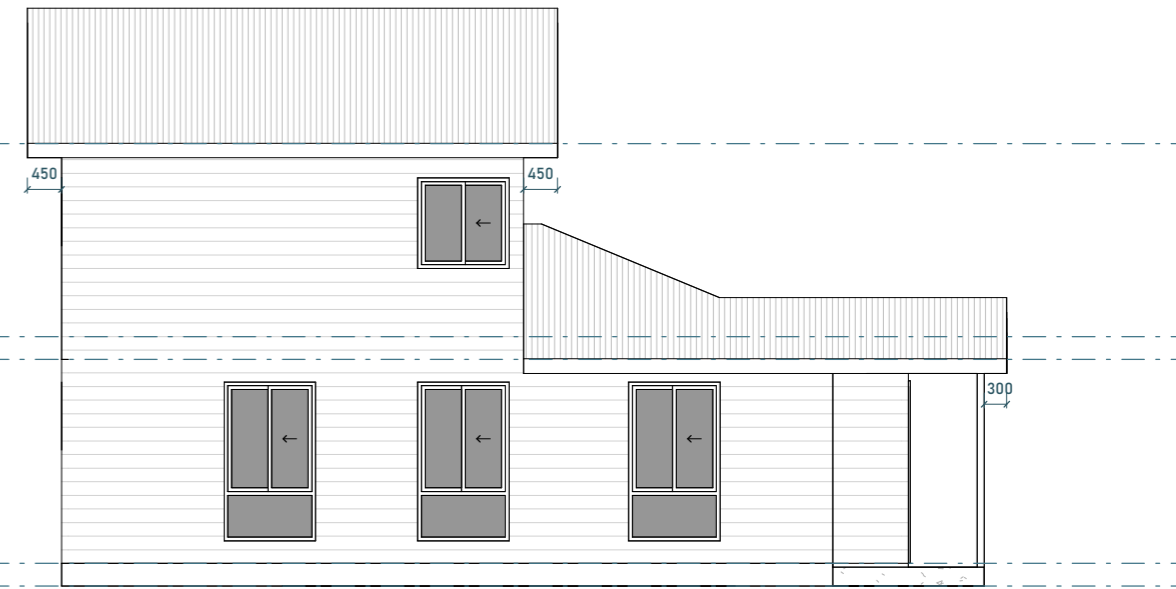


**1** UNIT 3 - NORTHERN ELEVATION  
1:100

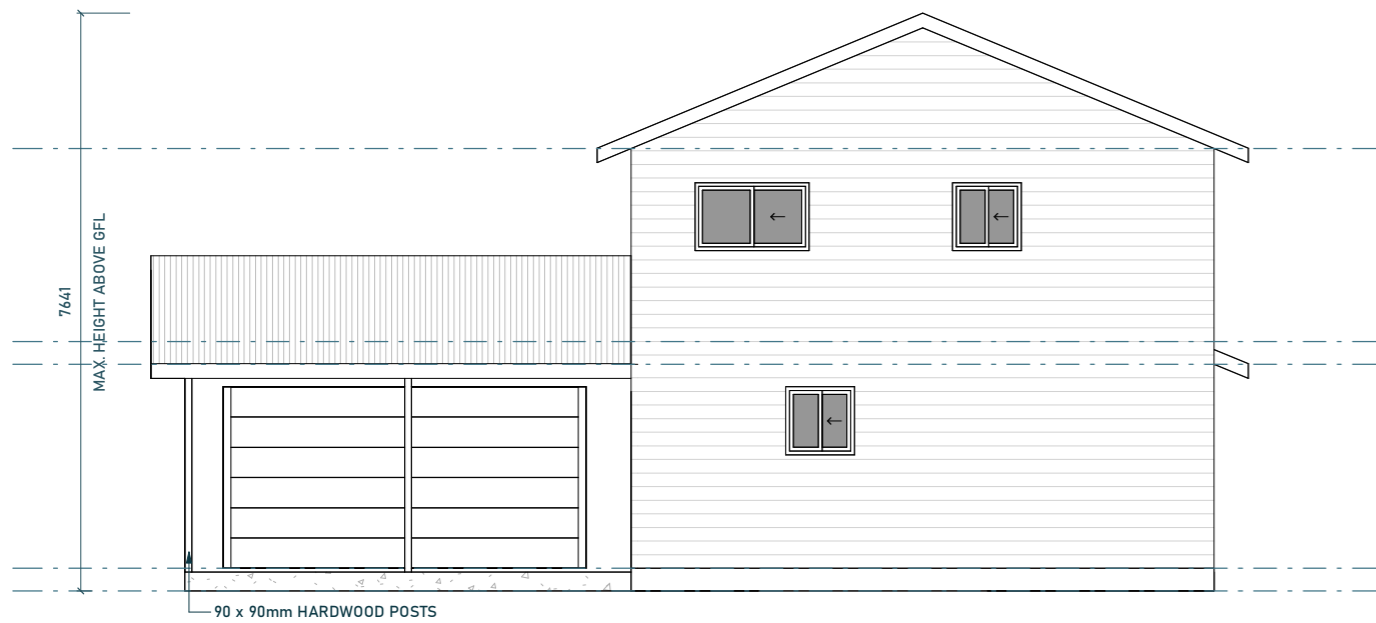
UPPER F.C.L.

UPPER F.F.L.  
LOWER F.C.L.

LOWER F.F.L.  
SITE



**3** UNIT 3 - EASTERN ELEVATION  
1:100

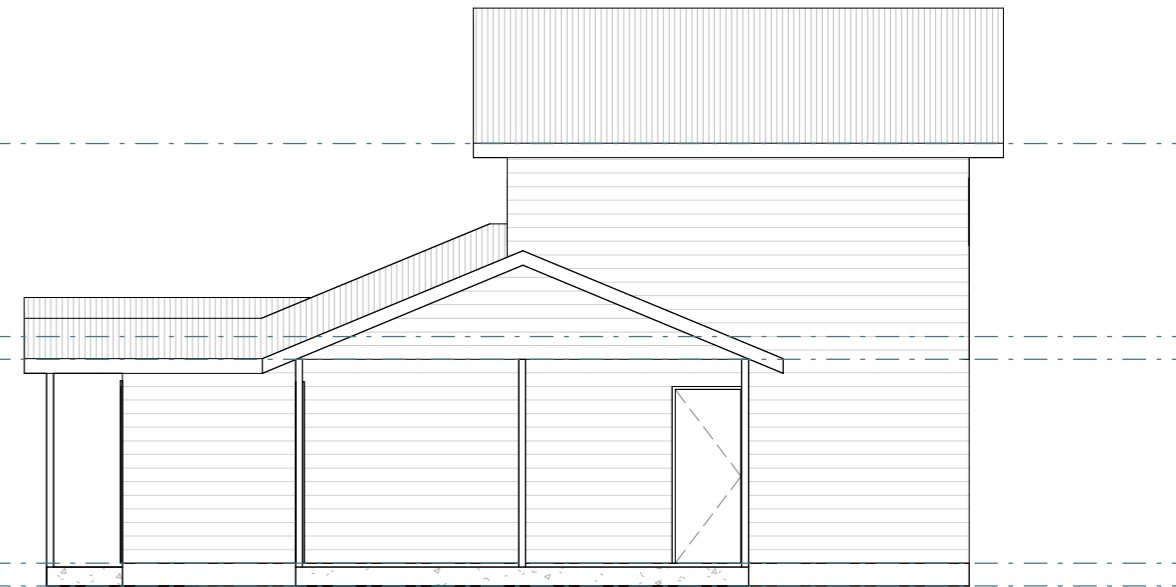


**2** UNIT 3 - SOUTHERN ELEVATION  
1:100

UPPER F.C.L.

UPPER F.F.L.  
LOWER F.C.L.

LOWER F.F.L.  
SITE



**4** UNIT 3 - WESTERN ELEVATION  
1:100

CONCEPT DESIGN



QBCC Licence #15028233  
ABN #29 754 793 261  
HIA MEMBER #119 482

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## JIM GLEESON

Project No: 250104  
Project Type: PROPOSED UNITS  
Project Address: 18-20 JENKINS STREET, NEWTOWN

### Revisions

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Designer: S. SCHULZ  
Drawn By: S. SCHULZ  
Checked By: S. SCHULZ

0 0.5m 1.5m 3.0m 5.0m Scale (@A3): 1:100

**09**  
UNIT 3  
ELEVATIONS

**GENERAL FLOOR PLAN NOTES:**

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BATH AND SHOWERS TO COMPLY WITH NCC 2022.

**UNIT 4 BUILDING AREAS**

**LOWER FLOOR**  
 RESIDENCE: 83.0 m<sup>2</sup>  
 PORCH: 1.7 m<sup>2</sup>  
 ALFRESCO: 6.0 m<sup>2</sup>  
 CARPORT: 33.6 m<sup>2</sup>

**UPPER FLOOR**  
 RESIDENCE: 49.9 m<sup>2</sup>  
 TOTAL AREA: 174.2 m<sup>2</sup>

**BUILDING INFORMATION**

LOWER CEILING HT: 2700mm  
 LOWER WINDOW HEIGHT: 2400mm  
 LOWER ROOF PITCH: 22.5°  
 LOWER SOFFIT WIDTH: 450mm & 300mm

UPPER CEILING HT: 2550mm  
 UPPER WINDOW HEIGHT: 2100mm  
 UPPER ROOF PITCH: 22.5°  
 UPPER SOFFIT WIDTH: 450mm

**LEGEND**

DENOTES LOCATION OF SMOKE ALARM TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 PART 9.5, AND THE AS3786-2014 BUILDING REGULATION.

