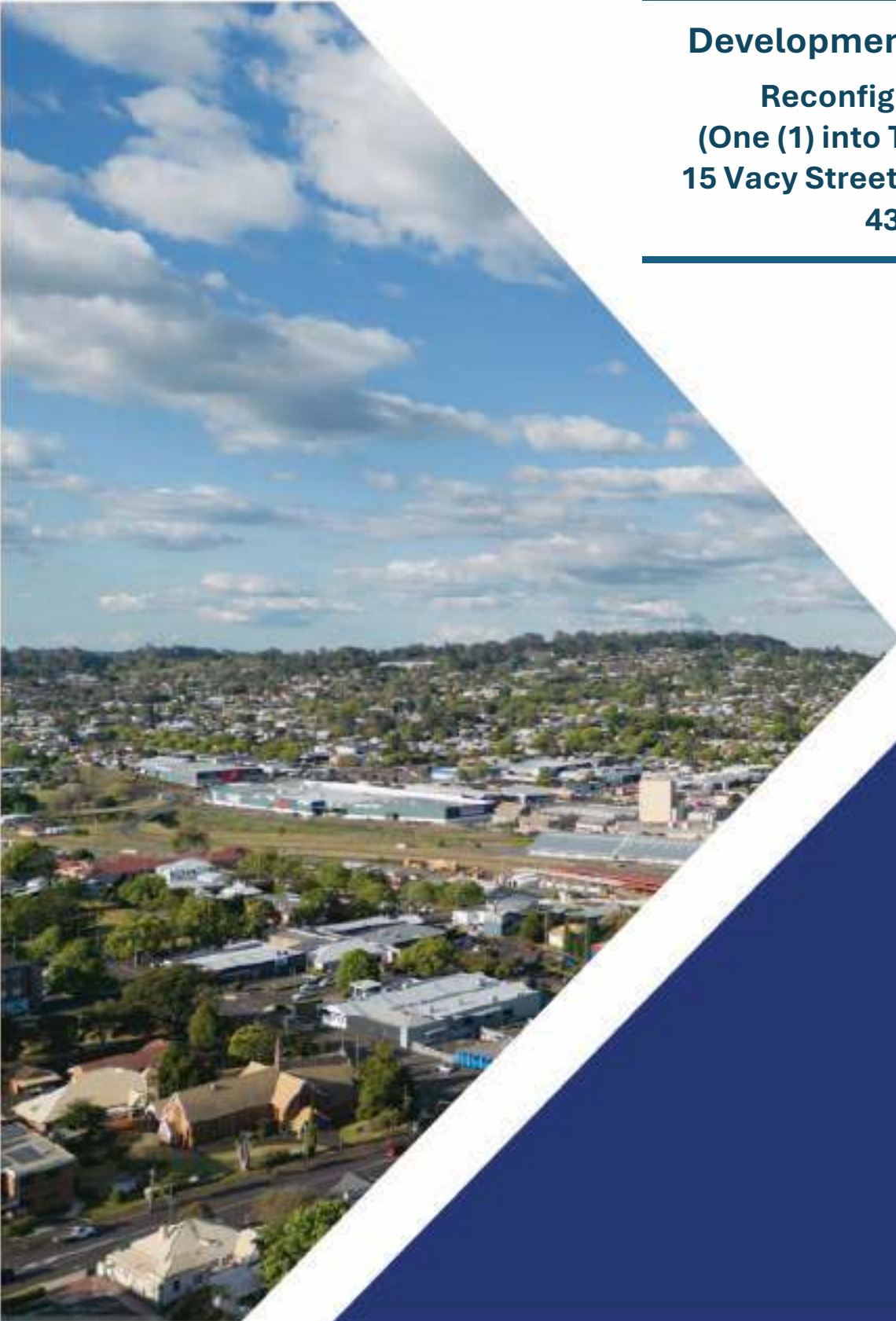


PLANNING REPORT

Development Application

Reconfiguring a Lot
(One (1) into Two (2) Lots) at
15 Vacy Street, Newtown, Qld
4350.



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Report Date:	17 April 2026

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1. Summary of Application Details

Applicant Details

Applicant Name:	One Five Six V Pty Ltd C/- Alpha Planning Applications
Applicant Contact Name:	Andrew Hill
Applicant Contact Address:	C/- Alpha Planning Applications PO Box 764, TOOWOOMBA QLD 4350
Applicant Contact Phone Number:	0439 373 414
Applicant Email Address:	andrew@alphaplanning.com.au

Proposal

Approval Type:	Development Permit
Development Type:	Reconfiguring a Lot
Proposed Development:	One (1) into Two (2) Lot Subdivision
Planning Scheme Definition:	Reconfiguring a Lot
Level of Assessment:	Impact Assessable
Referrals:	Nil
Planning Scheme:	<i>Toowoomba Regional Planning Scheme 2012</i>

Site Details

Address:	15 Vacy Street, Newtown, Qld 4350
Property Description:	Lot 4 RP16931
Site Area:	911m ²
Existing Use:	"Dwelling House"
Planning Scheme Zone:	Low-Medium Density Residential Zone
Planning Scheme Precinct:	Urban Consolidation Precinct
Local Plan:	Nil
Planning Scheme Overlays:	Airport Environs Overlay Neighbourhood Character Overlay
Landowner:	One Five Six V Pty Ltd

Proposal Details

General Description of Proposed Development:	One (1) into Two (2) Lot Subdivision
Planning Scheme Definition:	Reconfiguring a Lot
Existing Site Use:	"Dwelling House"
Existing Lot Size:	911m²
Proposed Lot Sizes:	Proposed Lot 14: 412m² Proposed Lot 15: 499m²
Street Frontage:	Bristol Street and Vacy Street
Existing Buildings:	Dwelling House (to be retained wholly within Proposed Lot 15)
Access:	<p>Both Lots will have compliant frontage and direct access to their road frontage as follows:</p> <p>Proposed Lot 14: Access via existing driveway to Bristol Street</p> <p>Proposed Lot 15: Access via proposed driveway to Vacy Street</p>
Services/Infrastructure:	<p>The subject land has access and will be connected to all urban infrastructure including:</p> <ul style="list-style-type: none"> • Reticulated Electricity; • Telecommunications; • Sealed Roads; • Reticulated Sewer; • Reticulated Water Supply; and • Stormwater Infrastructure (road drainage system).

2. Introduction

This report has been prepared to support the development application for Reconfiguring a Lot (One (1) into Two (2) Lot Subdivision) at 15 Vacy Street, Newtown, Qld 4350 – described as Lot 4 on RP16931. This report has been prepared on behalf of the applicant/owner, One Five Six V Pty Ltd.

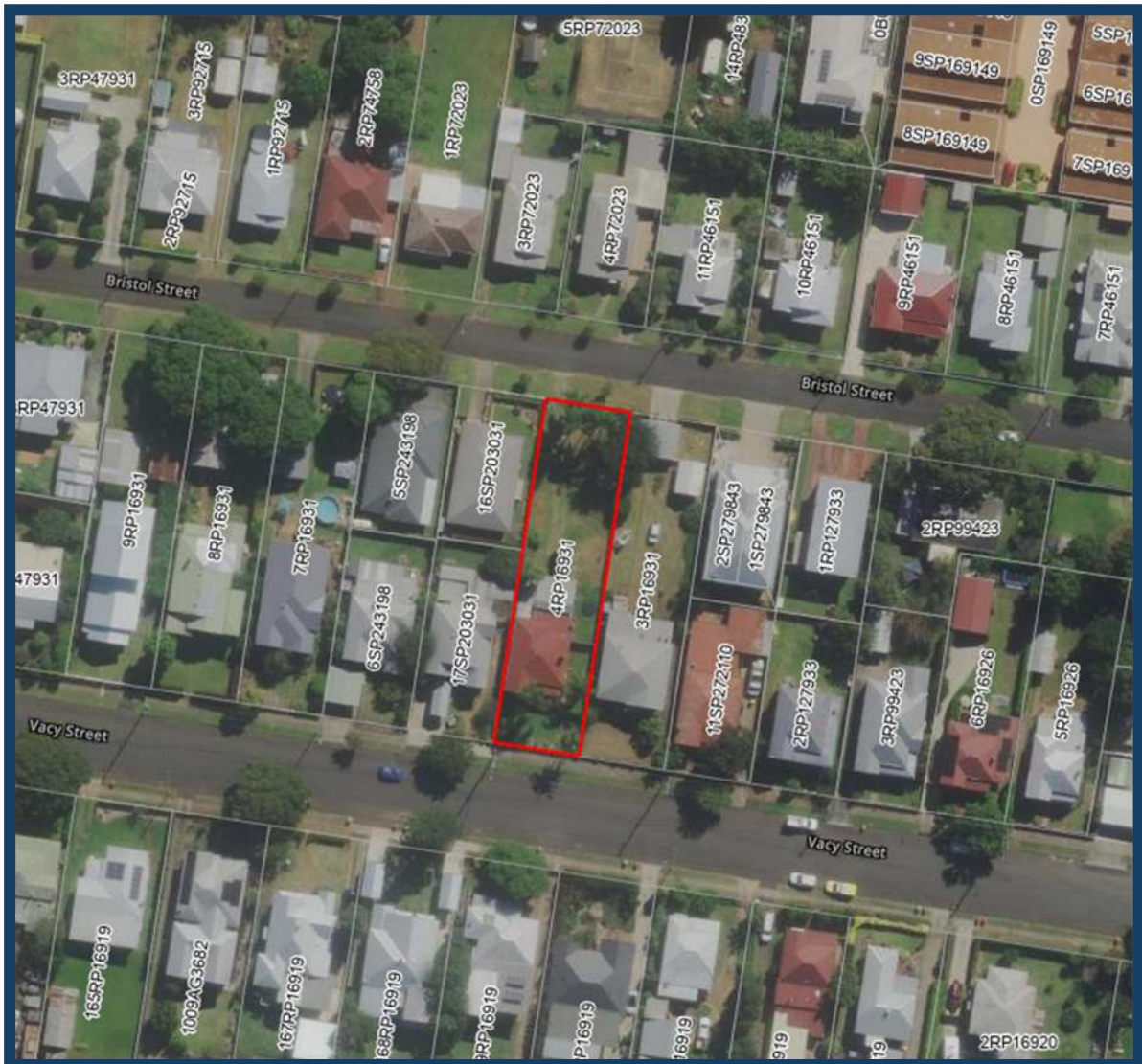


Figure 1: Aerial View of Subject Address

(Source: State DA Mapping)

The proposed development is for a Development Permit for a Reconfiguring a Lot, which is subject to Impact Assessment.

This report provides a comprehensive and detailed assessment against the Strategic Framework, Zone and Precinct Intent and applicable codes of the *Toowoomba Regional Planning Scheme 2012*, and state planning instruments including the *SEQRP*, *Darling Downs Regional Plan*, *State Planning Policy* and *State Development Assessment Provisions*; and in accordance with the legislative requirements of the *Planning Act 2016*.

The proposed development generally complies with the *Toowoomba Regional Planning Scheme 2012*, and applicable Council and State assessment requirements, and this report demonstrates this within.

3. Site

Site Description

The subject site is located at 15 Vacy Street, Newtown, Qld 4350 (described as Lot 4 on RP16931); and has a total site area of approximately 911m².



Figure 2: Aerial View of Development Site

(Source: State DA Mapping)

The site consists of a single, generally rectangular shaped allotment aligned on a north to south axis, with a frontage width to Bristol Street of approximately 15 metres and secondary frontage width to Vacy Street of approximately 15 metres. The subject site is currently improved by a single “Dwelling house” use with road access being available via an existing crossover to Bristol Street.

Planning Designations

The site is located within the Low-medium Density Residential Zone (Urban Consolidation Precinct), is covered by the Neighbourhood Character Overlay and Airport Environs Overlay (8km Wildlife Hazard Buffer Zone and Lighting Area Buffer (6 km)); and is located between two (2) Local Access Roads (Bristol Street and Vacy Street) under Council’s Road Hierarchy. Surrounding and adjoining sites are predominantly within the Low-medium Density Residential Zone (Urban Consolidation Precinct).



Figure 3: Zoning of site and surrounds

(Source: TRC Online Mapping)



Figure 4: Neighbourhood Character Overlay of site and surrounds

(Source: TRC Online Mapping)

Environment

Vegetation and Street Trees

The existing site has been historically cleared of all significant stands of vegetation and generally contains existing ornamental/residential landscaping. There are no existing Street Trees located within the site's frontages.

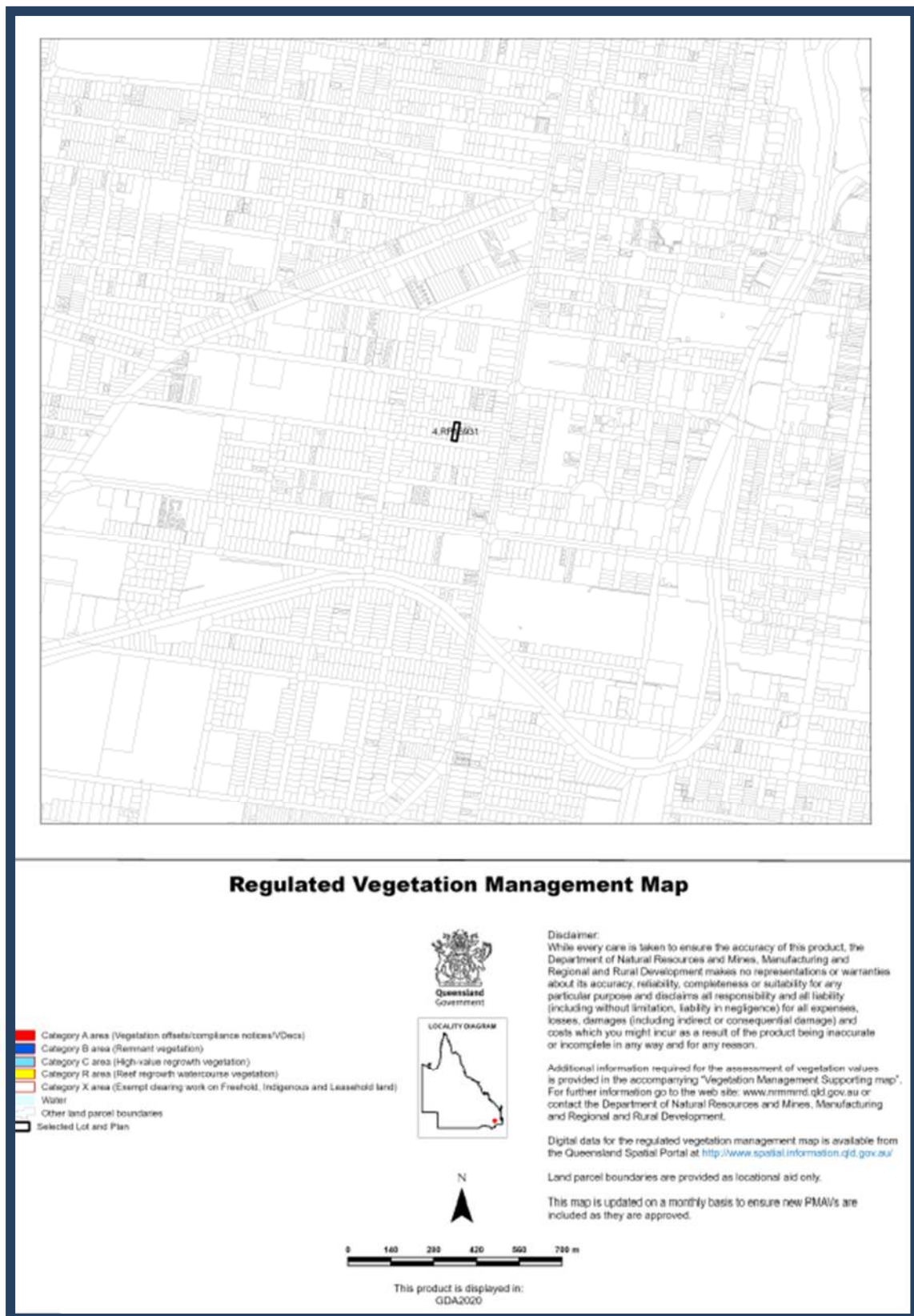


Figure 5: Regulated Vegetation Map

(Source: DNRM Website)

Watercourses

The subject site does not contain an identified watercourse.