INDICATES 3 in 1 BATHROOM HEATER/LIGHT/FAN

INDICATES EXHAUST FAN

INDICATES LOCATION OF DOWNPIPES. TO BE CONFIRMED ON SITE. SEE ROOF DRAINAGE PLAN FOR ROOF DRAINAGE CALCULATIONS

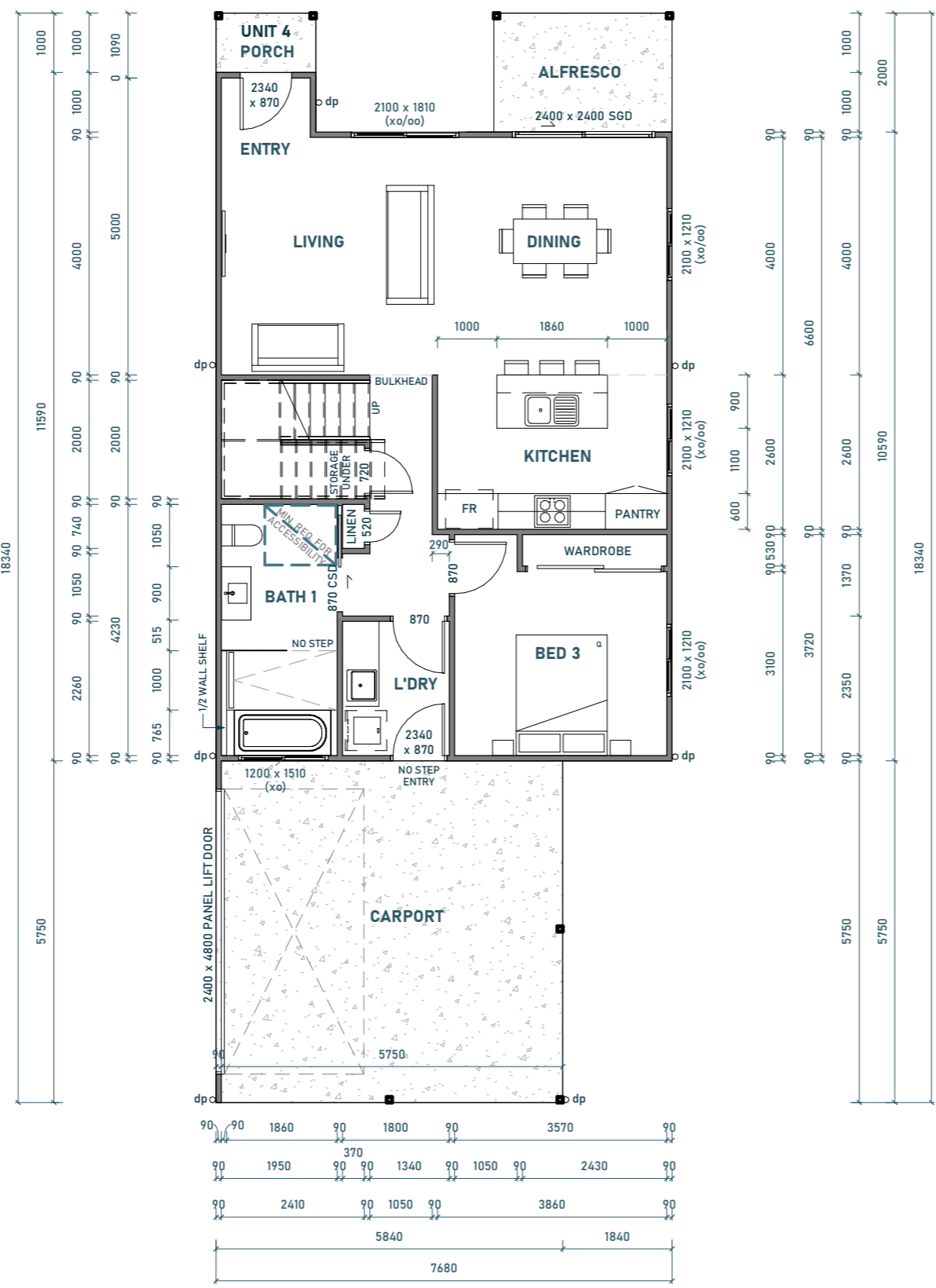
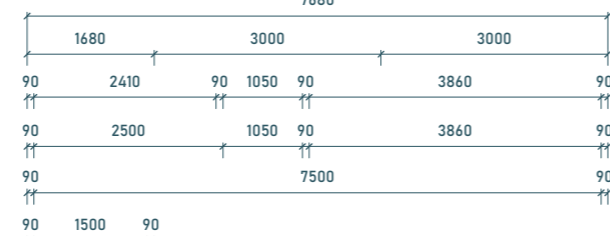
INDICATES POSSIBLE LOCATION OF EXTERNAL TAP. CONFIRM LOCATION ON SITE

INDICATES LOCATION OF CEILING FAN BY OTHERS - Min 1200mm BLADE WIDTH

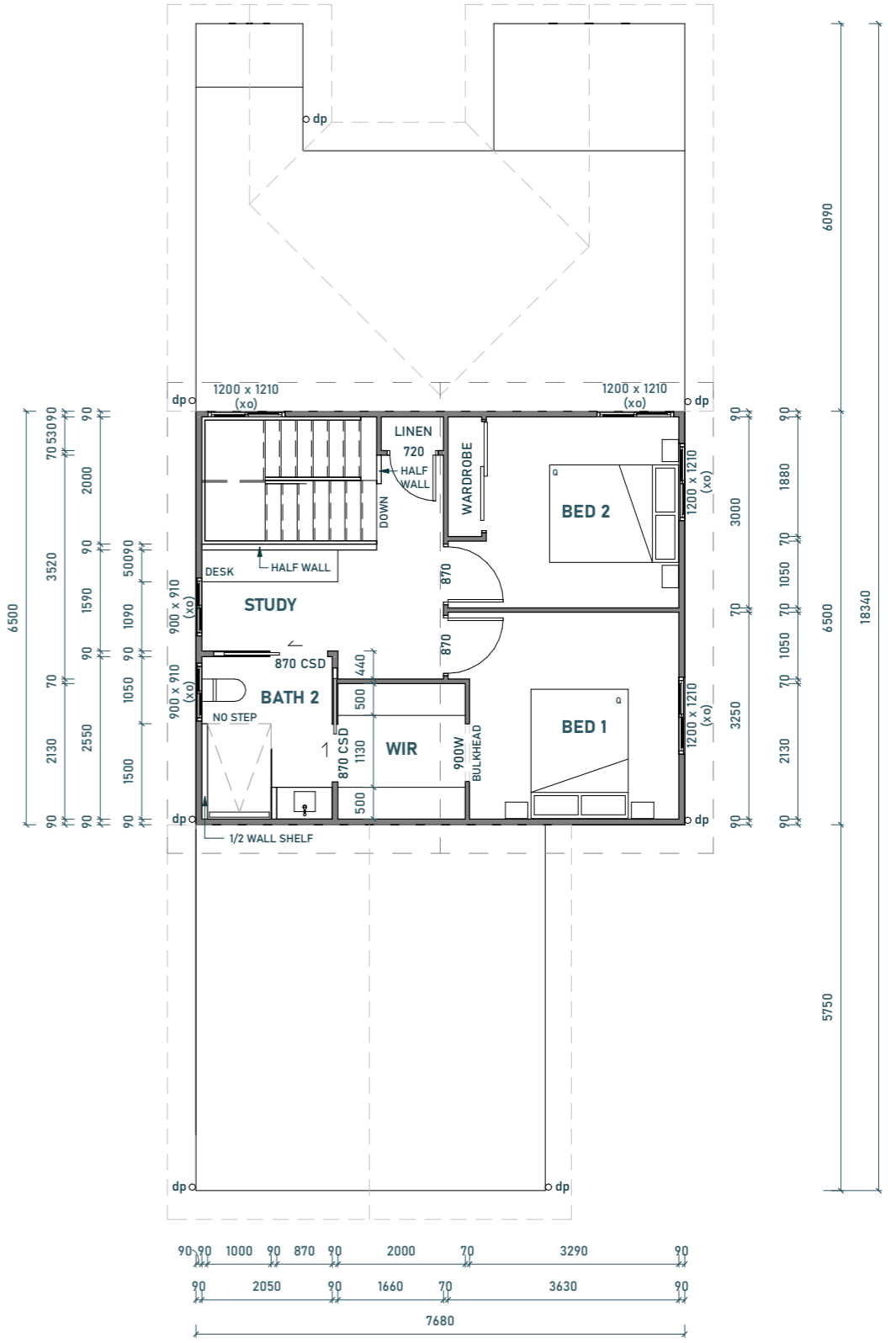
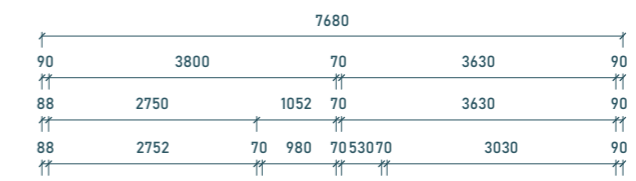
INDICATES SUGGESTED LOCATION OF HOT WATER STORAGE TANK. CONFIRM ON SITE

INDICATES HALF / NIB WALLS

INDICATES FULL HEIGHT WALLS



**1 Unit 4 - Lower Floor**  
1 : 100



**2 Unit 4 - Upper Floor**  
1 : 100

CONCEPT DESIGN



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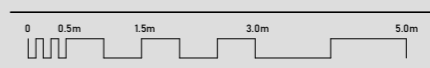
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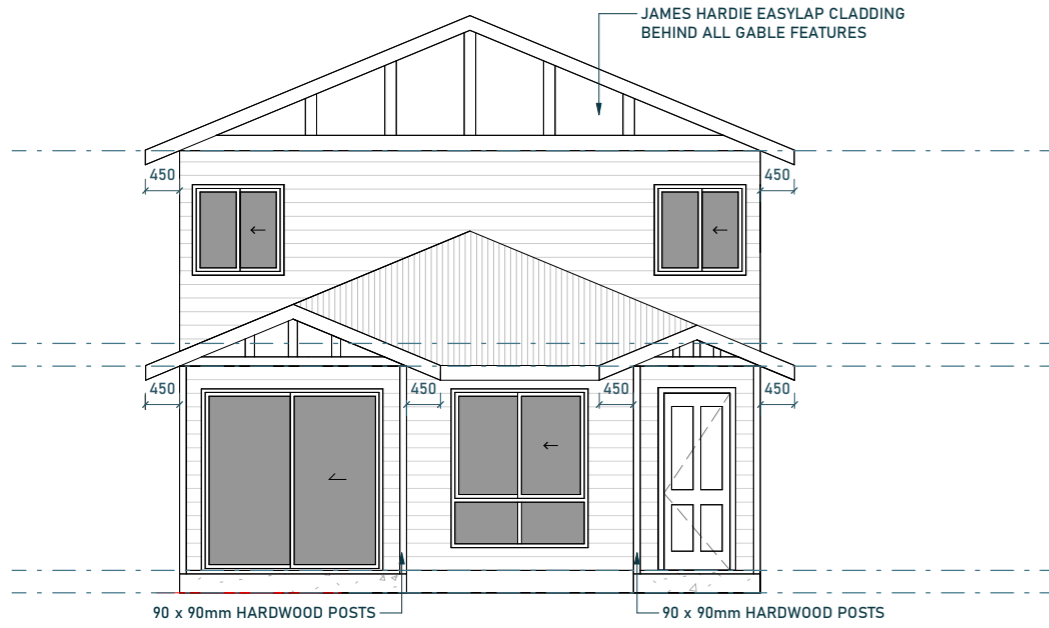
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Designer: S. SCHULZ  
 Drawn By: S. SCHULZ  
 Checked By: S. SCHULZ

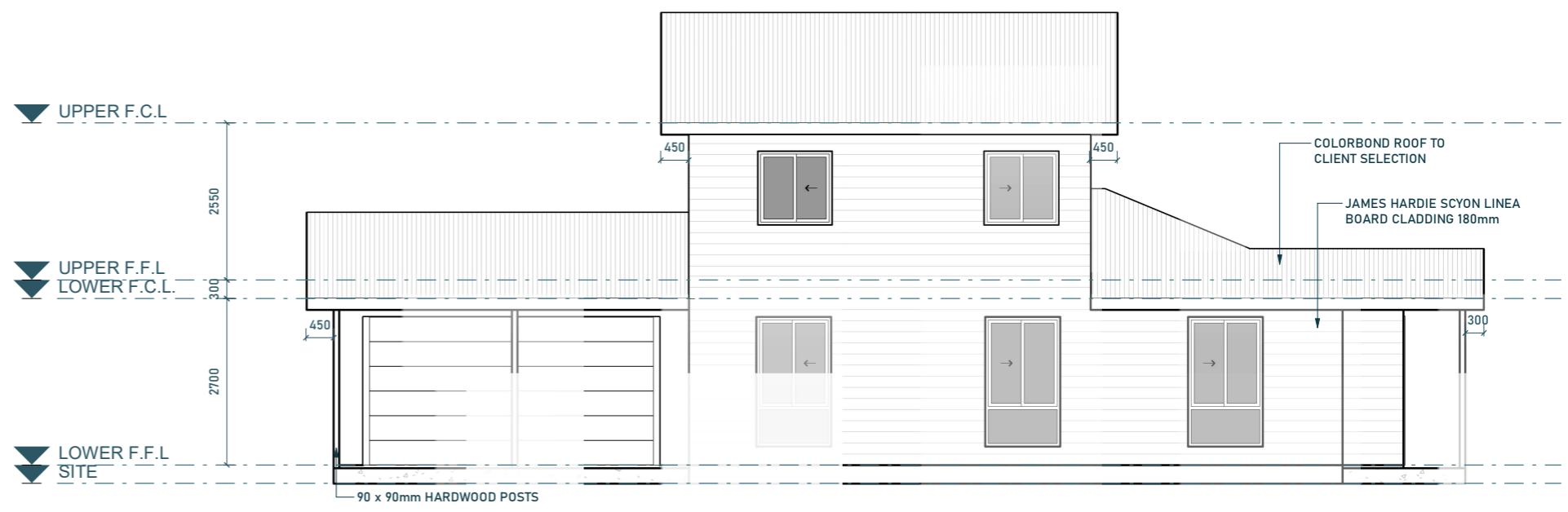


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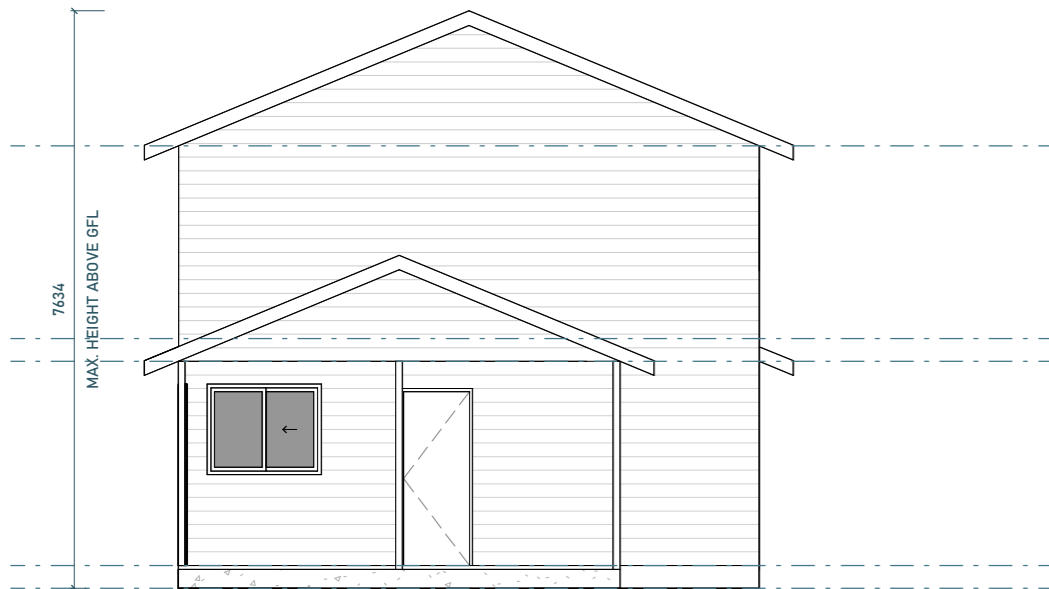
**10**  
 UNIT 4  
 FLOOR PLAN



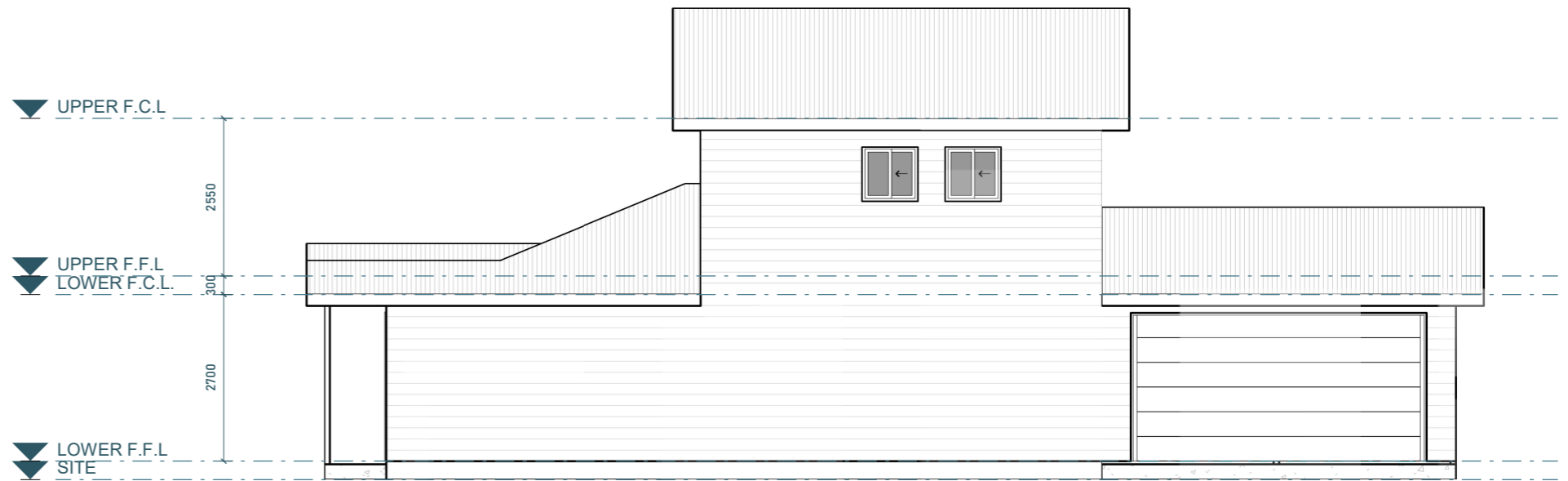
**1 UNIT 4 - NORTHERN ELEVATION**  
1:100