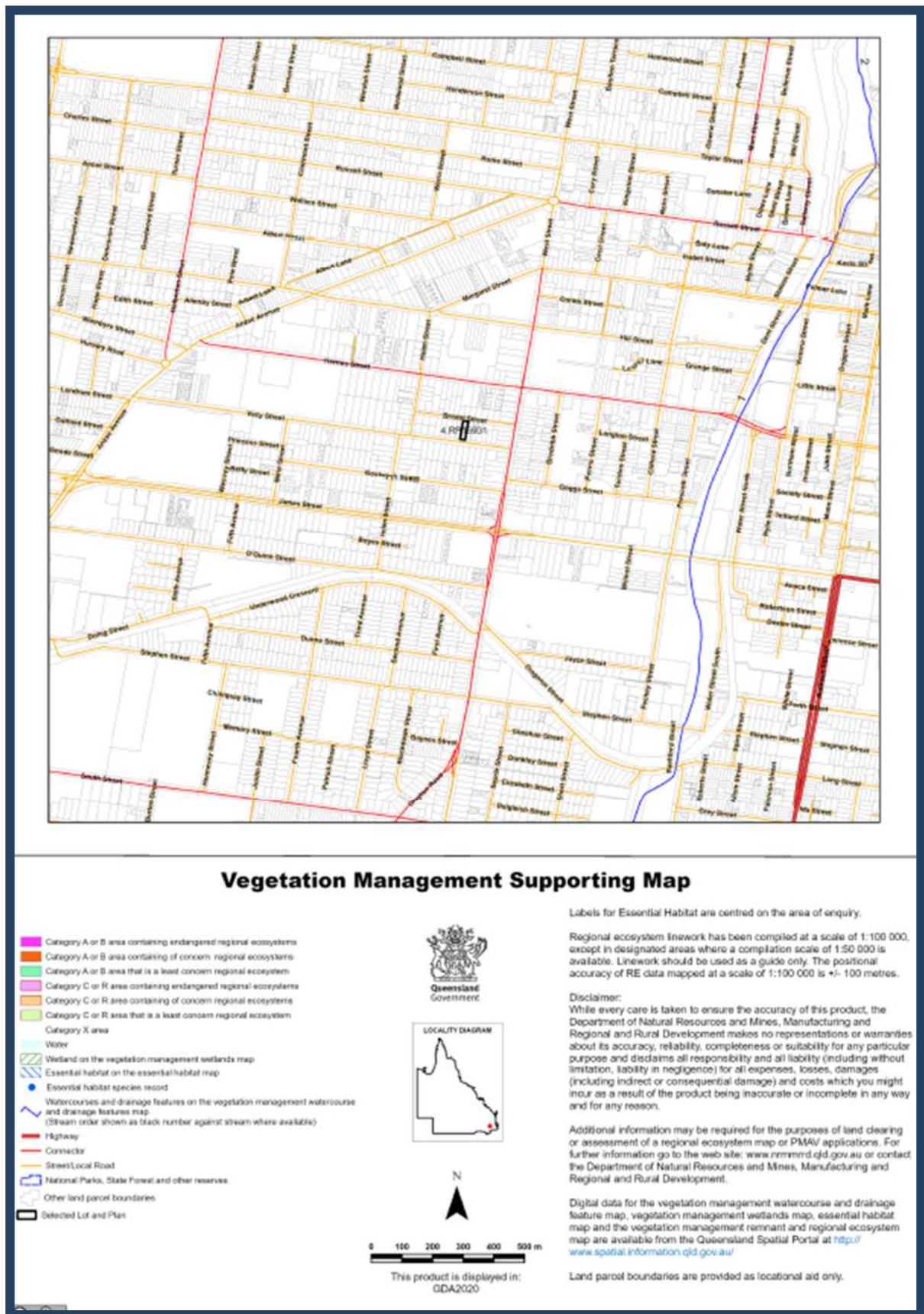


Figure 6: Vegetation Management Supporting Map

(Source: DNRM Website)

Referrable Wetlands

The site is not within or adjacent to a referable wetland.

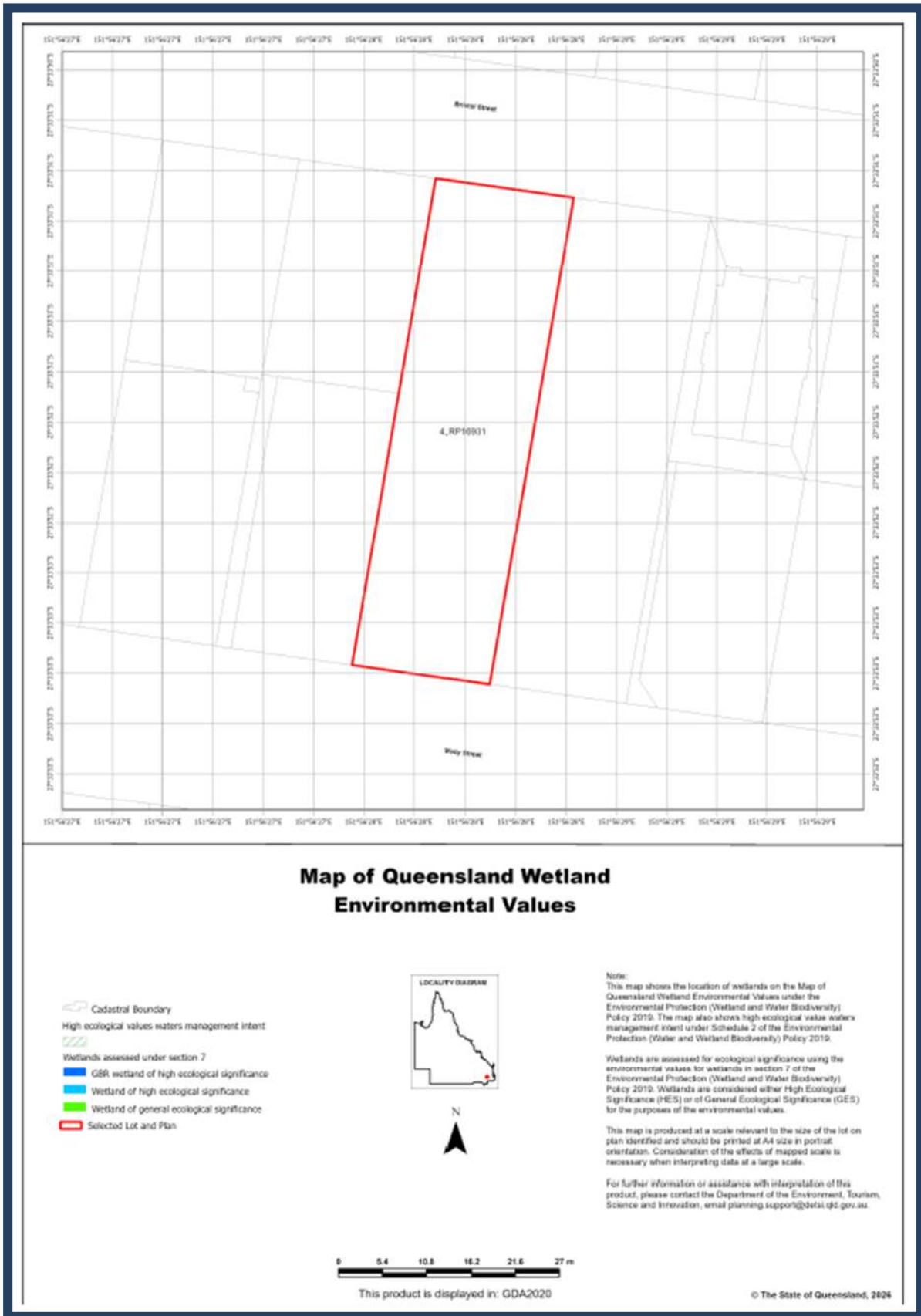


Figure 7: Referrable Wetlands (WPA)

(Source: DNRM Website)

Infrastructure

The site has access, and can be connected to all urban infrastructure as follows:

- Reticulated electricity – aboveground infrastructure on both road frontages and existing connection to subject site from Vacy Street;
- Telecommunications – including NBN - existing connection to subject site from Vacy Street;
- Bitumen Sealed Roads:
 - Vacy Street - approximately 12.00 metre wide bitumen sealed carriageway within a 20.00 metre wide road reserve with kerb and channel on both sides; and
 - Bristol Street - approximately 6.50 metre wide bitumen sealed carriageway within an approximately 15.00 metre wide road reserve with kerb and channel on both sides;
- Reticulated sewer – the site is within Council’s reticulated sewer network area:
 - existing “Dwelling” use is serviced by existing connection to the reticulated sewer line (150mm concrete sewer main) within the site (line running east to west through centre of site);
- Reticulated water supply – the site is within Council’s reticulated water supply network area:
 - existing “Dwelling” use is serviced by existing connection to reticulated water supply line (100mm PVC-U line) within site’s Vacy Street frontage; and
 - future use on proposed Lot 14 can be provided with connection to the reticulated water supply line (100mm DI line) within site’s Bristol Street frontage.
- Stormwater infrastructure – Vacy Street and Bristol Street – including underground pipe system within Vacy Street.

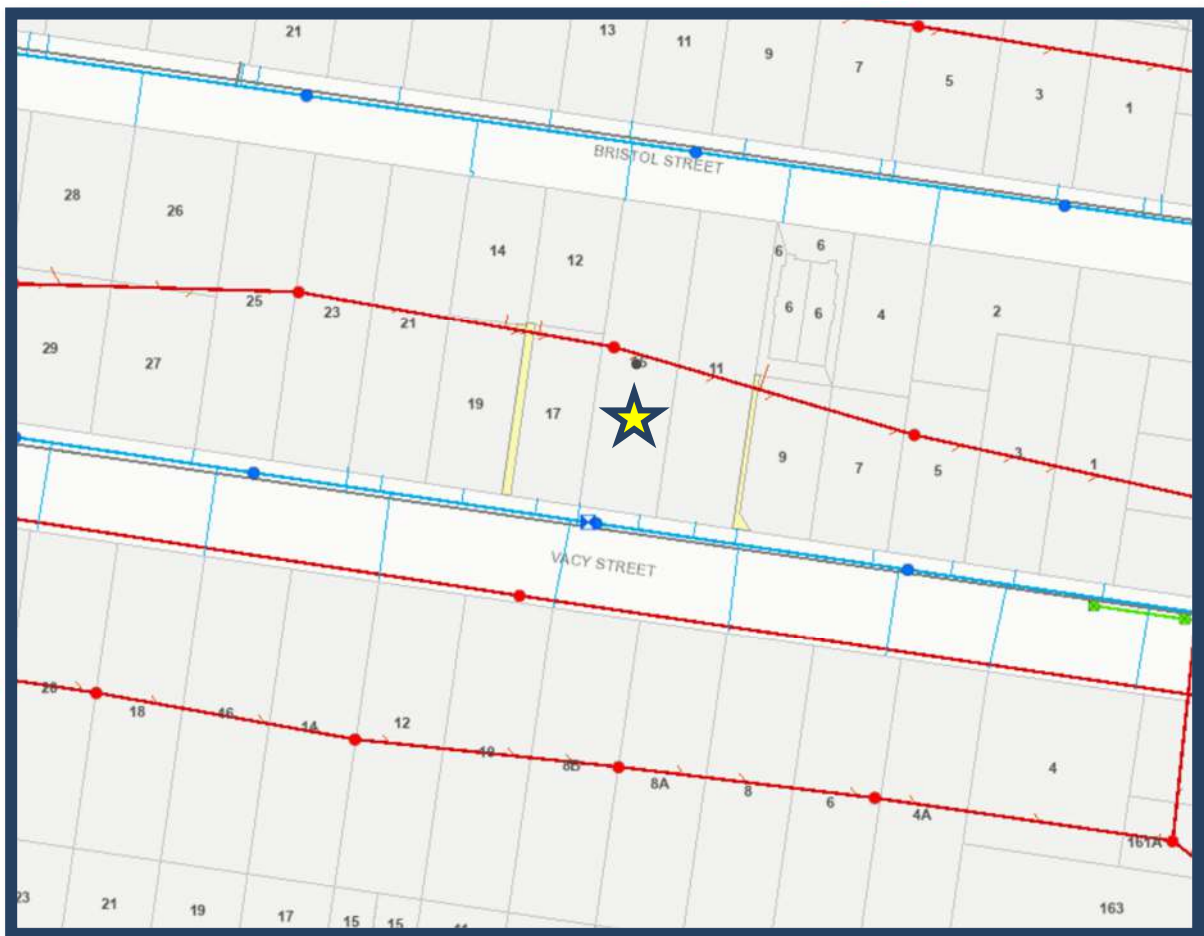


Figure 8: Infrastructure Mapping of site

(Source: TRC Online Mapping)

Access

There is an existing approximately 4.0 metre wide concrete kerb crossover and 'ribbon' driveway from Bristol Street for the existing "Dwelling house" use on the subject site. There is also a pedestrian access gate from Vacy Street to the existing "Dwelling house" use, however, the Vacy Street frontage does not currently provide vehicle access to the site.



Figure 9: View of existing kerb crossing from Bristol Street

(Source: Google Maps)



Figure 10: View of existing pedestrian access from Vacy Street

(Source: Google Maps)



Figure 11: Aerial view of subject site and surrounding road network

(Source: Google Earth)

Site History

There are no records of approval for the existing “Dwelling House” use on the subject site. It is considered that the existing “Dwelling House” use is an existing ‘lawful use’.

A Development Permit for a Reconfiguring of a Lot (1 into 2 lot subdivision) was previously approved over the site by Toowoomba Regional Council in 2017 (RAL/2017/6258). However, the approved subdivision was not carried out and the development permit has since lapsed. The approved subdivision plan reflects the same layout proposed under this current RAL application.

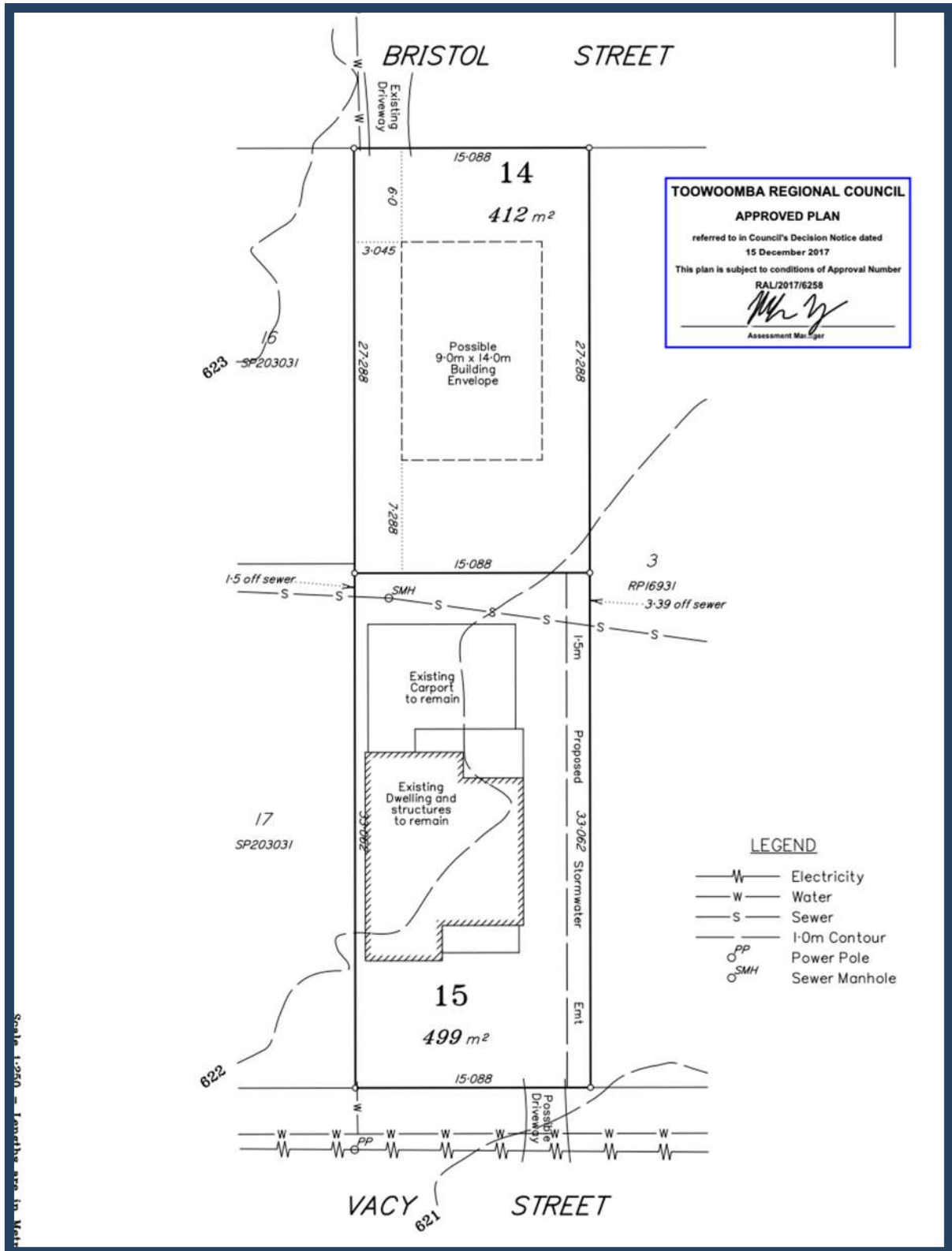


Figure 13: Approved plan of former proposed RAL (lapsed) (Source: Development.i – TRC)

4. Surrounding Uses

The subject site is located in Newtown, situated approximately 500 metres to the west of Toowoomba CBD. The subject site is within an existing residential area on the outskirts of the Toowoomba CBD, with the subject site and adjoining surrounding sites being located within the Low-medium Density Residential Zone and generally contain "Dwelling House" uses on lots of approximately 400m² to 1,000m² in area. Other nearby land uses among the surrounding residential area include Laurel Bank Park approximately 200m to the north-east, The Glennie School approximately 250m to the west, and Hall Thorpe Sports facility approximately 200m to the north.