**2 UNIT 4 - EASTERN ELEVATION**  
1:100



**3 UNIT 4 - SOUTHERN ELEVATION**  
1:100



**4 UNIT 4 - WESTERN ELEVATION**  
1:100

CONCEPT DESIGN



QBCC Licence #15028233  
ABN #29 754 793 261  
HIA MEMBER #119 482

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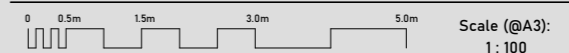
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Project Address: 18-20 JENKINS STREET, NEWTOWN

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Designer: S. SCHULZ  
Drawn By: S. SCHULZ  
Checked By: S. SCHULZ



**11**  
UNIT 4  
ELEVATIONS

**GENERAL FLOOR PLAN NOTES:**

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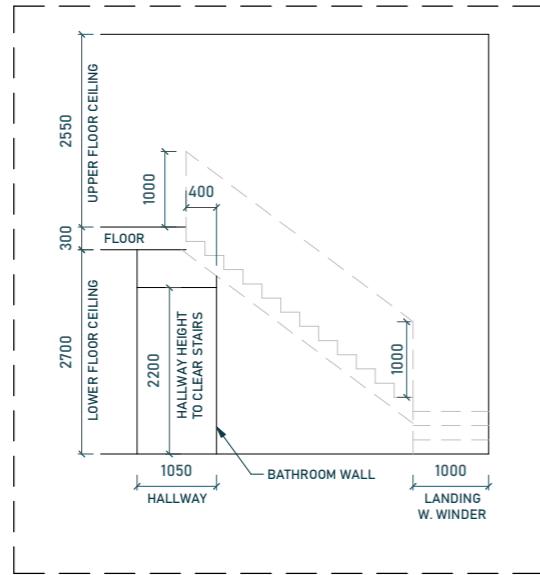
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BATH AND SHOWERS TO COMPLY WITH NCC 2022.



**Unit 5 - Staircase Detail**  
1 : 100

**UNIT 5 BUILDING AREAS**

<b>LOWER FLOOR</b>	
RESIDENCE:	80.5 m <sup>2</sup>
PORCH:	1.4 m <sup>2</sup>
ALFRESCO:	6.0 m <sup>2</sup>
CARPORT:	35.5 m <sup>2</sup>

<b>UPPER FLOOR</b>	
RESIDENCE:	45.6 m <sup>2</sup>
<b>TOTAL AREA:</b>	<b>169.0 m<sup>2</sup></b>

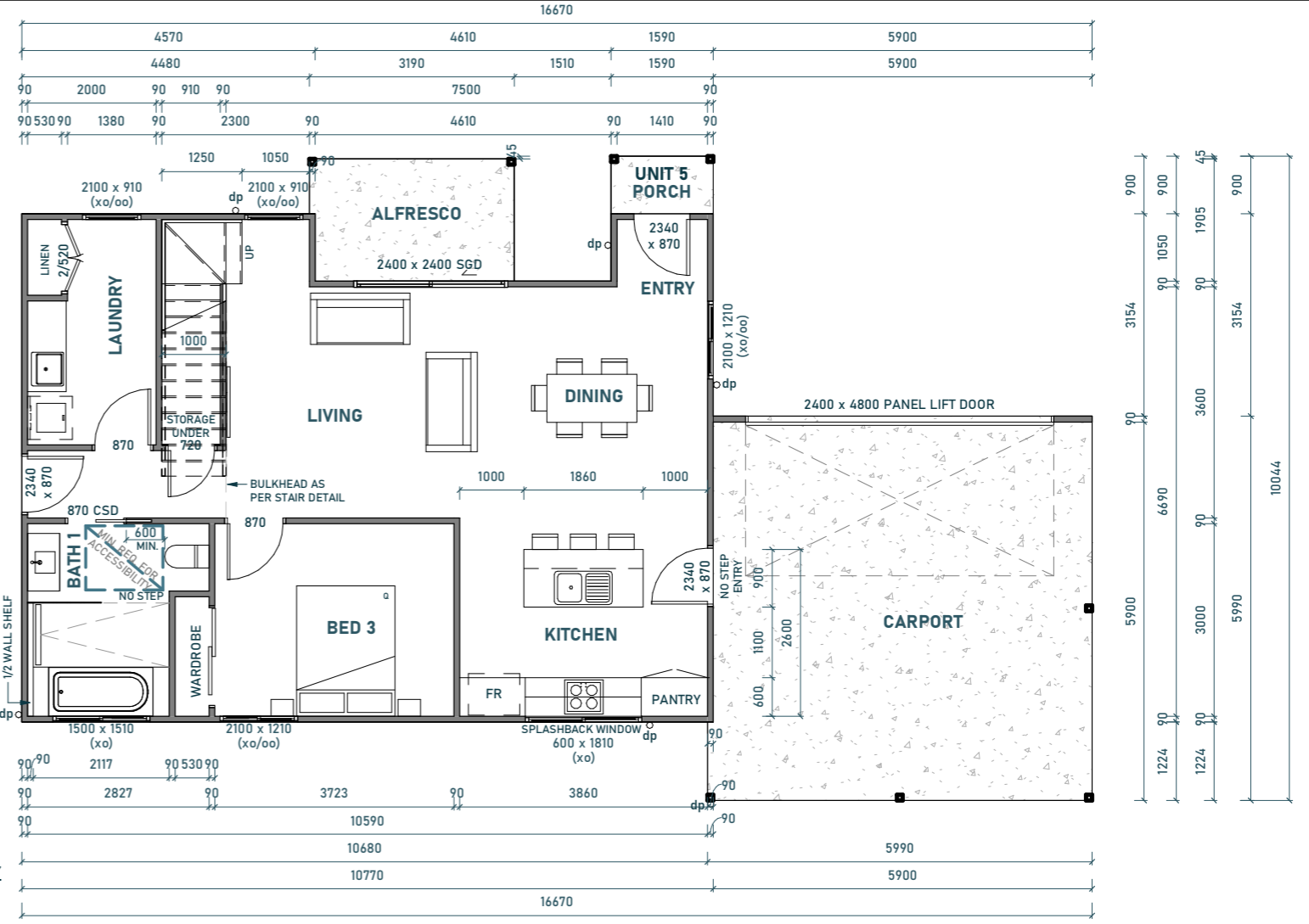
**BUILDING INFORMATION**

LOWER CEILING HT: 2700mm  
 LOWER WINDOW HEIGHT: 2400mm  
 LOWER ROOF PITCH: 22.5°  
 LOWER SOFFIT WIDTH: 450mm & 300mm

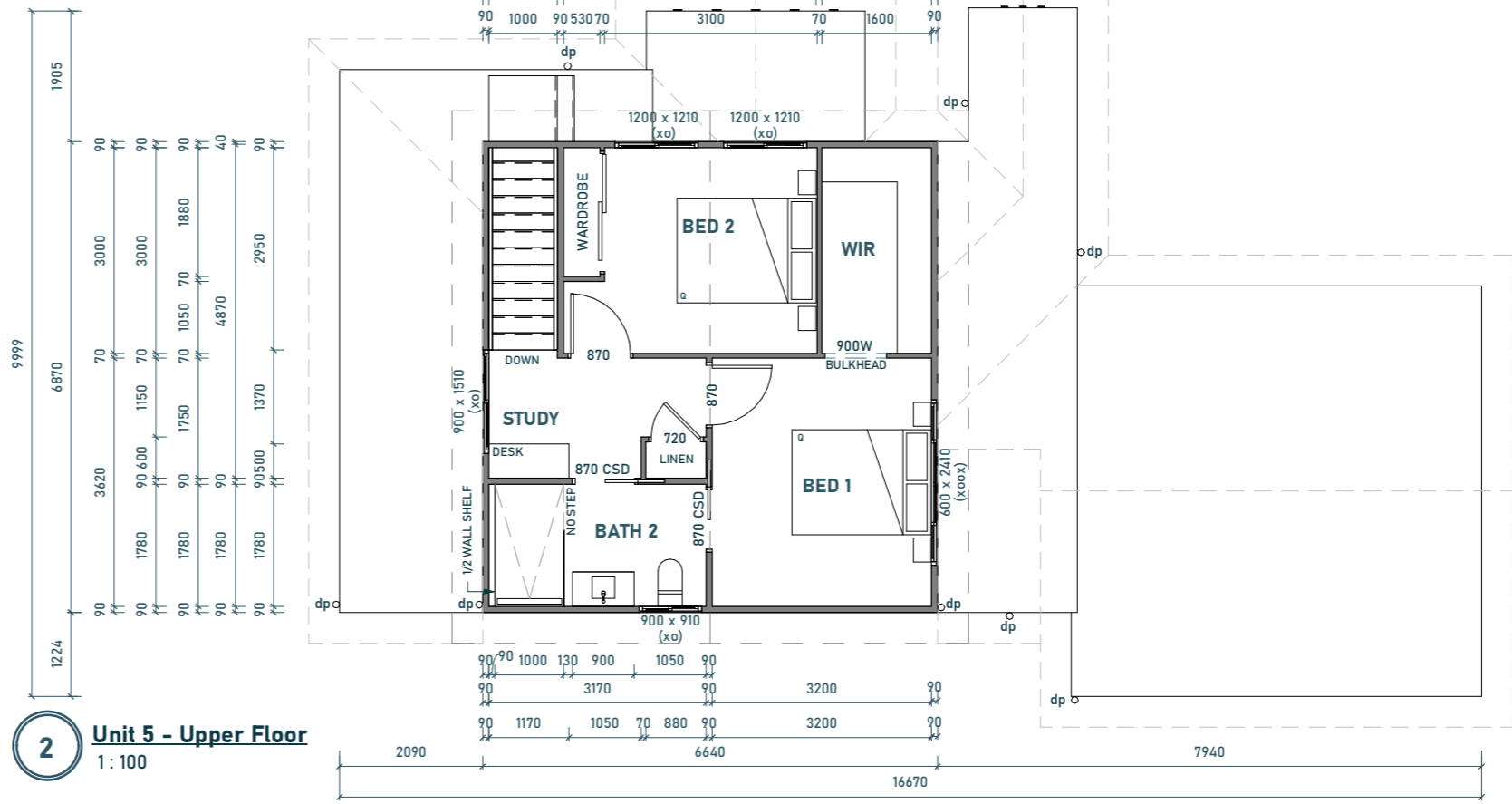
UPPER CEILING HT: 2550mm  
 UPPER WINDOW HEIGHT: 2100mm  
 UPPER ROOF PITCH: 22.5°  
 UPPER SOFFIT WIDTH: 450mm

**LEGEND**

- DENOTES LOCATION OF SMOKE ALARM TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 PART 9.5, AND THE AS3786-2014 BUILDING REGULATION.
- INDICATES 3 in 1 BATHROOM HEATER/LIGHT/FAN
- INDICATES EXHAUST FAN
- INDICATES LOCATION OF DOWNPIPES. TO BE CONFIRMED ON SITE. SEE ROOF DRAINAGE PLAN FOR ROOF DRAINAGE CALCULATIONS
- INDICATES POSSIBLE LOCATION OF EXTERNAL TAP. CONFIRM LOCATION ON SITE
- INDICATES LOCATION OF CEILING FAN BY OTHERS - Min 1200mm BLADE WIDTH
- INDICATES SUGGESTED LOCATION OF HOT WATER STORAGE TANK. CONFIRM ON SITE
- INDICATES HALF / NIB WALLS
- INDICATES FULL HEIGHT WALLS



**1 Unit 5 - Lower Floor**  
1 : 100



**2 Unit 5 - Upper Floor**  
1 : 100

CONCEPT DESIGN



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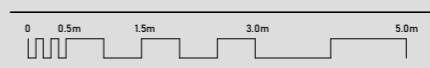
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**JIM GLEESON**

Project No: 250104  
 Project Type: PROPOSED UNITS  
 Project Address: 18-20 JENKINS STREET, NEWTOWN

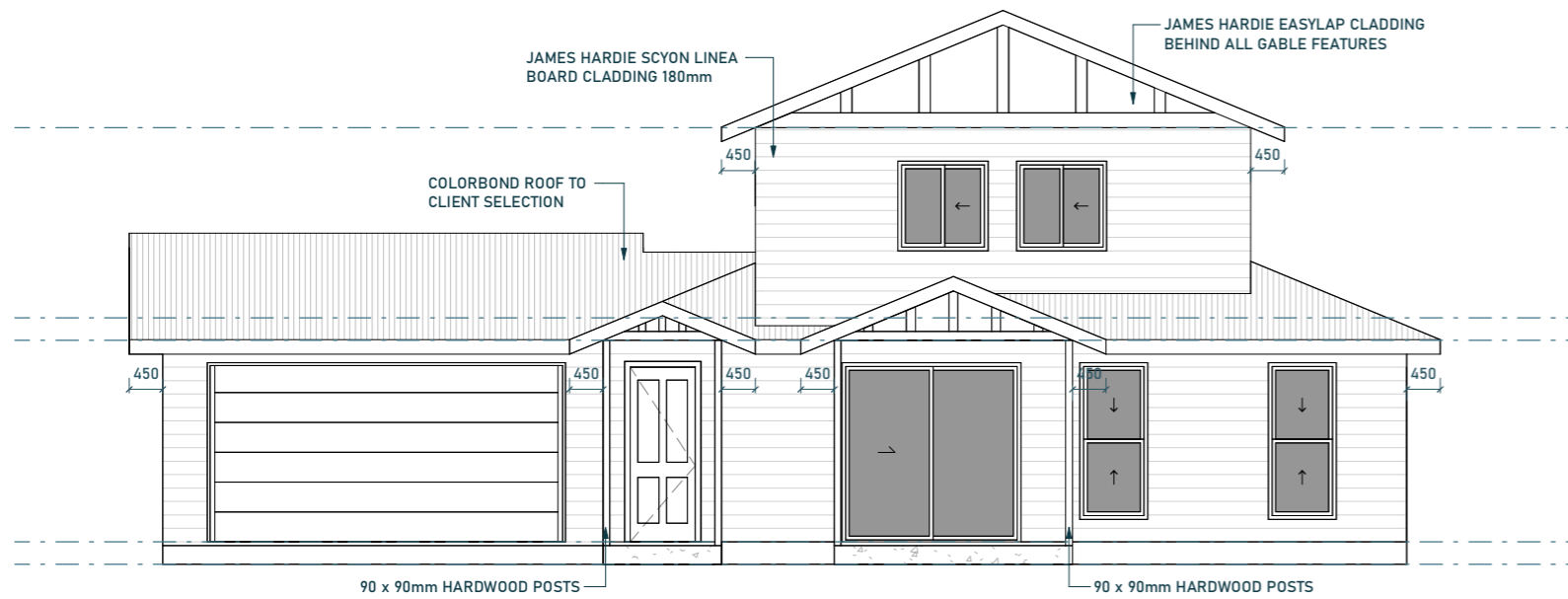
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  - 21/10/25 4A - Final Review
  - 13/11/25 5A - Planning Application