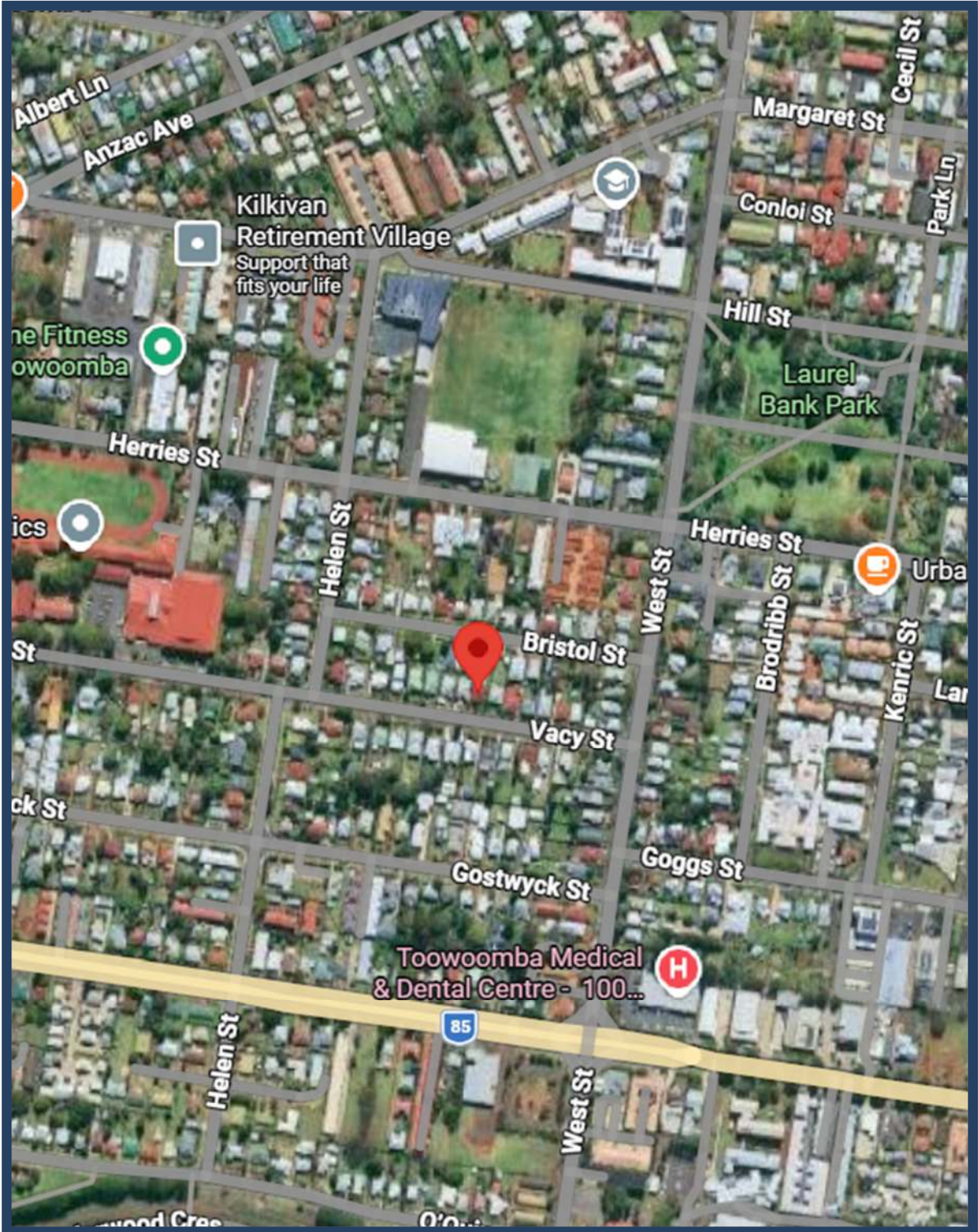


Figure 14: Surrounding Uses

(Source: Google Maps)

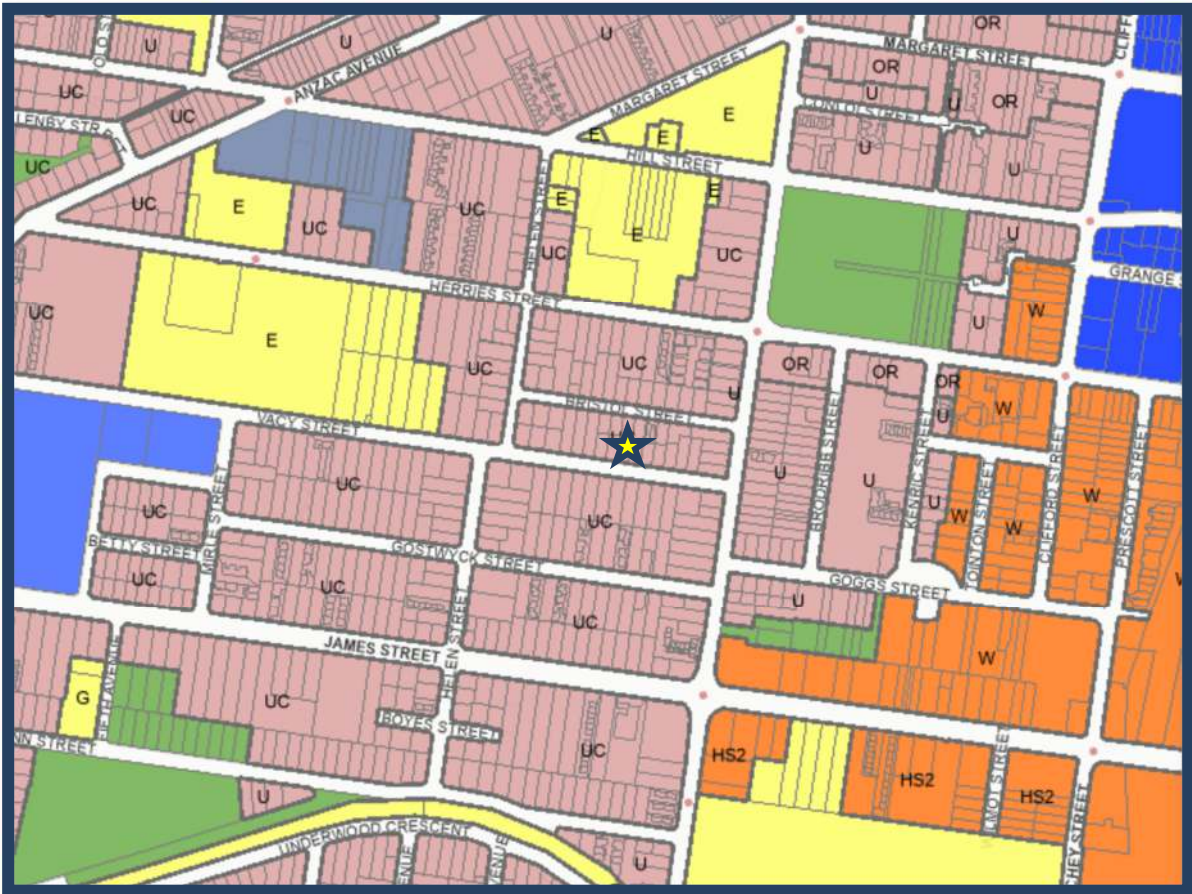


Figure 15: Surrounding Zones

(Source: TRC Online Mapping)

5. Proposed Development

Description of Proposed Reconfiguring a Lot

The applicant is seeking a Development Permit for Reconfiguring a Lot for a One (1) into Two (2) Lot Subdivision. The proposed subdivision will result in the creation of two residential lots within an existing 'urban consolidation precinct' of 412m² and 499m² (proposed Lot 15 to contain the existing "Dwelling house" use). The proposed development is Impact Assessable and details of the proposed development are generally as per below:

Details	Total
General Description of Use:	One (1) into Two (2) Lot Subdivision
Planning Scheme Description:	Reconfiguring a Lot
Existing Site Use:	"Dwelling house" use
Existing Lot Size:	911m ²
Proposed Lot Sizes:	Proposed Lot 14: 412m ² Proposed Lot 15: 499m ²
Minimum Road Frontage Width:	15.08 metres
Existing Buildings:	Dwelling house (to be retained wholly within Proposed Lot 15)
Street Frontage:	Bristol Street and Vacy Street
Proposed Street/Road Access:	Both Lots will have compliant frontage and direct access to their road frontage as follows: Proposed Lot 14: Access via existing driveway to Bristol Street Proposed Lot 15: Access via proposed driveway to Vacy Street
Services/Infrastructure:	The subject land has access and will be connected to urban infrastructure including: <ul style="list-style-type: none"> • Reticulated Electricity; • Telecommunications; • Sealed Roads; • Reticulated Sewer; • Reticulated Water Supply; and • Stormwater infrastructure

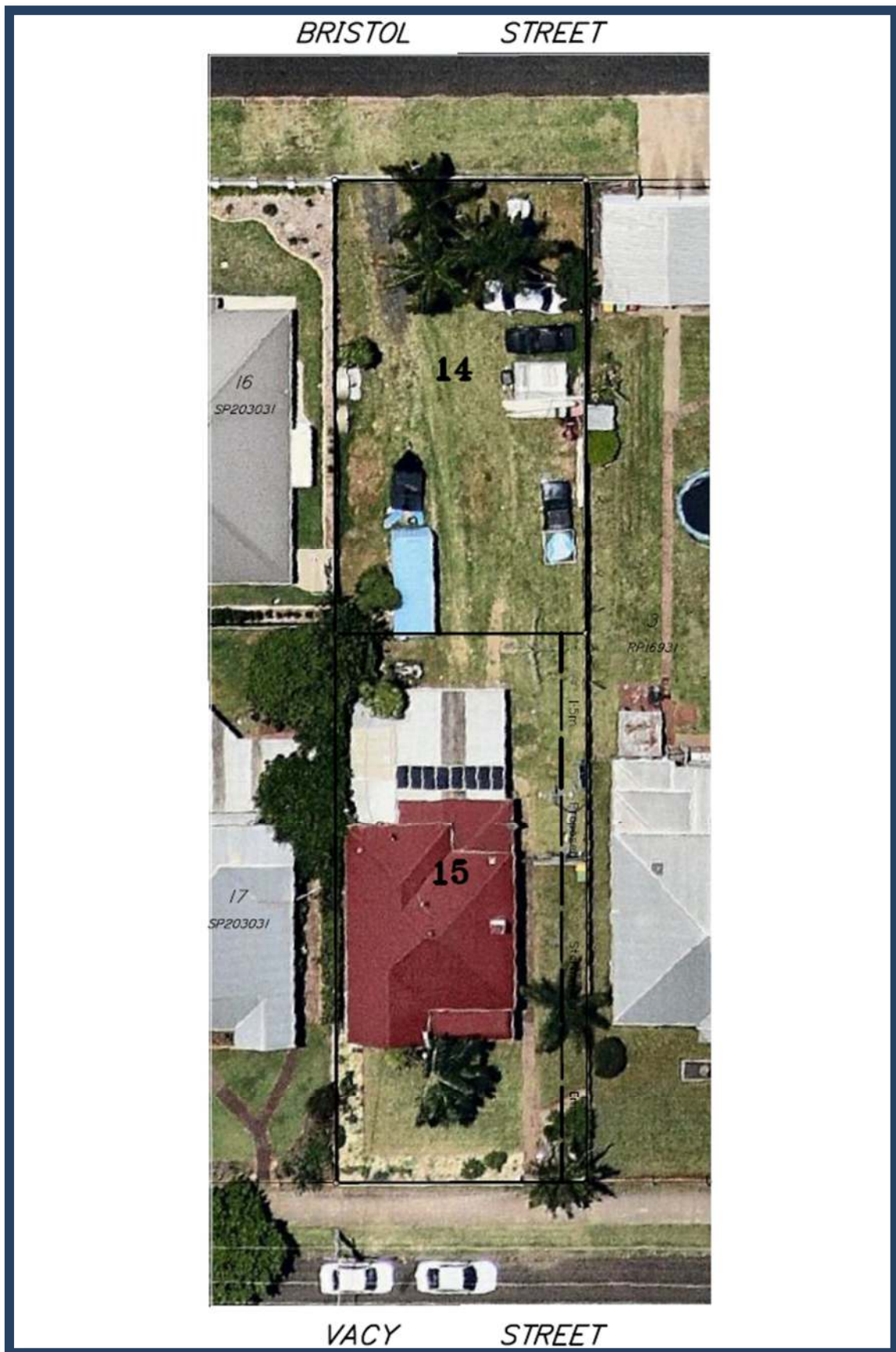


Figure 16: Proposed Reconfiguration Layout with Aerial Overlay

(Source: Byrne Surveyors)

The proposed lots will have compliant access to Bristol Street and Vacy Street, with proposed Lot 14 to utilise the existing access driveway within its proposed 15 metre frontage to Bristol Street and proposed Lot 15 to be provided with a new access to the 15 metre frontage to Vacy Street (for the existing "Dwelling house").

Details of the proposed Lots are as follows:

Proposed Lot	Lot Size	Road Frontage/Access
Lot 14	412m ²	15 metre wide frontage to Bristol Street
Lot 15	499m ²	15 metre wide frontage to Vacy Street

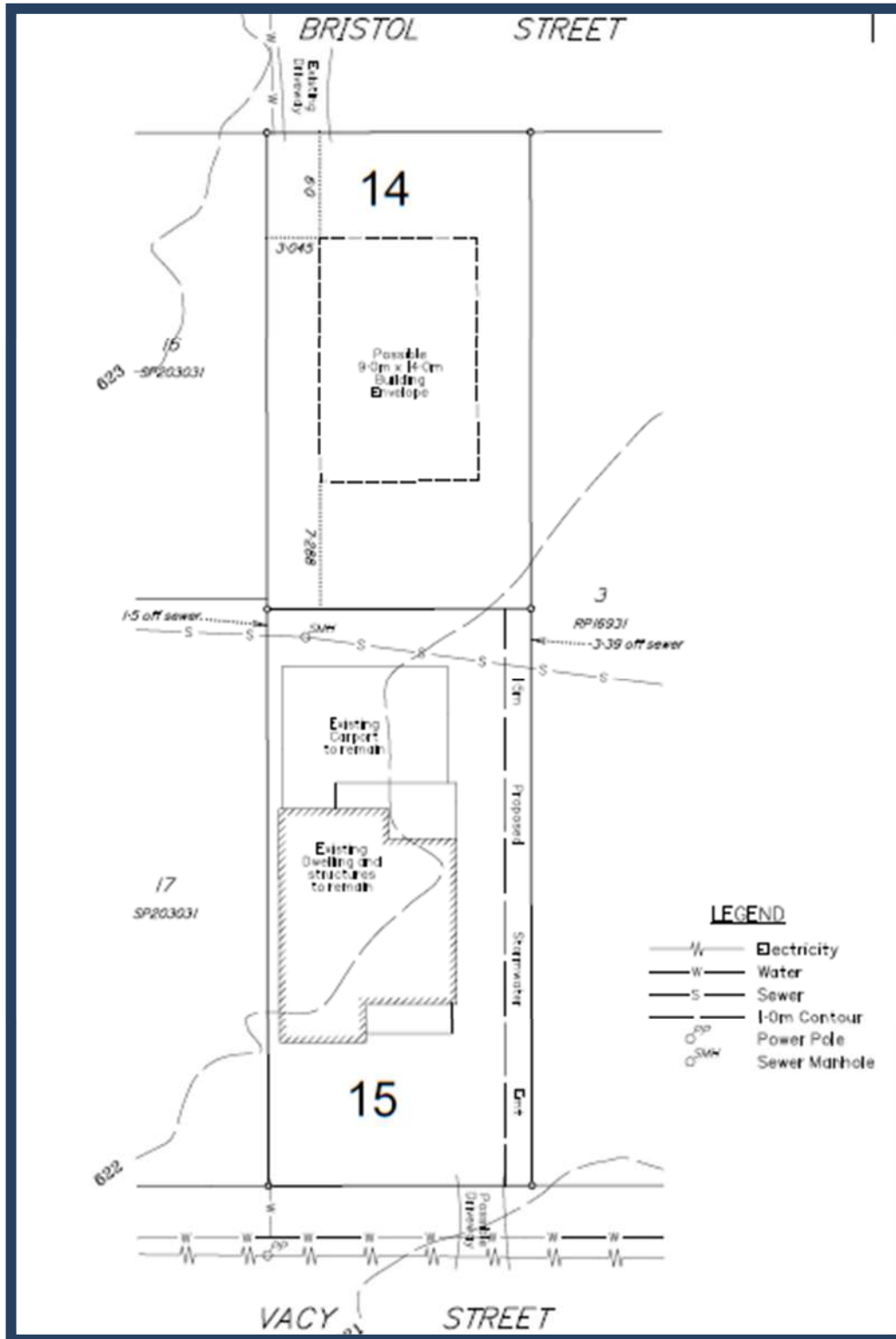


Figure 17: 'Clean Skin' Proposed Reconfiguration Layout

(Source: Byrne Surveyors)

Earthworks

The proposed development does not propose and will not require earthworks for the creation of the proposed lots. With future earthworks over proposed Lot 14 for future 'compliant uses' (i.e. Dwelling House" uses) to be assessed as part of its future Building Works application and/or an Operational Works Application for Stormwater/Earthworks.

Thus, it is considered that no further regard is required to earthworks in the assessment or conditioning of the application.

Infrastructure

The proposed lots will retain and can and will be compliantly connected to all available urban services and infrastructure – including reticulated water and sewer, electricity, telecommunications, stormwater and bitumen sealed roads.

Therefore, it is considered that no further regard to infrastructure provision/issues is required in the assessment or conditioning of the proposed development, other than as may be discussed further below.

Stormwater

Proposed Lot 15 will contain the existing "Dwelling House" use and the development will not alter its existing approved stormwater discharge methods and characteristics. Proposed Lot 14 has a fall from its front boundary to the southern rear boundary towards Vacy Street. Stormwater from any future use (i.e. a "Dwelling House") on this lot is proposed to be discharged to Vacy Street via a Stormwater Easement through proposed Lot 15 (refer to attached Proposal Plans). This method of stormwater discharge will ensure there is no potential adverse impacts or nuisance on adjoining or downstream uses.

As such, it is considered that no further regard is required to stormwater in the assessment of the application by Council. Appropriate conditioning of the approval by Council can be confidently applied to the approval to ensure compliance with the proposed stormwater discharge methods, and in accordance with the proposed Stormwater Easement arrangement as shown in the attached Proposal Plans.

Sewer/Effluent Disposal

The development site is within the reticulated sewer network area and both proposed lots will be able to retain existing compliant connections (i.e. Lot 15) or can be provided with a compliant connection (i.e. Lot 14) to the existing reticulated sewer infrastructure – without the need to extend or upgrade existing sewer infrastructure. Noting that the proposed new boundary line only be approximately 1.5 metres away from the existing sewer line within proposed Lot 15.

Hence, it is considered that no further regard to sewer/effluent disposal is required for the assessment of the proposed development and that appropriate reasonable and relevant 'standard' conditions of approval requiring their connection, or the retention of existing connections, will ensure compliance with the Planning Scheme is achieved/maintained.

Water Supply

The development site is within the reticulated water supply network area and all proposed lots will be able to retain or be provided with compliant connections to the existing water supply infrastructure within either road frontage – without the need to extend or upgrade existing water supply infrastructure.

Accordingly, it is considered that no further regard to water supply is required for the assessment of the proposed development and that appropriate reasonable and relevant 'standard' conditions of approval requiring their connection, or the retention of existing connections, will ensure compliance with the Planning Scheme is achieved/maintained.

Electricity and Telecommunications

The development site is within the reticulated electricity and telecommunications network area and all proposed lots will be able to be connected to or retain existing connections to the reticulated electricity and telecommunications network infrastructure within their street frontages, and the approval can be conditioned accordingly.

Consequently, it is considered that no further regard to Electricity and Telecommunications is required for the assessment or conditioning of the proposed development - other than the imposition of standard reasonable and relevant conditions of approval requiring the proposed lots to be provided with or retain compliant connections.

Access and Roads

The proposed lots will utilise existing or new accesses to Bristol Street and Vacy Street within their respective road frontages. Noting also that both lots will be provided with compliant road frontages. Proposed Lot 14 will utilise the existing access driveway within its proposed 15 metre frontage to Bristol Street, with any alteration to this or the provision of an alternate constructed access being subject to future assessment by Council to ensure compliance is maintained/achieved. Proposed Lot 15 is to be provided with a new access to the 15 metre frontage to Vacy Street (for the existing "Dwelling house").

Further to the above, it is noted that Bristol Street and Vacy Street are fully constructed bitumen sealed roads constructed to Council's standards; and their current alignment and construction standards will ensure compliant sight distances are provided for both proposed lots within the existing 'low speed environment'. Therefore, it is considered that no further regard to Access and Roads is required for the assessment or conditioning of the proposed development.

Traffic Impacts

A formal Traffic Impact Assessment (TIA) has not been prepared, and is not considered to be required, given the existing road construction standards, relatively low speed limits, sight distances available to all lots' frontages and access points, and the relatively minor contribution of the development to potential impacts upon the external road transport network. With only One (1) additional lot created, which would equate to a potential maximum increase of only Nine (9) additional vehicle movements per day (9 movements per Lot/Dwelling).

Neighbourhood Character

The proposed Reconfiguring a Lot will not affect or adversely impact upon the existing streetscape or the amenity of the surrounding area. With the proposed lot sizes, dimensions and road frontages being compliant with the relevant Zone Code, Zone and Precinct intents, and the existing streetscape character. It is also noted that:

- the existing "Neighbourhood Character Place" (dwelling) is retained and will remain unchanged;
- the new proposed lot has sufficient area for future development (i.e. "Dwelling house") that can incorporate building siting and setbacks which are consistent with the local streetscape pattern;
- any future development would be sympathetic to and respectful of the Local Streetscape;
- any future development should not detract from the appearance of retained existing buildings on the premises, or on adjoining premises, when viewed from a public place; and
- whilst the existing surrounding streetscape is comprised of "Neighbourhood Character Places", the original streetscape character has been somewhat 'eroded' and now comprises a mixture of styles and character elements that vary from the identified neighbourhood character places. Adjoining and neighbouring properties to the east and west of the subject site have been previously subdivided, with construction of more modern brick veneer slab on ground dwellings occurring on such lots.

Therefore, it is considered that no further regard is required to 'neighbourhood character' in the assessment of the application and/or the conditioning of the approval

Landscaping

The proposed development will allow for significant landscaping and vegetation to be retained and/or provided within the sites. As such, no further regard to this is required for the assessment or conditioning of the proposed development.

Environmental (Acoustic, Dust/Air Quality, Vibration etc) Issues

The proposed development will not result in the potential for adverse acoustic, air quality or other adverse environmental impacts on existing or future development; and/or be impacted upon by surrounding uses and/or infrastructure. Hence, it is considered that no further regard is required to 'Environmental (Acoustic, Dust/Air Quality, Vibration etc) Issues' in relation to the assessment and/or conditioning of the approval by Council.

6. Statutory Planning Framework

Planning Act 2016 (PA)

The *Planning Act 2016* (PA) requires that the applicant obtain a Development Permit for an Impact Assessable Reconfiguring a Lot for the proposed One (1) into Two (2) Lot Subdivision.

Section 45 of the PA requires that Council assess the Impact Assessable application against all relevant sections of the *Toowoomba Regional Planning Scheme 2012*.

In accordance with *Section 68(1)* of the PA this application is submitted and should be assessed in accordance with the current version of the *Development Assessment Rules*.

State Planning Policy (July 2017)

The Queensland Government introduced a single State Planning Policy (SPP) in December 2013 which replaced previous State Planning Policies and was subsequently amended in April 2016 and again in July 2017. The SPP provides a comprehensive set of principles which underpin Queensland's planning system to guide the State and local government in land use planning and development assessment. The State Planning Policy applies to the proposed development. The State Planning Policy identifies all state interests in one policy and replaces previous State Planning Policies. The policy seeks to guide local governments and relevant state agencies in their planning processes. The State Planning Policy contains 17 state interests contained within five (5) broad themes, as follows:

- Liveable Communities and Housing;
- Economic Growth;
- Environment and Heritage;
- Safety and Resilience to Hazards; and
- Infrastructure.

Schedule 2 of the *Planning Act 2016* defines state interests as an interest that the Minister considers:

- affects an economic or environmental interest of the State or a part of the State;* or
- affects the interest of ensuring this Act's purpose is achieved.*

State Planning Policy Mapping

The SPP Mapping Layers that apply to the subject land (as shown on DSDIPs SPP Interactive Mapping System (DA)) are listed below:

1. Natural Hazards Risk and Resilience
 - Flood hazard area – Local Government flood mapping area

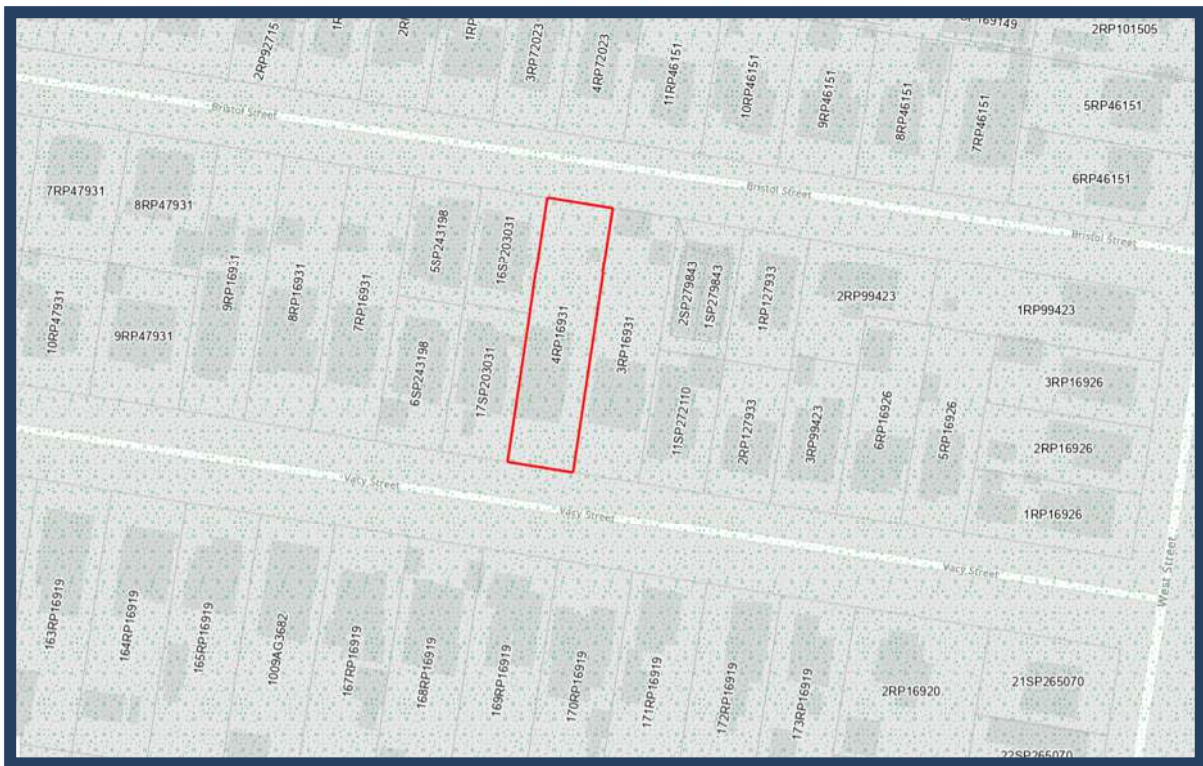


Figure 18: State Planning Policy Map

(Source: State Planning Policy Mapping)

Interim Development Assessment Requirements

In order to demonstrate compliance with the state interests the proposal must be assessed against the applicable Interim Development Assessment Requirements of the State Planning Policy.

Part E of the SPP lists the state interests for which interim development assessment requirements have been prepared by the State, when the requirements apply to development and what the development application is to be assessed against.

These state interests are:

- Housing Supply and Diversity;
- Liveable Communities;
- Agriculture;
- Development and Construction;
- Mining and extractive resources;
- Tourism;
- Biodiversity;
- Coastal environment;
- Cultural Heritage;
- Water quality;
- Emissions and hazardous activities;
- Natural Hazards, Risk and Resilience;
- Energy and Water Supply;
- Infrastructure Integration;
- Transport Infrastructure;
- Strategic Airports and Aviation Facilities;
- Strategic Ports.

The proposed development has been assessed against the applicable state interests included under *Part E: State Interest Policies and Assessment Benchmarks* of the SPP and where relevant is considered to comply accordingly.

Liveable Communities and Housing

Housing Supply and Diversity

Diverse, accessible and well-serviced housing, and land for housing, is provided and supports affordable housing outcomes.

This state interest does not apply to the proposed development.

Liveable Communities

Liveable, well-designed and serviced communities are delivered to support wellbeing and enhance quality of life.

The Liveable communities state interest development assessment requirements apply to a development application in an urban area involving premises that is, or will be, accessed by common private title, for:

- (1) a material change of use, or reconfiguring a lot; and*
- (2) the application involves buildings – either attached or detached – that are not covered by other legislation or planning provisions mandating fire hydrants.*

This state interest does not apply to the proposed development.

Economic Growth

Agriculture

The resources that agriculture depends on are protected to support the long-term viability and growth of the agricultural sector.

This state interest does not apply to the proposed development.

Development and Construction

Employment needs, economic growth, and a strong development and construction sector are supported by facilitating a range of residential, commercial, retail, industrial and mixed use development opportunities.

This state interest does not apply to the proposed development.

Mining and Extractive Resources

Extractive resources are protected and mineral, coal, petroleum and gas resources are appropriately considered to support the productive use of resources, a strong mining and resource industry, economical supply of construction materials, and avoid land use conflicts where possible.

The Mining and extractive resources state interest development assessment requirements apply to a

- (1) reconfiguring a lot within a KRA; or*
- (2) a material change of use within the resource/processing area of a KRA or the separation area for the resource/processing area of a KRA; or*
- (3) a material change of use within the transport route separation area of a KRA that will result in an increase in the number of people working or residing in the transport route separation area.*

However, requirements (2) and (3) above do not apply to the assessment of a material change of use for a:

- (a) dwelling house on an existing lot; or*
- (b) home-based business (where not employing more than two non-resident people on a full-time equivalent basis); or*
- (c) caretaker's accommodation (associated with an extractive industry); or*
- (d) animal husbandry; or*
- (e) cropping.*

This state interest does not apply to the proposed development.

Tourism

Tourism planning and development opportunities that are appropriate and sustainable are supported, and the social, cultural and natural values underpinning tourism developments are protected.

This state interest does not apply to the proposed development.

Environment and Heritage

Biodiversity

Matters of environmental significance are valued and protected, and the health and resilience of biodiversity is maintained or enhanced to support ecological processes.

This state interest does not apply to the proposed development.

Coastal Environment

The coastal environment is protected and enhanced, while supporting opportunities for coastal-dependent development, compatible urban form, and maintaining appropriate public use of and access to, and along, state coastal land.

This state interest does not apply to the proposed development.

Cultural Heritage

The cultural heritage significance of heritage places and heritage areas, including places of Aboriginal and Torres Strait Islander cultural heritage, is conserved for the benefit of the community and future generations.

This state interest does not apply to the proposed development.

Water Quality

The environmental values and quality of Queensland waters are protected and enhanced.

The Water Quality state interest applies to:

For Receiving Waters, a development application for:

- (1) a material change of use for an urban purpose that involves premises 2500 metres² or greater in size and;
 - (a) will result in six or more dwellings; or*
 - (b) will result in an impervious area greater than 25 per cent of the net developable area; or**
- (2) reconfiguring a lot for an urban purpose that involves premises 2500 metres² or greater in size and will result in six or more lots; or*
- (3) operational works for an urban purpose that involves disturbing a land area 2500 metres² or greater in size.*

This state interest does not apply to the proposed development.

Safety and Resilience to Hazards

Emissions and hazardous activities

Community health and safety, and the natural and built environment, are protected from potential adverse impacts of emissions and hazardous activities. The operation of appropriately established industrial development, major infrastructure, and sport and recreation activities is ensured.

This state interest does not apply to the proposed development.

Natural Hazards, Risk and Resilience

The risks associated with natural hazards, including the projected impacts of climate change, are avoided or mitigated to protect people and property and enhance the community's resilience to natural hazards.

The Natural Hazards state interest development assessment requirements apply to a development application for a material change of use, reconfiguration of a lot or operational works on premises in any of the following:

- (1) bushfire prone areas*
- (2) flood hazard areas*
- (3) landslide hazard areas*
- (4) storm tide inundation areas*
- (5) erosion prone area.*

This state interest applies to the proposed development. However, the *Toowoomba Regional Planning Scheme 2012* adequately addresses the Natural Hazards, Risk and Resilience considerations of this State interest within its Flood Hazard Overlay Code, to which the proposed development complies – refer to assessment of the proposed development against the Flood Hazard Overlay Code herein. Therefore, it is considered that the proposal complies with the requirements of this State interest and will not result in a conflict with it.

Infrastructure

Energy and Water Supply

The timely, safe, affordable and reliable provision and operation of electricity and water supply infrastructure is supported and renewable energy development is enabled.

This state interest does not apply to the proposed development.

Infrastructure Integration

The benefits of past and ongoing investment in infrastructure and facilities are maximised through integrated land use planning.

This state interest does not apply to the proposed development.

Transport Infrastructure

The safe and efficient movement of people and goods is enabled, and land use patterns that encourage sustainable transport are supported.

This state interest does not apply to the proposed development.

Strategic Airports and Aviation Facilities

The operation of strategic airports and aviation facilities is protected, and the growth and development of Queensland's aviation industry is supported.

This state interest does not apply to the proposed development.

Strategic Ports

The operation of strategic ports and priority ports is protected and their growth and development is supported.

This state interest does not apply to the proposed development.