Designer: S. SCHULZ  
 Drawn By: S. SCHULZ  
 Checked By: S. SCHULZ

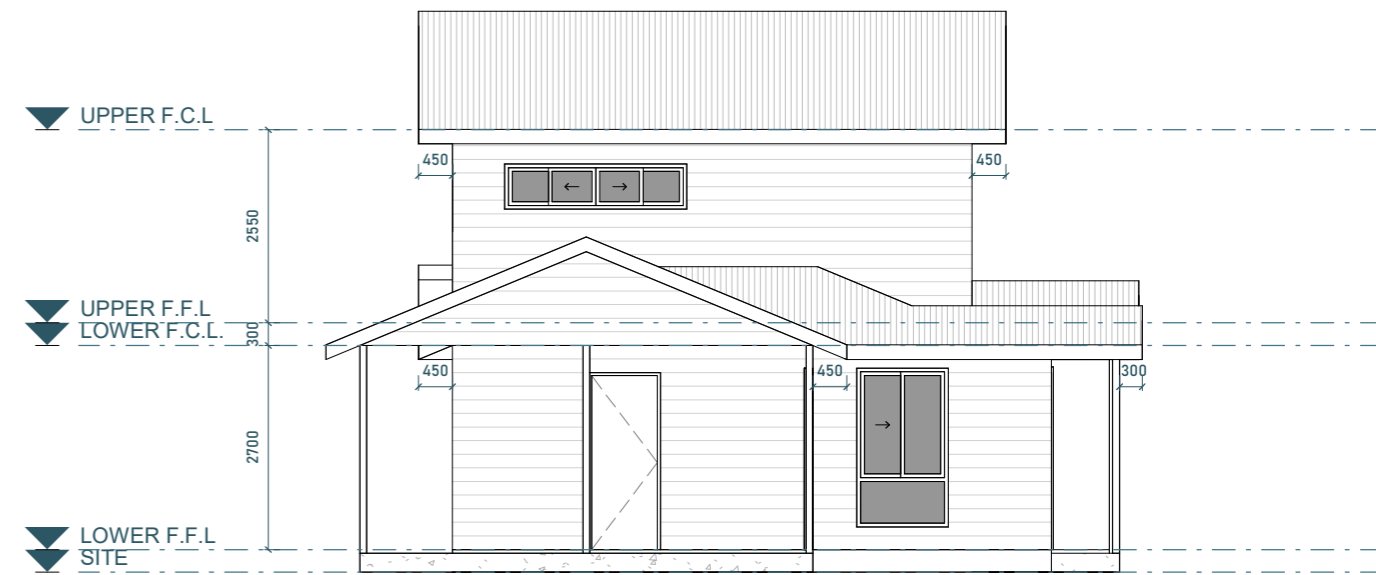


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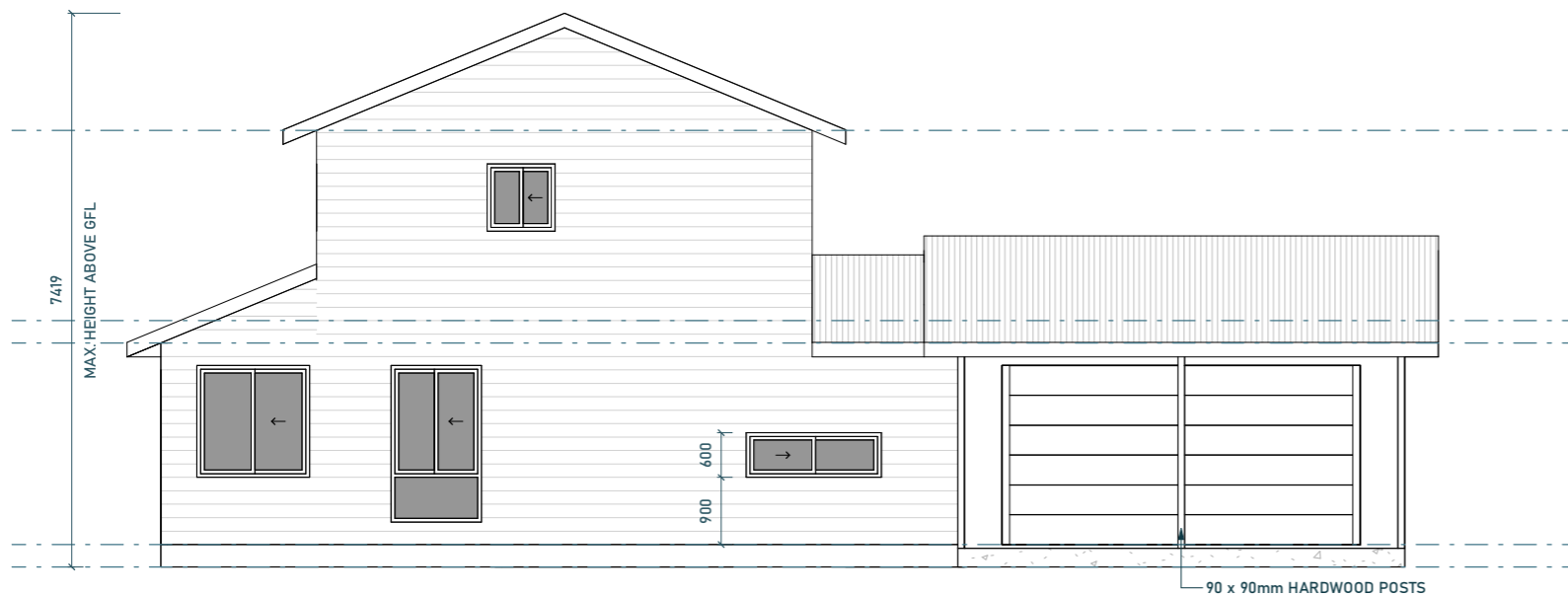
**12**  
 UNIT 5  
 FLOOR PLAN



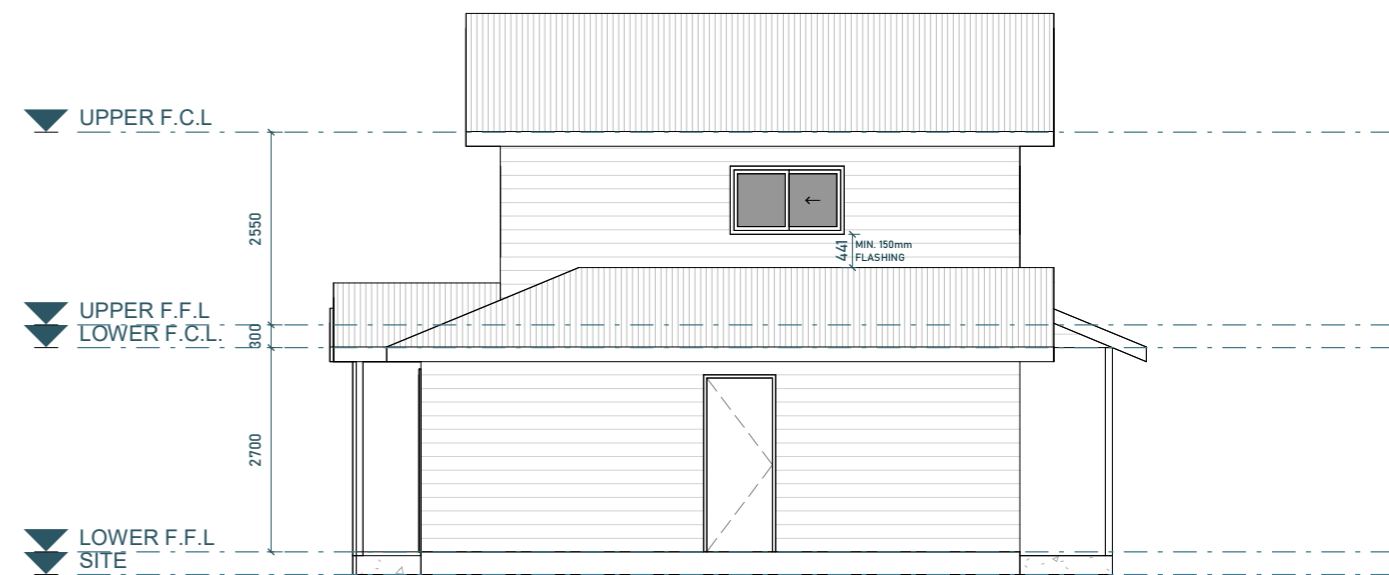
**1 UNIT 5 - NORTHERN ELEVATION**  
1: 100



**2 UNIT 5 - EASTERN ELEVATION**  
1: 100



**3 UNIT 5 - SOUTHERN ELEVATION**  
1: 100



**4 UNIT 5 - WESTERN ELEVATION**  
1: 100

CONCEPT DESIGN



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ABN #29 754 793 261  
HIA MEMBER #119 462

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## JIM GLEESON

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Designer: S. SCHULZ  
Drawn By: S. SCHULZ  
Checked By: S. SCHULZ

0 0.5m 1.5m 3.0m 5.0m Scale (@A3): 1: 100

**13**  
UNIT 5  
ELEVATIONS

**GENERAL FLOOR PLAN NOTES:**

FLOOR PLAN DIMENSIONS DO NOT INCLUDE INTERNAL WALL SHEETING UNLESS NOTED OTHERWISE.

ALL PLANT, AIR CONDITIONING EQUIPMENT MUST BE CONTAINED WITHIN THE BUILDING OR VISUALLY SCREENED TO ALL STREET FRONTAGES, PUBLIC VIEWING LOCATIONS AND ADJOINING PREMISES.

WALL CLADDING MATERIALS, FIXINGS & FLASHING DETAILS REFER TO NCC 2022 VOLUME TWO PART 7.5 TIMBER AND COMPOSITE WALL CLADDING.

GLAZING SIZES, SAFETY & VISIBILITY REFER TO NCC 2022 VOLUME TWO PART 8.3 GLASS. ALL GLAZING TO BE INSTALLED IN ACCORDANCE WITH CLAUSE 8.3.2 OF NCC 2022.

ALL WET AREAS & EXTERNAL WATERPROOFING TO BE WATERPROOFED IN ACCORDANCE WITH NCC 2022 VOLUME TWO PART 10.2 WET AREA WATERPROOFING.

ALL DIMENSIONS AND DESIGN INFORMATION TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORK.

ALL PLUMBING FIXTURES AND INSTALLATIONS INCLUDING PRESSURE LIMITING DEVICES, HOT WATER SYSTEMS AND DUAL FLUSH TOILET SUITES TO BE WELS RATED IN ACCORDANCE WITH AS/NZ 6400 - 2005 & AS 3500.

BATH AND SHOWERS TO COMPLY WITH NCC 2022.

**UNIT 6 BUILDING AREAS**

**LOWER FLOOR**  
 RESIDENCE: 78.8 m<sup>2</sup>  
 PORCH: 1.9 m<sup>2</sup>  
 ALFRESCO: 5.7 m<sup>2</sup>  
 CARPORT: 35.3 m<sup>2</sup>

**UPPER FLOOR**  
 RESIDENCE: 45.6 m<sup>2</sup>

**TOTAL AREA: 167.3 m<sup>2</sup>**

**BUILDING INFORMATION**

LOWER CEILING HT: 2700mm  
 LOWER WINDOW HEIGHT: 2400mm  
 LOWER ROOF PITCH: 22.5°  
 LOWER SOFFIT WIDTH: 450mm & 300mm

UPPER CEILING HT: 2550mm  
 UPPER WINDOW HEIGHT: 2100mm  
 UPPER ROOF PITCH: 22.5°  
 UPPER SOFFIT WIDTH: 450mm

**LEGEND**

SA DENOTES LOCATION OF SMOKE ALARM TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 PART 9.5, AND THE AS3786-2014 BUILDING REGULATION.