Referral Agencies

Mapping of State Interests

The SDAP Mapping Layers that apply to the subject land as shown on DSDIPs DA Mapping System are listed below:

1. Water Resources
 - Water resource planning area boundaries
 - Great artesian water resource plan area

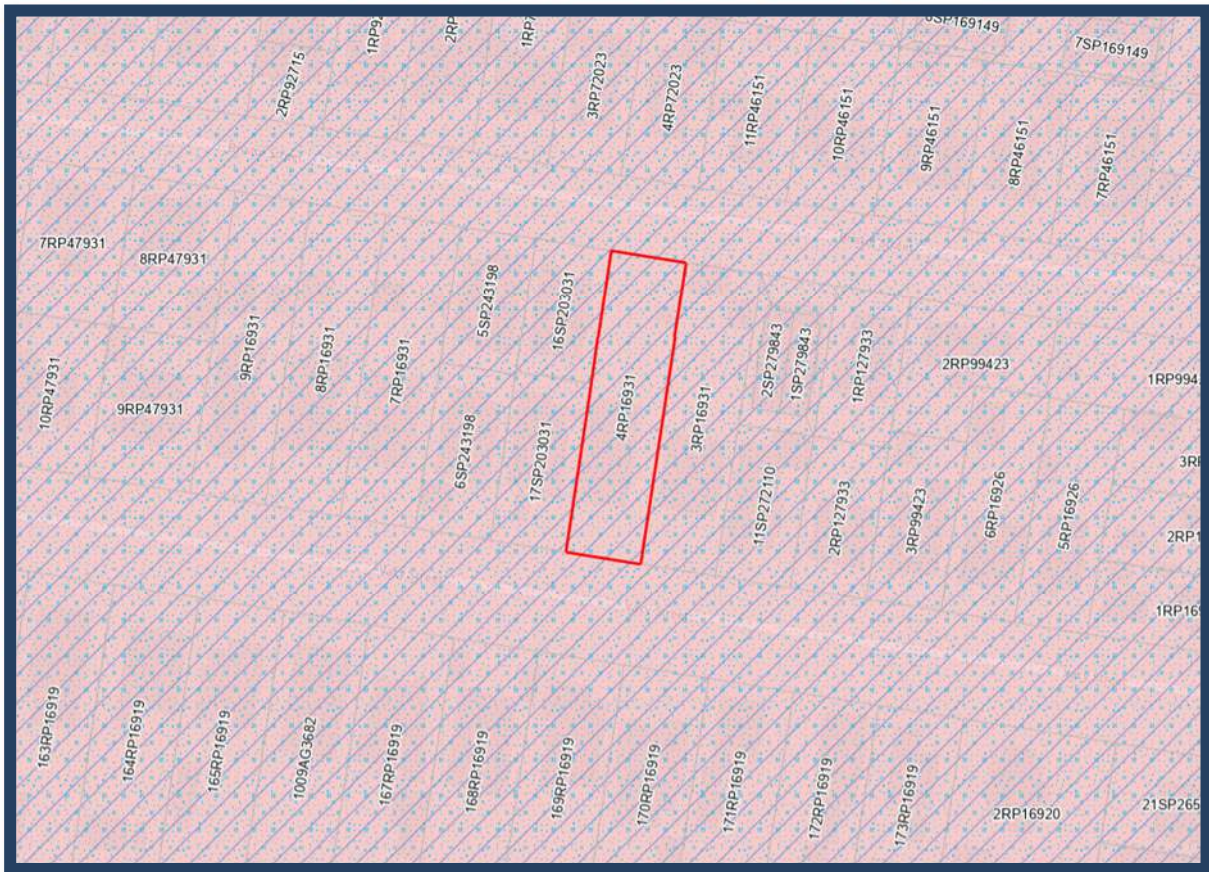


Figure 19: State Interests Map

(Source: State DA Mapping)

State Referral Triggers

In accordance with the *Planning Regulation 2017* the proposed development does not require referral to the State.

State Development Assessment Provisions

The State Development Assessment Provisions (SDAP) set out matters of interest to the state for development assessment, where the chief executive administering the *Planning Act 2016* (the Act) is responsible for assessing or deciding development applications.

The SDAP contains the criteria for assessment by the chief executive as either an assessment manager or a referral agency. The SDAP is not applied by local government in the assessment of development applications and only applications that trigger referral to the state must be assessed against the applicable provisions (SDAP).

South-East Queensland (SEQ) Regional Plan

The purpose of the South-East Queensland Regional Plan 2009 – 2031 (SEQ Regional Plan) is to manage regional growth and change in the most sustainable way to protect and enhance quality of life in the region.

The following parts of the SEQ Regional Plan are relevant when assessing a development application...

- *the sub-regional narratives in Part C*
- *the regional policies in Part D.*

An application conflicts with the SEQ Regional Plan if it does not comply with the sub-regional narratives in Part C or the regional policies in Part D.

The SEQ Regional Plan allocates all land into one of three regional land use categories:

- *Regional Landscape and Rural Production Area*
- *Urban Footprint*
- *Rural Living Area*

The proposed residential development is in the Low-medium Residential Density Zone and within the Urban Footprint area and is not unsuitable for urban development due to other constraints (e.g. slope, flooding, significant biodiversity values or scenic amenity).

Therefore, it complies with the requirements of the SEQ Regional Plan and does not require statutory referral to the Department of State Development, Infrastructure and Planning (DSDIP).

Darling Downs Regional Plan

The Darling Downs region has long been one of Queensland's most important agricultural assets, accounting for around a quarter of the state's agricultural production. From agriculture, the region developed into a diverse and resilient economy. Mining has also been a mainstay of the Darling Downs economy. The large reserves of thermal coal and coal seam gas in the Surat Basin continue to attract international investment.

The Darling Downs Regional Plan, adopted on 14 October 2013, covers the local authority areas of:

- Balonne Shire Council
- Goondiwindi Regional Council
- Maranoa Regional Council
- Southern Downs Regional Council
- Toowoomba Regional Council
- Western Downs Regional Council

The policies contained in the regional plan will contribute towards the protection of strategic areas of priority agricultural land use from potentially incompatible resource activities and maximise opportunities for co-existence of resources and agricultural land use.

It is considered that the development satisfies the outcomes of the Darling Downs Regional Plan.

7. Toowoomba Regional Planning Scheme 2012

The following provides an assessment of the proposed development against the applicable provisions of the *Toowoomba Regional Planning Scheme 2012*.

Definition of Proposed Use/Development

The proposed development is defined as a Reconfiguring a Lot (One (1) into Two (2) Lots) under the *Toowoomba Regional Planning Scheme 2012*.

Level of Assessment

The proposed Reconfiguring a Lot (One (1) into Two (2) Lots) is Impact Assessable development within the Low-medium Density Residential Zone and Neighbourhood Character Overlay under the *Toowoomba Regional Planning Scheme 2012*. The proposed development is assessable against the entire Planning Scheme, including the Strategic Framework and Zone Intent, as well as the applicable codes of the Planning Scheme herein.

Assessment Against Strategic Framework

The following provides an assessment of the proposed development against the Planning Scheme's Strategic Framework:

Themes	Response
<p>Settlement Pattern</p>	<p>The proposed subdivision is generally consistent with and will not result in a conflict with this 'theme' as the proposed subdivision seeks to support the provision of 'residential growth' (additional housing stock) as infill development within an existing urban residential area at a density consistent with that intended for the area/zone in which the site is located.</p> <p>The proposed development will provide much needed increased residential densities in the form of 'appropriate infill development' at a density consistent with the Strategic Outcomes sought; and without adverse impacts upon and without conflict with the other themes of the Strategic Framework.</p> <p>Furthermore, the proposed development will not adversely impact upon the 'network of towns', desired 'compact urban form', 'suburban neighbourhoods', or 'urban neighbourhoods', will positively contribute to sustainable urban development' will not adversely impact upon 'natural places', is not subject to 'development constraints', and generally maintains the existing amenity and character within the locality.</p>
<p>Natural Environment</p>	<p>As discussed within this report the proposed subdivision will not have an adverse impact upon the natural environment and therefore will not result in a conflict with this 'theme'.</p> <p>The proposed subdivision will adequately mitigate its limited potential impacts (i.e. stormwater).</p>
<p>Community Identity</p>	<p>The proposed subdivision will not result in a conflict with this 'theme' and maintains the existing character of the area and will positively contribute to the achievement of the 'housing diversity and affordability' element of this theme.</p>

<p>Natural Resources and Landscape</p>	<p>The proposed subdivision will not adversely impact upon natural resources and scenic landscapes. Therefore, the proposed development will not result in a conflict with this 'theme'.</p>
<p>Access and Mobility</p>	<p>The proposed subdivision will not result in a conflict with this 'theme' as any future use (i.e. "Dwelling house") will be adequately and appropriately serviced by, and able to gain appropriate access to, the available transport and public transport networks/services; and can enable residents to obtain access to relevant services and recreation areas by alternate transport methods such as walking and cycling.</p>
<p>Infrastructure and Services</p>	<p>The proposed subdivision will not result in a conflict with this 'theme' as it will not adversely impact upon existing or future infrastructure delivery/services and will not compromise existing/future infrastructure networks. Whilst also ensuring that any future use will be serviced by all urban infrastructure networks.</p>
<p>Economic Development</p>	<p>The proposed subdivision will not result in a conflict with this 'theme' and will positively contribute to the achievement of the relevant elements of this theme by providing urgently needed housing stock to accommodate the growing population of the region that contributes to the economic growth and prosperity of the region.</p>

Therefore, it is considered that the proposed use is generally consistent with, and is not in conflict with, the Strategic Framework of the Planning Scheme.

Assessment Against Purpose and Intent of the Low-medium Density Residential Zone Code

The following provides an assessment of the proposed development against the Purpose and Intent of the Low-medium Density Residential Zone:

- (1) *The purpose of the Low-medium Density Residential Zone Code is to provide for a range and mix of dwelling types including dwelling houses and multiple dwellings and community uses and small-scale services, facilities and infrastructure that cater for local residents. The code will ensure that the amenity and lifestyle of residents in the Low-medium Density Residential Zone is conserved while providing mechanisms to promote and implement a mix of housing forms at a density appropriate to each locality and precinct located within the zone A limited mix of small scale and low intensity non- residential uses that service the day to day needs of the immediate local residential community and do not undermine the viability of a nearby centre occurs within the zone.*

Complies – the proposed subdivision will enable future dwelling house development at a density consistent with the Zone and Precinct Intents.

- (2) *The overall outcomes¹⁵ sought for the zone code are as follows:*
 - (a) *development provides a range and mix of residential dwelling choices including dwelling houses on standard size and smaller lots, dual occupancies, multiple dwellings, residential care facilities, retirement facilities and short-term accommodation that are compatible with the intended scale of the Low-medium Density Residential Zone;*

Complies

- (b) *most new development within existing urban areas will be in the form of multiple dwellings and dual occupancies that will contribute to raising the residential densities of those areas by maximising yields while also achieving a high level of residential amenity avoiding uses that introduce impacts such as traffic noise, dust, odour, lighting and other locally specific impacts;*

Complies

- (c) *development contributes to increasing the number of people living within proximity to the principal, major, district and those local centres that provide goods and services of daily convenience plus a mix of additional goods and services, major non-industrial employment nodes, the University of Southern Queensland and high amenity parks by maximising the number of dwellings provided on the site while maintaining a high level of residential amenity;*

Complies

- (d) *new residential development in the form of dual occupancy and multiple dwellings, achieve dwelling yields in the order of 30-40 dwellings per hectare;*

N/A

- (e) *dual occupancy development is dispersed throughout residential neighbourhoods and does not become the dominant housing form in the street;*

N/A

- (f) *where the scale and density of development intended for the particular zone precinct is greater than existing development within the immediate area, development is designed in a manner that enables the higher scale and density to be sensitively integrated into the existing urban landscape and streetscapes;*

Complies – see Neighborhood Character assessment within Section 5 of this Report.

- (g) *Hatchet lots are occupied by a single dwelling house only;*

N/A

- (h) *a high quality streetscape and public open space network is provided that comprises connected public spaces and parks, and links to key community activities;*

Complies – see Neighbourhood Character assessment within Section 5 of this Report.

- (i) *the existing open space network is preserved and enhanced and new open space connections are established;*

Complies

- (j) *short-term accommodation occurs only where in proximity to existing development of a similar nature and on a road at the distributor, sub-arterial and regional arterial level in the road hierarchy, where all car parking needs can be met on site, and it does not detract from the residential amenity of the area;*

N/A

- (k) *development provides a high level of residential amenity and development is designed to incorporate sustainable practices including maximising energy efficiency, water conservation and encourage sustainable transport use such as walking, cycling and public transport use;*

Complies

- (l) *the scale and density of development facilitates an efficient land use pattern that supports compact and walkable neighbourhoods that are well connected to employment nodes, centres, open space and recreational areas, community services and educational opportunities;*

Complies

- (m) *development responds to land constraints, including but not limited to topography, bushfire and flooding constraints;*

Complies – the proposed development will not require earthworks or use of retaining walls.

- (n) *development mitigates any adverse impacts on areas of ecological significance, including creeks, gullies, steep land, waterways, wetlands, habitats and vegetation and bushland through location, design, operation and management; and*

Complies

- (o) *development is supported by necessary infrastructure including utility installations to support the needs for the local community.*

Complies

- (p) *non-residential uses occur only where such uses:*

- (i) *primarily function to directly support the day to day convenience needs of the immediate local residential community;*

N/A

- (ii) *provide a local community or limited business function and include:*

- *Child care centre.*
- *Club.*
- *Community care centre.*
- *Community use.*
- *Educational establishment.*
- *Emergency services.*
- *Food and drink outlet, only where located in the Urban Consolidation Precinct or Hospital Support Precinct*
- *Health care services only where located in the Hospital Support Precinct.*
- *Office, only where located in the Office Residential Precinct*
- *Place of worship.*
- *Shop, only where located on the Hospital Support Precinct or Urban Consolidation Precinct;*
- *Veterinary services only where reuse of existing building used for a business activity.*

N/A

- (q) *Non-residential uses only occur within the zone where development:*

- (i) *is highly accessible to the immediate local residential community it serves;*

- (ii) *is located on land with direct access to a road at the distributor, sub-arterial and regional arterial level in the road hierarchy and that minimises intrusion of through traffic into local residential streets;*

- (iii) *has a built form that is compatible with surrounding residential character and amenity, including:*

- *reuse of existing non-residential premises;*
- *or extensions and/or new buildings have a height, bulk and scale that consistent with the intended residential built form of the precinct in which it is located, and with the existing streetscape character;*

- (iv) *does not have a significant detrimental impact on the neighbourhood amenity expected within a predominately residential environment having regard to privacy, hours of operation, generation of odours, noise, waste products, dust, traffic, electrical interference, lighting and visual impacts;*

- (v) *ensures that all car parking needs can be met on site, and that off-street car parking areas do not dominate the appearance in the streetscape, and are landscaped to provide an attractive frontage that maximise pedestrian activity and safety.*

N/A

Urban Consolidation Precinct

(5) *The overall outcomes of the Urban consolidation precinct within the Low-medium Density Residential Zone are that:*

(a) *residential development of varying densities is dispersed throughout the precinct to support the function of the major centres, to optimise access to public transport and to provide a transition between surrounding lower density residential areas and the increased scale and density of development within the major centres;*

Complies – the proposed subdivision will enable future dwelling house development at a density consistent with the Zone and Precinct Intents.

(b) *residential densities are higher than in other parts of the Low-medium Density Residential Zone, with individual developments achieving net densities of 60 dwellings per hectare or more;*

Complies – the proposed subdivision will enable future dwelling house development at a density consistent with the Zone and Precinct Intents.

(c) *where the precinct occurs within proximity to the Kearney's Spring and Clifford Gardens major centres, residential densities of 60 to 80 dwellings per hectare should be achieved within buildings of up to 6 storey above ground level, where fronting roads at distributor level or higher, public transport routes, or public open space. Development in other parts of the precinct will generally be up to 3 storeys high;*

N/A

(d) *the amalgamation of low density residential lots facilitates the development of high quality medium and higher density residential forms;*

N/A

(e) *strong active transport and efficient public transport linkages are established to the nearby centres, community facilities and the open space network.*

N/A

(f) *non-residential uses locate within a mixed use development on the site that is predominately residential.*

N/A

It is considered that the above assessment demonstrates that the proposed development complies with the purpose and intent of the Zone Code.

Applicable Codes

The following Codes within the *Toowoomba Regional Planning Scheme 2012* apply to the proposed development, and an overview of the assessment of the proposal's compliance with said Codes is outlined below.

- Low-medium Density Residential Zone Code;
- Reconfiguring a Lot Code;
- Airport Environs Overlay Code; and
- Neighbourhood Character Overlay Code

The proposed development generally complies with the applicable Planning Scheme Codes. See detailed assessment against the applicable Codes attached within Appendix C of this report.

Public Notification

As the application is Impact Assessable, Public Notification of the application will be required to be carried out pursuant to the *Planning Act 2016*.

8. Conclusion

The proposed Reconfiguring a Lot (One (1) into Two (2) Lots) at 15 Vacy Street, Newtown (described as Lot 4 on RP16931) is over land within the Low-medium Density Residential Zone (Urban Consolidation Precinct) in an existing residential area.

The proposed development complies with the Purpose and Intent of the Low-medium Density Residential Zone and the applicable codes of the *Toowoomba Regional Planning Scheme 2012*.

As it has been demonstrated that the proposed Reconfiguring a Lot complies with the requirements of the *Planning Act 2016*, the *SEQRP*, the *Darling Downs Regional Plan*, the *State Planning Policy* and the *Toowoomba Regional Planning Scheme 2012*, it is considered that approval of the subject application is warranted by Council; and Council's approval of the proposed development, as proposed, is respectfully recommended.

Appendix A

Proposal Plans

Appendix B

DA Form 1

Appendix C

Detailed Assessment of Applicable Planning Scheme Codes

Low-medium Density Residential Zone Code

Table 6.2.2:1 Table:1 – Low-medium Density Residential Zone Code – requirements for accepted development and assessment benchmarks for assessable development

Performance outcomes	Acceptable outcomes	Response
Caretaker's accommodation		
<p>PO₁ Development provides for the accommodation of a caretaker, and their family members, involved in the running of a non-residential use, in a manner that:</p> <p>(a) does not compromise the productivity of the use;</p> <p>(b) is safe and comfortable for the amenity of residents; and</p> <p>(c) has regard to the landscape and private recreation needs of the residents.</p>	<p>AO_{1,1} A caretaker's accommodation is:</p> <p>(a) separated from significant levels of emissions (adverse to human health or amenity) generated by the non-residential use/s of the site by at least 6m;</p> <p>(b) provided with a private landscape and recreation area which:</p> <p>(i) is directly accessible from a habitable room;</p> <p>(ii) if at ground level, has a minimum area of 16m² with minimum dimensions of 4m; and</p> <p>(iii) if a balcony, a veranda or a deck, has a minimum area of 8m² with minimum dimensions of 2.4m.</p> <p>AO_{1,2} No more than one (1) caretaker's accommodation is established per non-residential use.</p>	<p>N/A</p>
Dwelling Unit		
<p>PO₂ Development incorporating a dwelling unit is provided in a manner that:</p> <p>(a) integrates visually with the non-residential use through the use of materials, colours and finishes, architectural treatments and landscaping treatments;</p> <p>(b) ensures residents have a high level of safety, security, privacy and amenity;</p>	<p>AO_{2,1} Separate entrances are provided to the dwelling unit and non-residential uses on the same site.</p> <p>AO_{2,2} Entries to the dwelling unit are clearly identifiable from the street and have a defined pathway.</p> <p>AO_{2,3} Dwelling units are readily distinguishable from the non-residential use for emergency service providers.</p> <p>AO_{2,4} The dwelling unit number is clearly displayed on the unit and letter box.</p>	<p>N/A</p>

<p>(c) ensures residents are not exposed to noise and light nuisance from the non-residential use; and</p> <p>(d) provides residents access to private outdoor recreation spaces directly from the dwelling unit.</p>	<p>AO_{2.5} The dwelling unit is provided with a private landscape and recreation area which:</p> <p>(a) is directly accessible from a habitable room;</p> <p>(b) if at ground level, has a minimum area of 16m² with minimum dimensions of 4m; and</p> <p>(c) if a balcony, a veranda or a deck, has a minimum¹ area of 8m² with minimum dimensions of 2.4m.</p> <p>AO_{2.6} Habitable rooms of the dwelling unit are protected from overlooking of the non-residential use/area by:</p> <p>(a) separation of 9m from a window or activity area of the non-residential use; or</p> <p>(b) screening the outlook from windows, balconies or activity area of the non-residential use within a direct view of 9m to the habitable room or private open space of the dwelling unit.</p>	
Non-residential Uses and building work – Scale of use where involving the reuse of an existing building		
<p>PO₃ The non-residential use is of a scale and intensity that is compatible with the intended built form intent of the precinct in which it is located, existing streetscape character and the residential appearance of the locality.</p>	<p>AO_{3.1} The use:</p> <p>(a) is carried out in an existing building;</p> <p>(b) only increases the Gross Floor Area of the building by maximum of 25 m²; and does not reduce front or side setbacks</p> <p>a</p> <p>(c) is a single tenancy only; and</p> <p>(d) is conducted wholly within and enclosed building and does not involve new or additional outdoor dining.</p>	N/A
Non-residential Uses and building work – Noise Amenity		
<p>PO4 The non-residential use does not adversely impact on the amenity of the surrounding residential land uses and/or the</p>	<p>AO_{4.1} New building plant or air-conditioning equipment is located central to the building and screened from view of the street or adjoining residential uses.</p>	N/A

intended residential streetscape character.		
Non-residential Uses and building work – Privacy and Screening		
<p>PO5 Non-residential uses provide adequate separation, buffering and screening from adjoining residential premises so that the privacy and amenity of residential premises is protected.</p>	<p>AO_{5.1} A 2m wide vegetated buffer is provided to any vehicle movement and parking areas that adjoin a residential boundary.</p> <p>AO_{5.2} A 1.8m high solid screen fence and 1.5m wide strip of screen landscaping are provided along all boundaries shared with an adjoining residential use.</p> <p>AO_{5.3} Windows that have direct views into adjoining residential buildings are provided with fixed screening that is a maximum of 75% transparent to obscure views into the adjoining residential building and maintain privacy for those residents.</p>	N/A
Non-residential Uses and building work– Outdoor Lighting		
<p>PO6 Outdoor lighting for non-residential uses maintains the amenity of the surrounding residential area and does not adversely impact the safety for vehicles or pedestrians on the adjoining street as a result of light emissions, either directly or by reflection.</p>	<p>AO_{6.1} Outdoor lighting for non-residential uses is restricted to low level security lighting only.</p> <p>AO_{6.2} Outdoor lighting is designed, installed and maintained in accordance with the parameters and requirements of AS4282 – Control of the Obtrusive Effects of Outdoor Lighting.</p>	N/A
Utilities and Stormwater		
<p>PO7 A water supply is provided that is adequate for the current and future needs of the intended use.</p>	<p>AO_{7.1} Development is designed, constructed and connected to Council’s reticulated water supply system in accordance with SC6.3 PSP No. 3 Engineering Standards – Water and Wastewater Infrastructure.</p>	Complies – refer to Section 5 of this Report.

<p>PO8 Wastewater treatment and disposal is provided that is appropriate for the level of demand generated, protects public health and avoids environmental harm.</p>	<p>AO_{8.1} Where within a wastewater area, the development is connected to the Council's reticulated wastewater system in accordance with SC6.3 PSP No. 3 Engineering Standards – Water and Wastewater Infrastructure.</p>	<p>Complies – refer to Section 5 of this Report.</p>
<p>PO9 Stormwater resulting from roofed areas and impervious surfaces is collected and discharged in a manner that does not adversely affect the stability of buildings or the use of adjacent land.</p>	<p>AO_{9.1} Roof water and impervious surface water runoff is collected and discharged in accordance with SC6.2 PSP No. 2 – Engineering Standards – Roads and Drainage Infrastructure.</p>	<p>Complies – refer to Section 5 of this Report.</p>
<p>PO10 The development is equipped with an adequate energy supply approved by and installed in accordance with the standards of the relevant energy regulatory authority.</p>	<p>AO_{10.1} Premises are connected to an electricity supply approved by the relevant energy regulatory authority.</p>	<p>Complies – refer to Section 5 of this Report.</p>
<p>Waste Management</p>		
<p>PO11 Appropriate refuse container storage areas are provided which are: (a) in a building or enclosing structure or screened from public view; (b) of adequate size to accommodate the expected amount of refuse to be generated by the use; (c) in a position that is conveniently accessible for collection; and (d) able to be kept in a clean state at all times, and waste is captured and</p>	<p>AO_{11.1} Refuse container storage areas are provided that :</p> <p style="padding-left: 40px;">(a) are screened from public view in a location that is:</p> <p style="padding-left: 80px;">(i) are in a building, outbuilding or other enclosed structure, or</p> <p style="padding-left: 80px;">(ii) screened, by a minimum 1.5 m high solid fence or wall surrounded by minimum 1m wide landscaping where not adjoining a residential boundary; or</p> <p style="padding-left: 80px;">(iii) screened by a minimum 1.8m high solid fence adjoining a residential boundary;</p> <p>where</p>	<p>Complies – refer to Section 5 of this Report.</p>

<p>discharged to an approved collection point.</p>	<p>(b) are provided with an imperviously sealed pad, on which to stand the bin(s), that is drained to an approved waste disposal system;</p> <p>(c) are within normal hose length of a hose cock; and</p> <p>(d) are large enough to accommodate at least one (1) standard sized container per dwelling and, in commercial and industrial premises, one (1) or more industrial bins of a size appropriate to the nature and scale of use.</p>	
<p>Non-residential uses and building work - Access and on-site manoeuvring</p>		
<p>PO12 Provision is made for on-site vehicle parking to meet the demand likely to be generated by the development and:</p> <p>(a) to avoid on-street parking where that would adversely impact on the safety or capacity of the road network or unduly impact on local amenity.</p> <p>(b) to ensure that off-street carparking areas do not dominate the appearance in the streetscape.</p>	<p>AO_{12.1} Where not involving a reuse car parking is provided in accordance with the Transport, Access and Parking Code.</p> <p>AO_{12.2} Where involving the reuse of a premises:</p> <p>(a) There is no reduction in existing or previously approved on-site car parking;</p> <p>(b) There are no alterations to the existing or previously approved access (driveways and vehicle cross-overs) and on-site car parking and manoeuvring areas.</p>	<p>N/A</p>
<p>Non-residential uses and building work - Landscaping</p>		
<p>PO13 Landscaping makes a positive contribution to the site and the amenity of the surrounding area and existing landscaping is not diminished.</p>	<p>AO_{13.1} Where involving the reuse of a premises there is no reduction in the area or quantity of established or previously approved landscaping.</p>	<p>N/A</p>

Table 6.2.2:2 – Low-medium Density Residential Zone Code – requirements for accepted development and assessment benchmarks for assessable development where not involving Building Work not associated with a Material Change of Use

Performance outcomes	Acceptable outcomes	Response
Non-residential uses - Hours of Operation		
PO1 Hours of operation are controlled so that the non-residential use does not impact on the amenity or privacy of adjoining residential uses.	AO_{1.1} Hours of operation, including for deliveries, are limited to hours between 6:00 am to 9:00 pm.	N/A
Non-residential Uses – Impact on Road Network		
PO2 Non-residential uses are located on major roads and do not introduce non-residential traffic into local streets.	AO_{2.1} Non-residential uses: <ul style="list-style-type: none"> (a) have frontage and vehicle access to a Regional Arterial, Sub-Arterial or Distributor Road; and (b) vehicle access to the development does not occur from a local street. 	N/A

Table 6.2.2:3 – Low-medium Density Residential Zone Code – assessment benchmarks for assessable development¹⁹

Performance outcomes	Acceptable outcomes	Response
Uses		
<p>PO1 The zone accommodates: (a) a mix of housing forms at a low- medium scale and intensity; and (b) other limited small-scale and low intensity community and non- residential uses in the Urban Consolidation, Hospital Support or Office Residential Precincts.</p>	<p>AO_{1.1} Uses which are consistent with the intent of the zone include accommodation activities: (a) dwelling house; and (b) dual occupancy, except where located in the Clifford Park Stables and Park Residential Precincts.</p>	<p>N/A</p>
<p>PO2 Short-term accommodation occurs where: (a) adjoining or located on the opposite side of a road to existing development of a similar nature; (b) in a building of a scale that is consistent with the surrounding residential area; (c) all car parking needs can be met on site; (d) have direct access to a distributor, sub-arterial and regional arterial level road; (e) do not unduly detract from the amenity of nearby residences.</p>	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>

Residential Density		
<p>PO3 Development contributes to increasing the number of people living within proximity to major and district centres, major non-industrial employment nodes, the University of Southern Queensland and high amenity parks by maximising the number of dwellings provided on the site.</p>	<p>AO_{3.1} Development (other than caretaker's accommodation or dwelling house) has a minimum on-site net density of not less than 40 dwellings per hectare.</p>	<p>Complies</p>
Non-residential uses – Scale & Function (except where in the Hospital Support Precinct or Office Residential Precinct)		
<p>PO4 Non-residential uses establish only where they:</p> <ul style="list-style-type: none"> (a) except for child care centres, provide for the day to day convenience needs or local service of the immediate local residential community; (b) do not undermine the viability of a nearby centre and are not of a scale that impacts on the role or function of the centres network; (c) do not contribute to strip development or expansion of an existing centre; 	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>

<p>(d) are a of a small scale and have low intensity operation and employment;</p> <p>(e) are highly accessible to the immediate local community it serves;</p> <p>(f) have direct vehicle access to a distributor, sub-arterial and regional arterial and does not introduce non-local traffic into a local street;</p> <p>(g) are in buildings, including extensions and alterations to an existing building, that have a bulk and scale compatible with the intended built form of the precinct in which it is located, existing streetscape character and residential appearance of the locality;</p> <p>(h) do not unduly detract from or/or adversely impact the amenity, safety or privacy of nearby residences.</p>		
<p>Non-residential uses – Scale and Function where in the Urban Consolidation Precinct</p>		
<p>PO5 Non-residential uses are located:</p> <p>(a) within a mixed use development on the site that is predominately residential;</p>	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>

<p>(b) on the ground floor, addressing and overlooking the street to create an active frontage.</p>		
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Non residential uses – Scale and Function where in the Hospital Support Precinct

<p>PO6 Non-residential uses establish in the Hospital Support Precinct only where:</p> <ul style="list-style-type: none"> (a) it is a health care service; (b) it is a community or recreation use allied and related to the existing hospital; (c) provide a local convenience service and/or accommodation for workers and visitors to the precinct. 	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>
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Non-residential uses – Scale and Function where in the Office Residential Precinct

<p>PO7 Non-residential uses establish in the Office Precinct only where they:</p> <ul style="list-style-type: none"> (a) do not undermine the viability of a nearby centre and are not of a scale that impacts on the role or function of the centres network; (b) are a of a small scale and have low intensity operation and employment; (c) have a low rise bulk and scale building form compatible with a dwelling house and is accommodated by: <ul style="list-style-type: none"> (i) the conversion of the existing residential dwellings; or 	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>
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<p>(ii) buildings, including extensions and alterations to an existing building, that are consistent with streetscape character and residential appearance of the locality, and overlay area in which it is located;</p> <p>(d) do not unduly detract from or adversely impact the amenity, safety or privacy of nearby residences.</p>		
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Built Form

<p>PO8 Buildings are of a height which is consistent with the intended character of the precinct in which the site is located (as expressed in the overall outcomes), and which do not unduly reduce privacy or access to sunlight to habitable rooms, private open space and solar panels on adjoining land.</p>	<p>AO_{8.1} Buildings have a maximum height of two (2) storeys or 8.5m above ground level.</p>	<p>N/A</p>
<p>PO9 The front building setback is consistent with the prevailing front setbacks of other buildings in the street.</p> <p>Note: The prevailing setback of the street is determined by the setbacks of the buildings on any lot along the road within 100m of the site.</p>	<p>AO_{9.1} Buildings are set back from the road frontage:</p> <ul style="list-style-type: none"> (a) within 10% of the average front setback of existing residential buildings within 100m of the site; or (b) where there are no adjoining buildings the front setback is provided in accordance with Table 1. 	<p>N/A</p>

	<table border="1" data-bbox="786 180 1473 560"> <thead> <tr> <th colspan="2">Table 1</th> </tr> <tr> <th>Building element</th> <th>Minimum setback</th> </tr> </thead> <tbody> <tr> <td>Solid building wall (other than a garage)</td> <td>4.0m</td> </tr> <tr> <td>Solid building wall (where for a garage)</td> <td>5.5m</td> </tr> <tr> <td>Permeable or non-enclosed elements (e.g. porch, verandah, balcony or carport)</td> <td>3.5m (or 3m where secondary road frontage)</td> </tr> </tbody> </table> <p>AO_{9.2} Where the site has frontage to road other than a collector or local road, and buildings are not located in the Hospital Support Precinct:</p> <ul style="list-style-type: none"> (a) residential buildings are set back from that frontage in accordance with the requirements of the Queensland Development Code. (b) non-residential buildings are set back from the frontage by 6m. <p>AO_{9.3} Where involving a non residential use, buildings are set back a minimum 6m from the road frontage.</p>	Table 1		Building element	Minimum setback	Solid building wall (other than a garage)	4.0m	Solid building wall (where for a garage)	5.5m	Permeable or non-enclosed elements (e.g. porch, verandah, balcony or carport)	3.5m (or 3m where secondary road frontage)	<p>AO9.2 – N/A.</p> <p>AO9.3 – N/A</p>
Table 1												
Building element	Minimum setback											
Solid building wall (other than a garage)	4.0m											
Solid building wall (where for a garage)	5.5m											
Permeable or non-enclosed elements (e.g. porch, verandah, balcony or carport)	3.5m (or 3m where secondary road frontage)											
<p>PO10 Buildings are designed to a high aesthetic standard and to integrate with and enhance the locality, having regard to built form, open space, landscaping and the public realm parking, access, solar access of both onsite and adjoining properties.</p>	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>										
<p>PO11 Non-residential use buildings, including extensions or</p>	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>										

additions, exhibit design elements that are compatible with the scale and bulk intended for the precinct in which it is located and that complements the existing streetscape including:-

- (a) buildings orient to and addresses the street frontage;
- (b) the main building entry faces the street at ground level;
- (c) building mass is broken up by articulation, fenestration, recesses and landscape elements to avoid large expanses of blank surfaces ;
- (d) differentiate between private houses and the non-residential use through variation in materials, patterns, textures and/or colours

Editor's note – examples of façade treatment to avoid expanses of blank wall may include (but is not limited to):

- windows are provided in any building façade facing the street or other public and communal space;
- awnings, verandahs, pitched roofs and rectangular building plan forms are used in the building design.