H/L/F INDICATES 3 in 1 BATHROOM HEATER/LIGHT/FAN

EX INDICATES EXHAUST FAN

dp INDICATES LOCATION OF DOWNPIPES. TO BE CONFIRMED ON SITE. SEE ROOF DRAINAGE PLAN FOR ROOF DRAINAGE CALCULATIONS

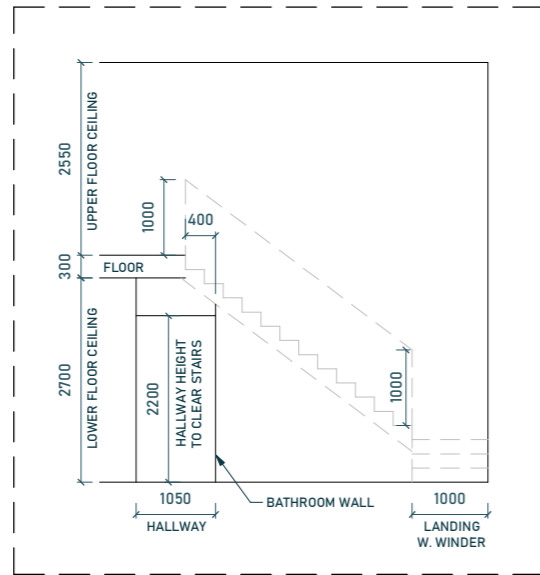
tap INDICATES POSSIBLE LOCATION OF EXTERNAL TAP. CONFIRM LOCATION ON SITE

C/F INDICATES LOCATION OF CEILING FAN BY OTHERS - Min 1200mm BLADE WIDTH

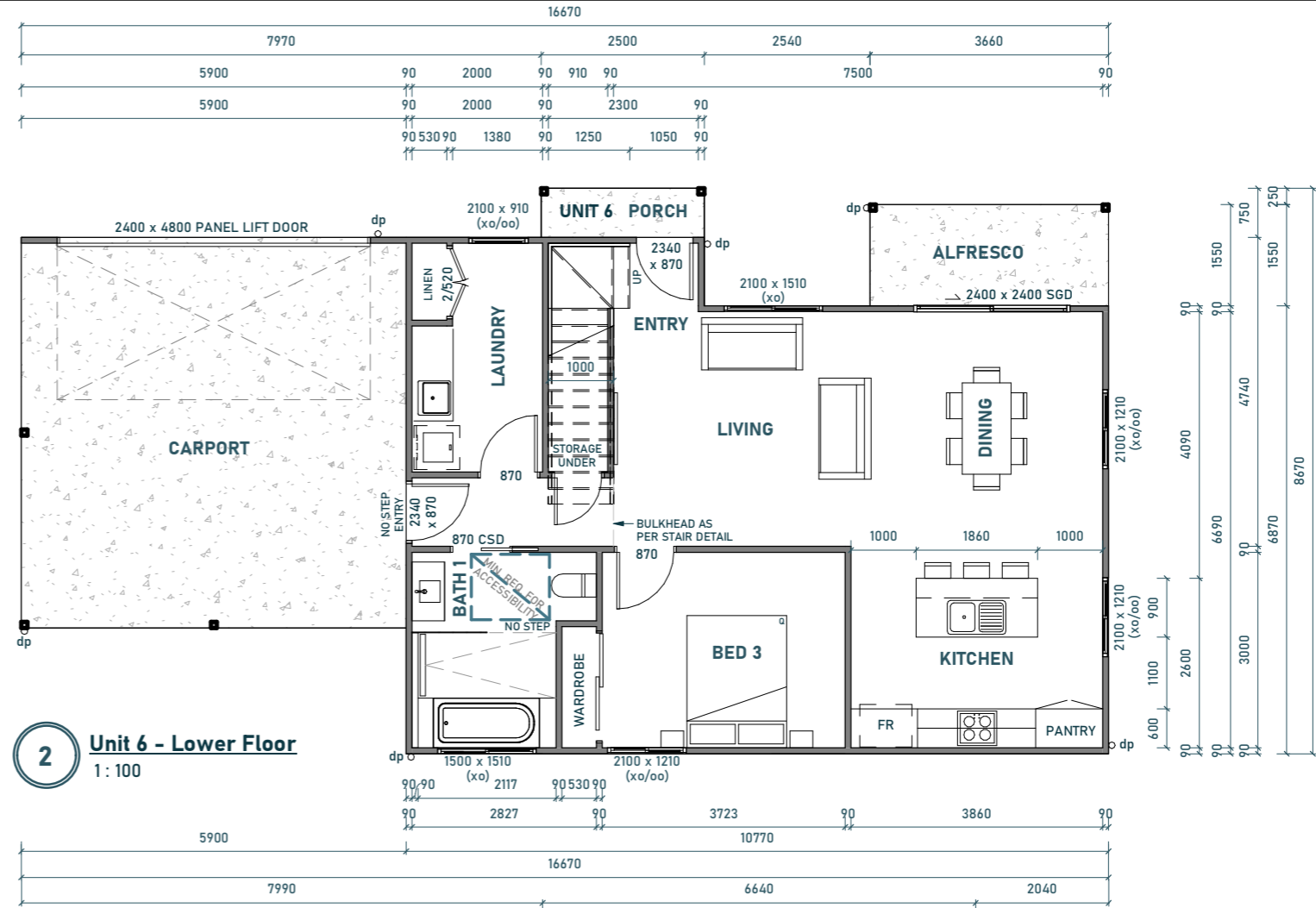
HWS INDICATES SUGGESTED LOCATION OF HOT WATER STORAGE TANK. CONFIRM ON SITE

— INDICATES HALF / NIB WALLS

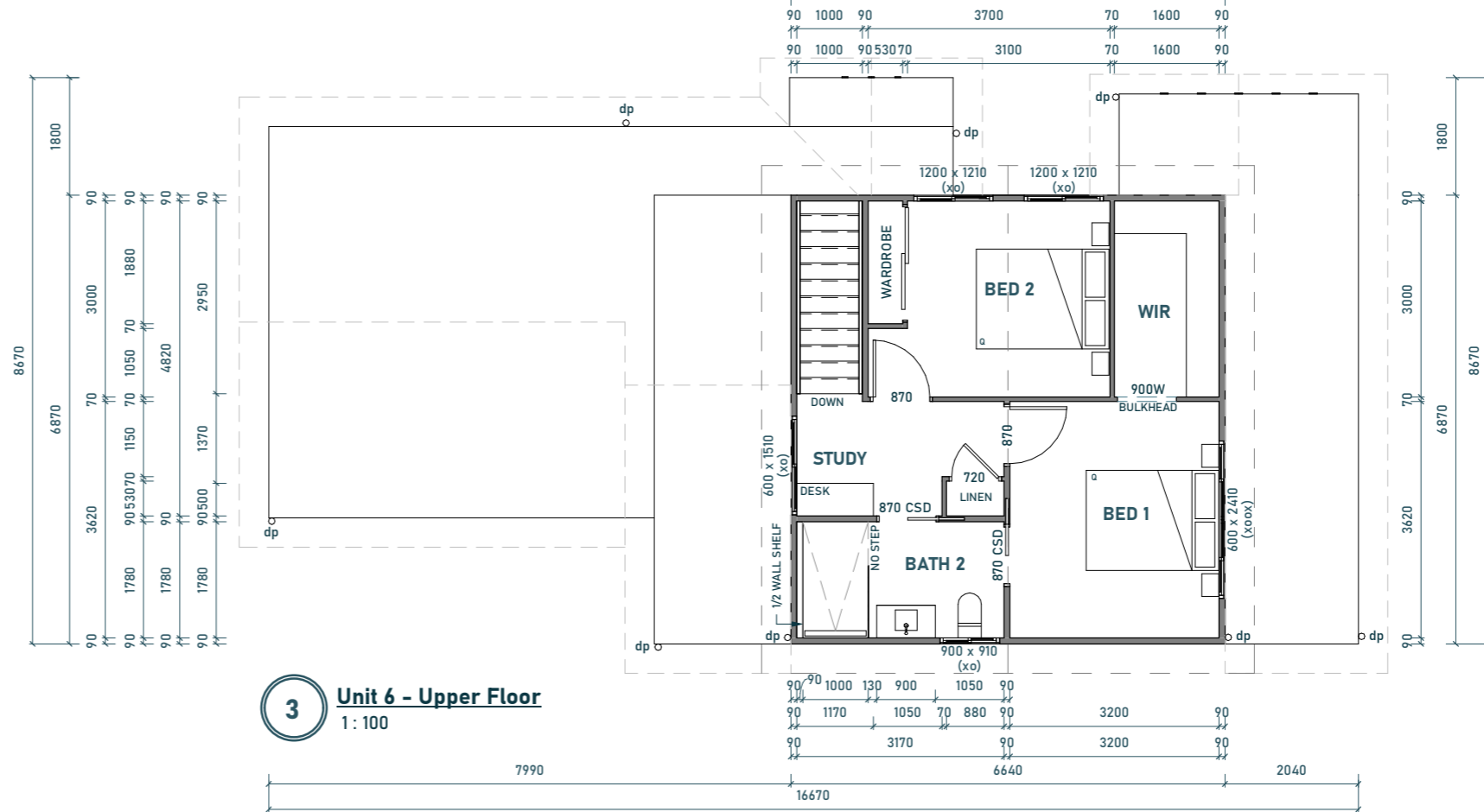
— INDICATES FULL HEIGHT WALLS



**Unit 6 - Staircase Detail**  
1: 100



**Unit 6 - Lower Floor**  
1: 100



**Unit 6 - Upper Floor**  
1: 100

CONCEPT DESIGN



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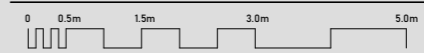
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**Revisions**