<p>PO12 Where appropriate, development facilitates active transport and open space connections through the neighbourhood.</p>	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>
<p>PO13 The site layout responds sensitively to on- site and surrounding topography, drainage patterns, utility services, access, vegetation and adjoining land use, such that:</p> <ul style="list-style-type: none"> (a) any hazards to people or property are avoided; (b) any earthworks are minimised; (c) the retention of natural drainage lines is maximised; (d) the retention of existing vegetation is maximised; (e) damage or disruption to sewer, stormwater and water infrastructure is avoided; and (f) there is adequate buffering, screening or separation to adjoining development. 	<p>No acceptable outcome is nominated.</p>	<p>Complies – refer to relevant sections within Section 5 of this Report:</p> <ul style="list-style-type: none"> (a) no potential hazards to people or property other than stormwater – proposed development will not alter existing stormwater discharge quantity or discharge arrangements and ensures non-worsening effect downstream and no adverse impacts on adjoining or surrounding uses; (b) earthworks will be for future uses only and would be minimal; (c) natural drainage lines are generally retained; (d) vegetation has been historically cleared, the development will not adversely impact upon the existing street tree and compliant landscaping can be retained/provided; (e) infrastructure protected in compliance with Planning Scheme requirements and QDC standards and the subdivision

		<p>designed to ensure that the integrity of the infrastructure is not compromised; and</p> <p>(f) adequate separation and buffering is provided to adjoining uses via the provision of lots with appropriate sizes and dimensions.</p>
Amenity and Safety		
<p>PO14 Except for Dwelling Houses site coverage:</p> <p>(a) maximizes setbacks;</p> <p>(b) maximizes landscaping;</p> <p>(c) ensures adequate useable outdoor areas;</p> <p>(d) ensures adequate space for vehicle movement and parking areas;</p> <p>(e) maximizes solar access for internal and external living spaces;</p> <p>(f) does not compromise solar access for adjoining premises; and</p> <p>(g) does not result in overshadowing of adjoining properties.</p>	<p>AO₁₄ For development up to two (2) storeys site cover does not exceed 50% of the site area.</p> <p>is For development over two (2) storeys no acceptable outcome nominated.</p>	<p>Complies</p>
<p>PO15 Impervious site coverage:</p> <p>(a) ensures development maximizes on- site infiltration and minimizes the additional burden on drainage infrastructure;</p>	<p>AO_{15.1} Impervious areas of the site do not exceed 70% of the site area.</p>	<p>Complies</p>

<p>(b) reduces the visual impact of additional hardstand;</p> <p>(c) respects the existing or preferred neighbourhood character and responds to the features of the site; and</p> <p>(d) allows for the provision of an appropriate supply of landscaping and open space.</p>		
<p>PO16 Side and rear building setbacks:</p> <p>(a) enhance the appearance and character of streets and buildings;</p> <p>(b) are appropriate to the scale of the development and the intended character of the zone or precinct in which the site is located;</p> <p>(c) provide for adequate daylight for habitable rooms and open space areas on and adjoining the site;</p> <p>(d) are sufficient to minimise overshadowing and overlooking of adjoining premises;</p> <p>(e) provide adequate separation and buffering between residential and non-residential premises; and</p> <p>(f) maximise opportunities for landscaping.</p>	<p>AO_{16.1} Buildings built to side boundaries have:</p> <p>(a) a maximum height of 3m; and</p> <p>(b) a maximum length of 9m.</p> <p>Note: Built to boundary walls require a 0.00m lot alignment.</p> <p>OR</p> <p>AO_{16.2} Buildings are set back from a side boundary in accordance with table 6.2.2:4 or the distance of the height of the retaining wall on the side boundary or combination of the height of the retaining wall and a fence, whichever is greater (Figure 1). Where the retaining wall extends into the site, the setback is measured from the base or top of the retaining wall.</p> <p>AO_{16.3} Buildings are set back a minimum of 1m from a rear boundary or the distance of the cumulative height of the retaining wall and fence on the rear boundary (Figure 1). Where the retaining wall extends into the site, the setback is measured from the base or top of the retaining wall.</p>	<p>Complies</p>

	<p>Figure 1</p>	
<p>PO17 Development is designed to enable the retention of existing street trees.</p>	<p>AO_{17.1} Development does not compromise or require the removal of any street tree.</p>	<p>Complies</p>
<p>PO18 Development maintains a high level of residential amenity within the site and for surrounding areas, having regard to noise, odour, lighting, access to sunlight, privacy and outlook.</p>	<p>In partial compliance with the Performance Outcome:</p> <p>AO_{18.1} A densely planted landscaping strip a minimum width of 2m between any vehicle movement or parking area associated with a non-residential use and a boundary common with a residential use.</p> <p>AO_{18.2} The development does not result in solar access to habitable rooms and private open space of adjoining premises: -</p> <ul style="list-style-type: none"> (a) being reduced to less than 3 hours between 9am and 3pm on June 21; or (b) where existing overshadowing by building or fences is greater than this, sunlight is not reduced by 20% or greater. 	<p>Complies</p>

<p>PO19 Site layout, building design and landscaping facilitates the security of people and property having regard to: (a) opportunities for casual surveillance and sightlines including to publicly accessible areas such as car parks, pathways, public toilets and communal areas; (b) exterior building design and orientation that promotes safety; (c) adequate definition of uses and public and private ownership; (d) adequate lighting; (e) appropriate way-finding mechanisms (e.g. signage); (f) minimisation of entrapment locations; and (g) building entrances, loading and storage areas being well lit and lockable after hours.</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies</p>
<p>PO20 Development is designed to incorporate graffiti - prevention measures.</p>	<p>AO_{20.1} Building design and layout incorporates the following features where practical: (a) designs with an absence of ‘natural ladders’; (b) minimal unbroken vertical surface areas; and (c) graffiti-deterrent surface treatments.²⁰</p>	<p>N/A</p>
<p>PO21 Development for a sensitive use on land within 250m of land within the Medium Impact Industry Zone must not result in that use being exposed to industrial air, noise or odour emissions that impact on human health, amenity and wellbeing.</p>	<p>AO_{21.1} The use is designed to ensure that: (a) the indoor noise objectives set out in the Environmental Projection (Noise) Policy 2008 are met; and (b) the air quality objectives in the Environmental Protection (Air) Policy 2008, are met. Note: Design measures that may assist in achieving the acceptable outcome may include: (a) landscaping; (b) setbacks; (c) the orientation of buildings away from the industrial area;</p>	<p>N/A</p>

	(d) barriers, mounds and fencing; and/or screening.	
PO22 Where located on land that is affected by environmental emissions generated by an operational rail corridor, sensitive development mitigates noise generated by the railway to the extent that it adversely impacts on the development.	No acceptable outcome nominated.	N/A
PO23 Large trees are provided and maintained in building setback and open space areas to: (a) establish a garden setting for the building and the local area; (b) contribute to the protection of privacy and amenity for adjoining premises; (c) provide a soft edge to the boundaries of development and driveways which run along a side boundary; and (d) provide shade over western walls and windows into habitable spaces.	AO_{23.1} The setback to front and side boundaries of a site contains trees of a species capable of reaching a height at maturity of at least 10m, planted at the rate of one (1) tree per 20m of boundary length.	N/A
Non-residential uses - Landscaping		
PO24 Development for non-residential uses provides landscaping that: (a) is consistent with the dominant landscape appearance of the	AO_{24.1} Where not involving the reuse of premises development provides a minimum 3m wide landscaped garden strip along the frontage of the site.	N/A

<p>streetscape and character of the precinct and overlay in which the site is located;</p> <p>(b) is an attractive interface between the use, the streetscape and adjoining residential uses</p> <p>(c) maintains:</p> <p>(i) the privacy and amenity for adjoining residential uses;</p> <p>(ii) sight lines and overlooking to public spaces and the street to enable casual surveillance;</p> <p>(iii) a clear pedestrian entry point for staff, visitors and customers that is separated from the driveway;</p> <p>(iv) established trees (including street trees) and other significant existing vegetation.</p>		
<p>Non-residential uses – Car Parking</p>		
<p>PO25 Development for non-residential uses provide car parking and loading and servicing areas that:</p> <p>(a) are located to minimise impact on any adjoining residential premises and:</p> <p>(b) are located behind the building, and hardstand areas do not dominate the streetscape;</p> <p>(c) prioritise the movement and safety of pedestrians along the frontage of the site, and between the street frontage and the entrance to the building;</p>	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>

<p>(d) are integrated into the building design and/or include screening and buffering to reduce negative impact on adjoining residential uses.</p>		
Development Up to 3 Storeys Height in all Precincts		
<p>PO26 Where a building of three (3) storeys or less, site coverage:</p> <p>(a) ensures development maximises on- site infiltration and minimises the additional burden on drainage infrastructure;</p> <p>(b) minimises the impact of hard surface areas; and</p> <p>(c) respects the existing or preferred neighbourhood character and responds to the features of the site.</p>	<p>AO_{26.1} Site cover does not exceed 50% of the site area.</p>	<p>N/A</p>
<p>PO27 Side and rear building setbacks:</p> <p>(a) enhance the appearance and character of streets and buildings;</p> <p>(b) are appropriate to the scale of the development and the intended character of the zone or precinct in which the site is located;</p> <p>(c) provide for adequate daylight for habitable rooms and open space areas on and adjoining the site;</p> <p>(d) are sufficient to minimise overshadowing and</p>	<p><i>For accommodation activities (other than dwelling house and dual occupancy):</i></p> <p>AO_{27.1} Buildings are built to side boundaries where:</p> <p>(a) a maximum height of 3m; and</p> <p>(b) a maximum length of 9m. OR</p> <p>AO_{27.2} Buildings are set back from a side boundary in accordance with Table 6.2.2:4.</p> <p>AO_{27.3} Buildings are set back a minimum of 1m from a rear boundary.</p> <p><i>For non-residential development:</i></p> <p>AO_{27.4} Buildings are set back from a side boundary whichever the greater:</p>	<p>N/A</p>

<p>overlooking of adjoining premises; and (e) provide adequate separation and buffering between residential and non- residential premises.</p>	<p>(a) a minimum 2.5m where building height is one storey with maximum height 8.5m; or (b) half the height of the building.</p> <p>AO_{27.5} Buildings are set back from a rear boundary whichever is the greater: (a) a minimum of 3m; or (b) the distance equivalent to the cumulative height of the retaining wall and fence on the rear boundary. Where the retaining wall extends into the site , the setback is measured from the base or top of the retaining wall.</p>	
Other Requirements for the Urban Consolidation Precinct		
<p>PO28 Redevelopment of the Orfords Refrigeration site (256-264 Herries Street) provides for: (a) active uses along the major road frontages of Vacy and Herries Street; (b) a new pedestrian link through the site providing an efficient connection between Clifford Gardens Major Centre and the Newtown District Centre; and (c) sensitive treatment of buildings facing east to protect the amenity and privacy of The Glennie School.</p>	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>
<p>PO29 Development does not prejudice the continued operation of established community facilities, including The Glennie School and the O'Quinn Street Defence Force Facility (including the Milne Bay Military</p>	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>

<p>Museum and Defence Community Organisation Centre).</p>		
<p>PO30 Development facilitates convenient pedestrian, cyclist and public transport linkages to nearby centres, community facilities and the open space network.</p>	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>
<p>Non-residential Development within the Office Residential Precinct</p>		
<p>PO31 Non-residential development exhibits design elements that are characteristic of, or compatible with, Dwelling Houses in the surrounding area.</p>	<p>AO_{33.1} Windows and/or doors are provided in any building facade facing any public or communal space.</p> <p>AO_{33.2} Awnings, verandahs, pitched roofs and rectangular building plan forms are used in the building design.</p> <p>AO_{33.3} Walls of more than 6 m in length, particularly the facade, are broken up by articulation, fenestration, recesses and landscape elements to avoid large expanses of blank wall.</p>	<p>N/A</p>
<p>PO32 The development addresses, and provides for surveillance of, the street.</p>	<p>AO_{32.1} Buildings: (a) is oriented to the street frontage rather than a side or rear boundary; and (b) has the main entry, and windows at Ground Level, on the principal street or street corner facade.</p>	<p>N/A</p>
<p>Development in the Hospital Support Precinct</p>		
<p>PO33 Side and rear building setbacks: (a) enhance the appearance and character of streets and buildings;</p>	<p>AO_{31.1} Buildings are setback at least 6m from the front boundary.</p> <p>AO_{31.2} Buildings are setback a minimum of 4m from side boundaries for the extent of the building(s) within 10m of the front boundary.</p>	<p>N/A</p>

<p>(b) provide for deep planting on all sides of the building;</p> <p>(c) are appropriate to the scale of the development;</p> <p>(d) provide for adequate daylight for habitable rooms and open space areas on and adjoining the site; and</p> <p>(e) are sufficient to minimise overshadowing and overlooking of adjoining premises.</p>	<p>AO_{31.3} Buildings are setback at least 6m from the rear boundary.</p> <p>AO_{31.4} A building involving residential purposes and of a height of four (4) storeys is separated by a minimum distance of 15m from another building involving residential purposes on the same site.</p>	
<p>PO34 The development addresses, and provides for surveillance of the street.</p>	<p>AO_{34.1} The building:</p> <p>(a) is oriented to the street, except in relation to premises fronting Prosser Street in which case the building is oriented to the alternative street frontage with Holberton or Pioneer Streets; and</p> <p>(b) has the main entry, and windows at Ground Level, to the principal street (not being Prosser Street).</p>	<p>N/A</p>
<p>PO35 Parking and vehicular access is located to minimise the impact on any adjoining residential premises not in the Precinct.</p>	<p>AO_{35.1} Vehicular access point and car parking is setback a minimum of 3m with any residential premises not in the Precinct.</p> <p>AO_{35.2} In respect to lots fronting Prosser Street between Herman and Holberton Streets, development for non-residential purposes is only carried out if the lot is amalgamated with land fronting Pioneer or Holberton Street and all access, including pedestrian access, to the development is provided via Pioneer or Holberton Street.</p>	<p>N/A</p>

Table 6.2.2:4 – Side Boundary Setbacks

Width of lot frontage								
10.0m - 12.4m		12.5m – 14.9m		15.0m -19.9m		20m +		All lots
Ground floor (up to 3.5m high)	First floor (up to 7.5m high)	Ground floor (up to 3.5m high)	First floor (up to 7.5m high)	Ground floor (up to 3.5m high)	First floor (up to 7.5m high)	Ground floor (up to 3.5m high)	First floor (up to 7.5m high)	Second floor (above 7.5m)
0.9m	0.9m	1m	1m	1m	1.5m	1.2m	2m	2m

Reconfiguring a Lot Code

Table 9.4.5:1 – Reconfiguring a Lot Code – Requirements for accepted development and assessment benchmarks for assessable development⁶⁴

Performance Outcomes	Acceptable Outcomes	Response
Rearrangement of Boundaries		
<p>PO₁ The lots resulting from the rearrangement of boundaries does not contribute to:</p> <p>(a) the proliferation of lots of rural land fragmentation; or</p> <p>(b) the potential to introduce uses or activities which conflict with the intent of the applicable zone for all or part of the site.</p>	<p>AO_{1.1} No additional lots are created by the rearrangement of boundaries.</p> <p>AO_{1.2} The resulting lots from rearranging boundaries are contained entirely within a single zone.</p>	<p>N/A</p>
<p>PO₂ Lots resulting from rearrangement of boundaries do not require any new or additional infrastructure connections, or modification of existing connections.</p>	<p>AO_{2.1} All lots resulting from rearrangement of boundaries:</p> <p>(a) retain all existing connections to water, sewer, electricity and other infrastructure wholly within the lot they serve;</p> <p>(b) do not require additional infrastructure connections or augmentation of existing connections;</p> <p>(c) except where in the Rural Zone, have sealed vehicle crossovers;</p> <p>(d) have stormwater drainage for lots 4000m² or less:</p> <p>(i) connected to adequately sized inter-allotment drainage; or</p> <p>(ii) that drains the entirety of each lot independently without fill to the kerb and channel or swale of the road frontage.</p>	<p>N/A</p>

Performance Outcomes	Acceptable Outcomes	Response
<p>PO₃ Where in the rural zone, all lots resulting from rearrangement of boundaries are provided with all weather road access from the driveway crossover to the nearest formed road.</p>	<p>AO_{3.1} Where in the rural zone, all lots resulting from rearrangement of boundaries are provided with a formed gravel road from the driveway crossover to the nearest formed road in accordance with SC6.2 PSP No.2 Engineering Standards – Roads and Drainage Infrastructure.</p>	<p>N/A</p>
<p>PO₄ All new lots provide sufficient area, frontage and dimensions, and road access that enable their future development to achieve relevant outcomes in applicable Use, Zone, Overlay, and Other Development Codes in relation to:</p> <ul style="list-style-type: none"> (a) dwellings, buildings and/or other structures (b) setbacks ; (c) landscaping; (d) on site car parking and vehicle access; (e) recreation areas (private open space); (f) cultural heritage and character streetscape values; (g) other design criteria. <p>Editors note:</p> <ul style="list-style-type: none"> i. Setback considerations include solar access, privacy and amenity of residents and adjoining neighbours, on-site effluent disposal. ii. A building envelope may demonstrate suitability to accommodate future development. 	<p>AO_{4.1} All lots are rectangular and have minimum width to depth ratios, areas, dimensions and frontages as prescribed in Table 9.4.5:4.</p> <p>AO_{4.2} Where in the Low Medium Density Residential Zone development for lots 450m² or less in area are capable of accommodating a rectangular building envelope with area and dimensions for:</p> <ul style="list-style-type: none"> (a) a dwelling, including ancillary buildings and structures such as garages, covered carports and decks, that comply with the minimum setback requirements of the overlay or zone in which the land is located and building regulations; (b) private open space and recreation areas; (c) vehicle access and on-site car parking in accordance with the Transport, Access and Parking Code. 	<p>N/A</p>