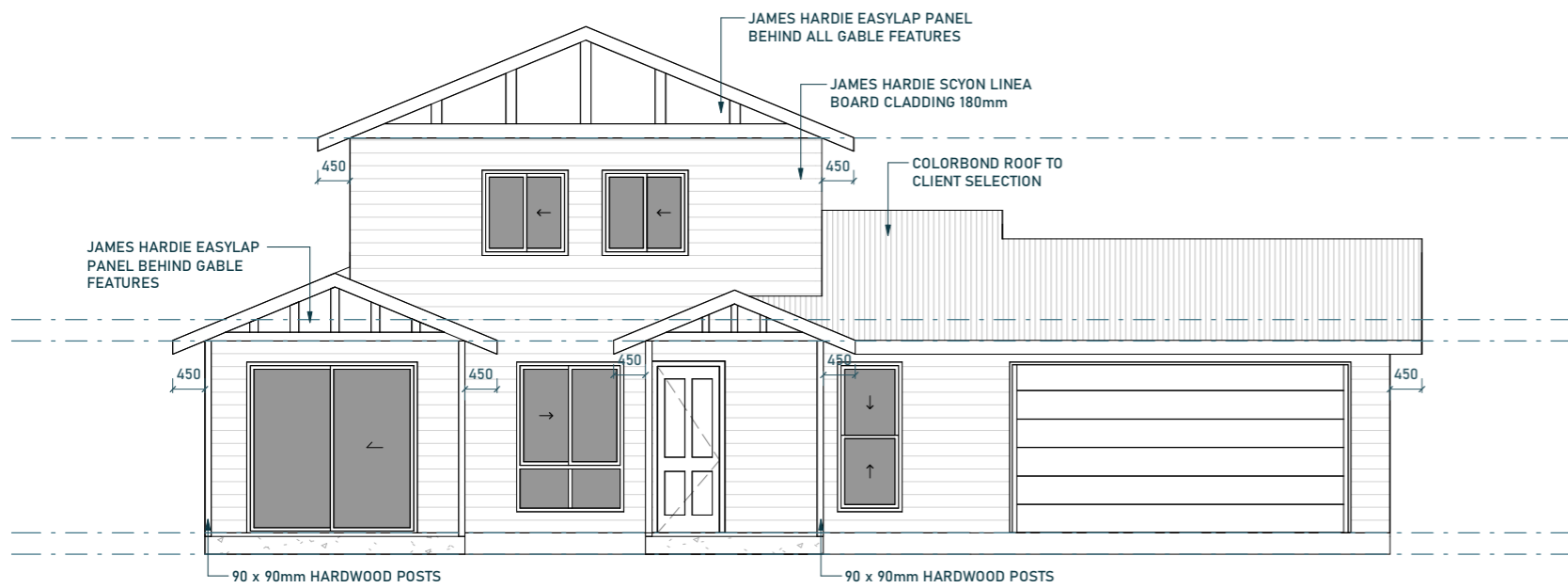
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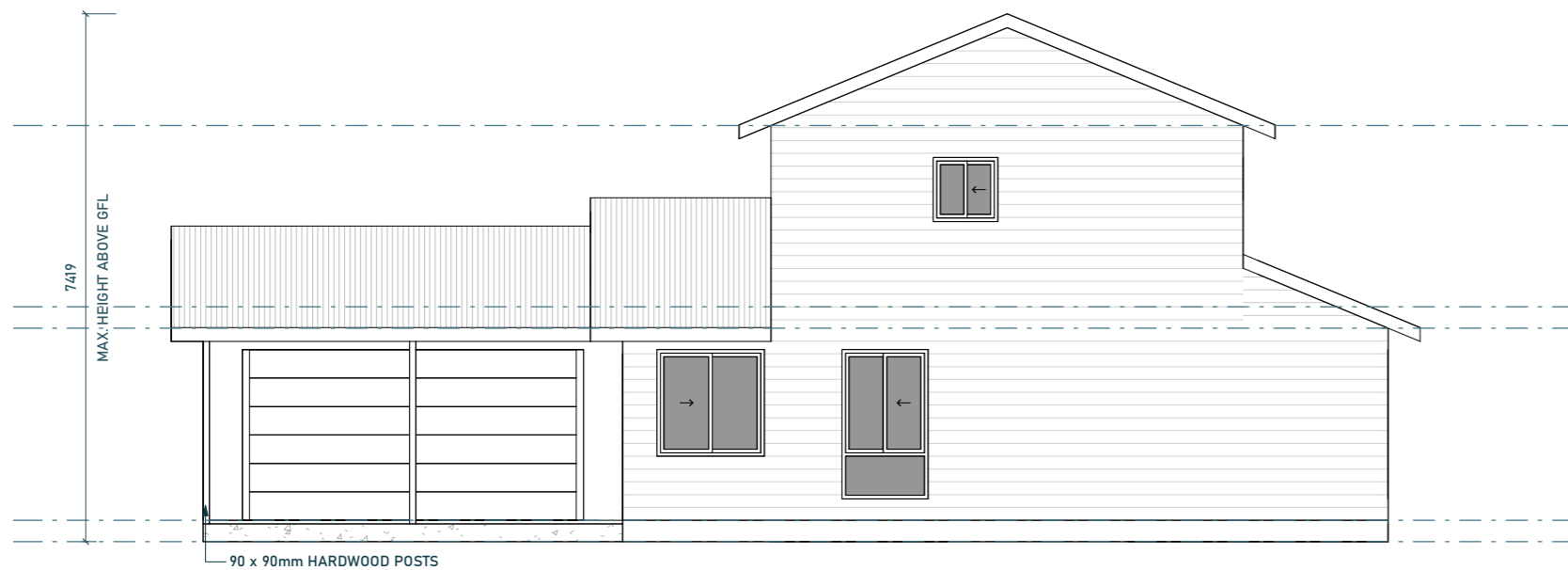
**14**  
 UNIT 6  
 FLOOR PLAN



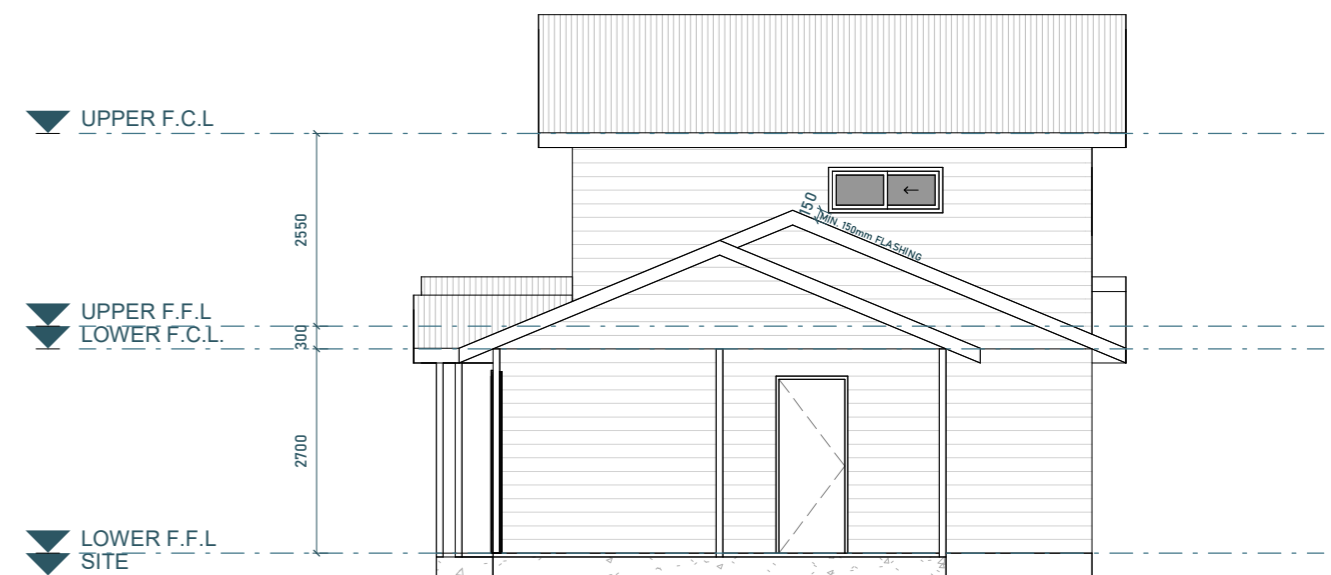
**1 UNIT 6 - NORTHERN ELEVATION**  
1:100



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**15**  
UNIT 6  
ELEVATIONS