Table 9.4.5:2 – Reconfiguring a Lot Code – assessment benchmarks for assessable development⁶⁵

Performance Outcomes	Acceptable Outcomes	Response
Master Planning		
<p>PO1 Except where in the Rural Zone (other than where in the Heinemann Road Transport Precinct) Limited Development (Constrained Land) Zone, Community Facilities Zone, Open Space Zone or Recreation Zone, development:</p> <ul style="list-style-type: none"> (a) occurs in a logical pattern and sequence; (b) is of a scale and density that facilitates an efficient land use pattern and facilitates a mix of lot sizes that provide for a range of residential dwelling choices; (c) is designed to create compact and walkable neighbourhoods that are well connected to employment nodes, centres, open space and recreational areas, community services and educational opportunities; (d) creates a high quality streetscape and public open space network with connected public spaces and parks; (e) appropriately responds to constraints and natural values and mitigates any adverse impacts on areas of ecological significance; 	<p>AO1.1 A Master Plan is prepared in accordance with SC6.4 PSP No. 4 Master Planning.⁶⁷</p>	<p>Complies</p>

Performance Outcomes	Acceptable Outcomes	Response
<p>(f) is provided with all necessary infrastructure networks and is well serviced by community facilities; and</p> <p>(g) creates lots which are suitable for their intended use without requiring significant earthworks⁶⁶.</p>		
General		
<p>PO₂ The layout of streets, lots and infrastructure gives the locality a strong and positive identity by:</p> <p>(a) responding to site characteristics, settings, landmarks, places of cultural heritage significance and views;</p> <p>(b) creating legible and interconnected movement and open-space networks;</p> <p>(c) locating community, retail, commercial and public transport facilities at focal points within convenient, safe and direct walking distance for residents/users; and</p> <p>(d) providing connections to existing facilities, services and movement networks in the surrounding area.</p>	<p>Where included in a local plan:</p> <p>AO_{2.1} Neighbourhood design and lot layout is consistent with the requirements of any local plan.</p> <p>All other circumstances:</p> <p>No acceptable outcome provided.</p>	<p>Complies</p>
<p>PO₃ The layout of streets, lots and infrastructure responds appropriately to environmental features of the site or locality by:</p> <p>(a) following the natural topography;</p>	<p><i>In partial fulfilment of the performance outcome:</i></p> <p>AO_{3.1}⁶⁹ A lot with an area of less than 450m² intended to be used for a dwelling house has a natural slope:</p>	<p>Complies</p>

Performance Outcomes	Acceptable Outcomes	Response
<ul style="list-style-type: none"> (b) protecting and promoting views of landscape features, significant ridgelines, mountains, hills, rocky outcrops or other geological formations; (c) minimising the need for earthworks; (d) minimising vegetation loss and/or fragmentation; (e) maintaining natural drainage features and floodways; (f) maintaining important wildlife corridors and habitat areas; (g) providing for adequate buffering of (d), (e) and (f); (h) protecting and maintaining areas of indigenous cultural significance; and (i) connecting streets and open space to existing streets and open space on adjoining land as necessary for the orderly development of the precinct.⁶⁸ 	<ul style="list-style-type: none"> (a) across the width of the lot not exceeding 10%; and (b) along the length of the lot not exceeding 5%. 	
<p>PO₄ Street blocks and lot types are generally rectilinear and arranged to provide:</p> <ul style="list-style-type: none"> (a) an efficient neighbourhood pattern, that supports walking cycling and public transport use; (b) the highest densities are located around open space, amenity features or other focal points; and (c) a mix of lot sizes which provide a wide choice in affordable and accessible housing and achieve streetscape variety. 	<p><i>In partial fulfilment of the performance outcome</i></p> <p>AO_{4.1} Subdivision involving the creation of lots for residential use ensures lots within the block are arranged so that:</p> <ul style="list-style-type: none"> (a) there are between four (4) and six (6) adjoining attached (terrace or row) house lots in a group (to enable group housing construction and integrated streetscape solution); (b) there are no more than eight (8) narrow frontage (less than 15m) lots in a row; (c) there are no more than four (4) lots with a width of 7.5m or less in a row unless serviced by a rear lane; and (d) there are no minor mismatches (e.g. less than 1m) in the rear corner lot 	<p>Complies</p>

Performance Outcomes	Acceptable Outcomes	Response
	<p>boundaries of adjoining lots (to minimise the risk of set out error);</p> <p>AO4.2 Subdivision involving the creation of lots for residential use ensures lots with access to a laneway intended to accommodate more than one dwelling have a:</p> <ul style="list-style-type: none"> (a) minimum width of 7.5m; and (b) minimum depth of 30m. <p>AO4.3 Street blocks fronting local streets do not exceed 100m in length.</p>	
<p>PO₅ Reconfiguration avoids risk to human safety and the environment from natural hazards⁷⁰ and contaminated land.</p>	<p><i>In partial fulfilment of the performance outcome</i></p> <p>AO_{5.1} Where contamination is suspected (e.g. former dips, industrial sites), provide a preliminary contamination report for Residential or Rural Residential subdivisions.</p>	<p>Complies – not a contaminated site</p>
<p>PO₆ The development is integrated with the surrounding urban or rural environment, having regard to:</p> <ul style="list-style-type: none"> (a) the layout and dimensions of streets and lots; (b) connections to surrounding streets and pedestrian and cycle networks and other infrastructure networks; (c) provision for shared use of public facilities; (d) open space networks, retained habitat areas or corridors, landscape features and views and vistas; and (e) connections to centres. 	<p>No acceptable solution is nominated.</p>	<p>Complies</p>

Performance Outcomes	Acceptable Outcomes	Response
<p>PO₇ In a reconfiguration that involves the creation of a new street (other than in a Rural Zone or the Rural Residential Zone) streetscape and landscape treatments are provided that:</p> <ul style="list-style-type: none"> (a) create an attractive and legible environment with a clear character and identity; (b) use and highlight features of the site such as views, vistas, existing vegetation, landmarks and places of cultural heritage significance; (c) enhance safety and comfort, and meet user needs; (d) complement the function of the street in which they are located by reinforcing desired traffic speed and behaviour; (e) assist integration with the surrounding environment; (f) maximise infiltration of stormwater runoff; and (g) minimise maintenance costs through: <ul style="list-style-type: none"> (i) street pavement, parking bays and speed control devices; (ii) street furniture, shading, lighting and utility installations; (iii) retention of existing vegetation; and (iv) on street planting. 	<p>No acceptable solution is nominated.</p>	<p>N/A</p>
<p>PO₈ Neighbourhood design and lot mix provides sufficient opportunities for community, retail, commercial and other uses to meet community needs, where this is consistent</p>	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>

Performance Outcomes	Acceptable Outcomes	Response
<p>with the intended character of the zone or precinct in which the land is located and appropriate to the size of development.</p>		
<p>PO₉ Reconfigurations within the Low-medium Density Residential Zone and the Emerging Community Zone contribute to housing diversity and different levels of affordability to meet community needs by incorporating a mix of residential lot sizes drawing from the following lot types:</p> <ul style="list-style-type: none"> (a) Traditional: A traditional lot caters for large dwelling houses, typically on lots with a frontage of up to 20m and depth of 30m to 32m for single storey dwelling houses and 25m for two (2) storey dwelling houses. (b) Multi-family: A multi-family lot allows for small multiple dwellings (typically four (4) to six (6) dwellings). Multiple dwellings on multi-family lots contribute significantly to diversity within a neighbourhood. Multi-family lots will typically be provided on-street corners to reduce the negative impact of rows of garage doors. (c) Courtyard: A courtyard lot has an area between 375m² and 480m² and comfortably accommodates a smaller detached dwelling house on a lot with a frontage of approximately 15m. (d) Villa: A villa lot has an area between 250m² and 320m² and accommodates a smaller dwelling house on a lot with a frontage of approximately 10m. It is 	<p>AO_{9.1} Reconfigurations incorporate the lot types identified in the performance outcome as follows:</p> <ul style="list-style-type: none"> (a) reconfigurations creating between 10 and 50 additional lots incorporate at least two (2) different lot types; and (b) reconfigurations creating more than 50 additional lots incorporate a mix of at least three (3) lot types. 	<p>N/A</p>

Performance Outcomes	Acceptable Outcomes	Response
<p>suited to the housing needs of an increasing number of one and two person households. A dwelling house on a villa lot is detached but usually built to one side boundary of the lot.</p> <p>(e) Terrace: A terrace lot has an area between 187.5m² and 240m² and will typically accommodate attached dwellings houses or dwelling houses built to both side boundaries on lots with a frontage of typically 7.5m. Dwelling houses on a standard 7.5m terrace lot will generally be two (2) habitable rooms wide and two (2) storeys in height. A terrace lot is also capable of development with a narrow (4m wide) single-storey detached dwelling house where one wall is built up to, and along most of the length of one side boundary. Dwelling houses on narrow terrace lots will be built as an integrated development as far as practicable and typically require frontage to both a street and laneway to accommodate on-site car parking that does not interfere with the safe and efficient functioning of the street;</p> <p>(f) Row: A row lot has an area between 125m² and 160m² and provides for narrow attached dwelling house or a dwelling house built to both side boundaries on lots with a frontage of typically 5m. A row lot typically requires rear lane access for car</p>		

Performance Outcomes	Acceptable Outcomes	Response
parking so the street frontage is free of driveways.		
PO₁₀ Reconfigurations within the Low-medium Density Residential Zone achieve a residential density that makes efficient use of the land and associated physical infrastructure.	AO_{10.1}⁷¹ Reconfigurations in the Low-medium Density Residential Zone facilitate a minimum residential density of 30 dwellings per hectare.	Complies
PO₁₁⁷² Reconfigurations within the Principal Centre Zone, Major Centre Zone, District Centre Zone or Local Centre Zone ensure an integrated, orderly and efficient development outcome is achieved across all lots in respect to access to the external road network, pedestrian and vehicle movement within the site and built form and function.	No acceptable outcome is nominated.	N/A
Lots Sizes and Design⁷³		
PO₁₂ Lot size in the Emerging Community Zone does not compromise the future development potential of the area for urban purposes.	AO_{12.1} Lots in the Emerging Community Zone have the minimum area and frontage as shown in Table 9.4.5:4.	N/A
PO₁₃⁷⁴ In the Rural Zone, the productive capacity of rural land resources is protected from the reconfiguration of lots that facilitates inappropriate intensification of development in the zone.	AO_{13.1} Lots have a minimum area as shown in Table 9.4.5:4.	N/A

Performance Outcomes	Acceptable Outcomes	Response
Movement network design⁷⁵		
<p>PO₁₄ The street and road network has a clear structure, with roads that conform to their function in the network, having regard to:</p> <ul style="list-style-type: none"> (a) traffic volumes, vehicle speeds and driver behaviour; (b) on street parking; (c) sight distance; (d) provision for public transport routes and stops; (e) provision for pedestrian and cyclist movement, prioritising these where appropriate; (f) provision for waste collection and emergency vehicles; (g) lot access; (h) convenience; (i) public safety; (j) amenity; (k) the incorporation of public utilities and drainage; and (l) landscaping and street furniture. 	<p>AO_{14.1} The street and road network is consistent with SC6.2 PSP No. 2 – Engineering Standards – Roads and Drainage Infrastructure.</p>	<p>Complies</p>
<p>PO₁₅ The road network provides for convenient and safe movement between local streets and higher order roads.</p>	<p>AO_{15.1} The proposed road network complies with SC6.2 PSP No. 2 – Engineering Standards – Roads and Drainage Infrastructure.</p>	<p>N/A</p>
<p>PO₁₆ Local streets do not operate as through traffic routes for externally generated traffic (other than for pedestrians, cyclists and public transport).</p>	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>

Performance Outcomes	Acceptable Outcomes	Response
<p>PO₁₇ Safe, convenient and efficient intersections are provided for vehicles, pedestrians, cyclists and public transport.</p>	<p>AO_{17.1} Intersections and pedestrian and cyclist crossings are provided in accordance with SC6.2 PSP No. 2 – Engineering Standards – Roads and Drainage Infrastructure.</p>	<p>N/A</p>
<p>PO₁₈ Access arrangements for lots do not affect the function, vehicle speeds, safety, efficiency and capacity of streets and roads.</p>	<p>AO_{18.1} Access arrangements are consistent with the characteristics intended for the particular type of road or street specified in SC6.2 PSP No. 2 – Engineering Standards – Roads and Drainage Infrastructure.</p>	<p>Complies</p>
<p>PO₁₉ On-road car parking is provided according to projected needs taking into account: (a) total parking demand; (b) car parking opportunities on lots; and (c) non-residential and external parking generators.</p>	<p>AO_{19.1} On-street parking is provided in accordance with the Transport, Access and Parking Code.</p>	<p>Complies</p>
<p>PO₂₀ The movement network facilitates efficient and cost-effective provision and maintenance of infrastructure.</p>	<p>AO_{20.1} Infrastructure is provided in accordance with SC6.2 PSP No. 2 – Engineering Standards – Roads and Drainage Infrastructure.</p>	<p>N/A</p>
<p>PO₂₁ Rear lanes are designed to:</p>	<p>AO_{21.1} Rear lanes are designed in accordance with SC6.2 PSP No. 2 – Engineering Standards – Roads and Drainage Infrastructure.</p>	<p>N/A</p>

Performance Outcomes	Acceptable Outcomes	Response
<ul style="list-style-type: none"> (a) provide enough width to enable safe and efficient vehicle movement, including service vehicles; (b) have either a straight or T configuration and not be dead ends or cul-de-sacs; (c) enable easy and safe access into and out of garages without using doors that open into the lane; (d) not create a more direct through-route alternative for vehicles than the adjoining street network; (e) ensure rear yards of properties can be fenced for security; (f) ensure any rear boundary treatment or tree planting does not create concealed recesses or provide uninvited access opportunities into rear yards; and (g) not provide for visitor parking within the lane unless in specifically designated areas. 		
<p>PO₂₂ Development does not compromise the delivery of existing or future public transport routes and encourages a highly connected local street network that enables public transport to efficiently service the area without the need to 'repeat a part of a route as part of the one trip'.</p>	<p>AO_{22.1} Street networks in new developments are designed to accommodate the movements of a 14.5m long bus.</p>	<p>N/A</p>

Performance Outcomes	Acceptable Outcomes	Response
Road design⁷⁶		
<p>PO₂₃ The geometric design features of each type of road:</p> <ul style="list-style-type: none"> (a) convey its primary function for all relevant design vehicle types; (b) have an adequate horizontal and vertical alignment that is not conducive to excessive speeds; (c) encourage traffic speeds and volumes to levels commensurate with road hierarchy function; and (d) ensure unhindered access by emergency vehicles. 	<p>AO_{23.1} Design of the roads comply with the SC6.2 PSP No. 2 – Engineering Standards – Roads and Drainage Infrastructure.</p>	N/A
Pedestrian and cyclist facilities		
<p>PO₂₄ A network of pedestrian and cycle ways is provided having regard to:</p> <ul style="list-style-type: none"> (a) opportunities to link open space networks, and community facilities, including public transport stops, local activity centres and schools; (b) likely trip purpose; (c) topography; (d) cyclist and pedestrian safety; (e) cost effectiveness; (f) likely user volumes and types; (g) convenience; and (h) accessibility. 	<p>AO_{24.1} In partial fulfilment of the performance criterion, pedestrian and cycle ways are provided in accordance with SC6.2 PSP No. 2 – Engineering Standards – Roads and Drainage Infrastructure.</p> <p>AO_{24.2} Footpaths and bikeways are provided in accordance with the Austroads Guide to Road Design – Part 6A: Pedestrian and Cyclist Paths (Austroads 2009m).</p>	N/A
<p>PO₂₅ The alignment of pedestrian paths and cycleways is designed so that they:</p>	No acceptable outcome is nominated.	N/A

Performance Outcomes	Acceptable Outcomes	Response
<ul style="list-style-type: none"> (a) allow for the retention of trees and other significant features; (b) maximise the visual interest provided by views and landmarks where they exist; (c) do not compromise the operation of or access to other infrastructure services; (d) are widened at potential conflict points; and (e) consider CPTED principles and disability access requirements. 		
<p>PO₂₆ Safe street crossings are provided for pedestrians and cyclists across major roads.</p>	<p>AO_{26.1} Crossings and intersections are provided in accordance with <i>SC6.3 PSP No 2 – Engineering Standards – Roads and Drainage Infrastructure and Austroads Guide to Road Design Part 4: Intersections and Crossings: General</i>.</p>	<p>N/A</p>
Public Transport		
<p>PO₂₇ The movement network caters for the extension of existing or future public transport routes to provide services that are convenient and accessible to the community.</p>	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>
<p>PO₂₈ Reconfiguration caters for the extension of public transport routes by locating the highest likely public transport ‘trip generating’ land uses in the vicinity of existing or potential public transport routes, where this is consistent with the</p>	<p>AO_{28.1} Except in the rural zone and the rural residential zone, at least 90% of proposed lots are within 400m safe walking distance from an existing or potential bus route or 500m walking distance of an identified bus stop.</p>	<p>N/A</p>

Performance Outcomes	Acceptable Outcomes	Response
intended character of the zone or precinct in which the land is located.		
PO₂₉ Residential densities within walking distance of existing and potential public transport stations and routes are at levels that take advantage of the infrastructure where this is consistent with the intended character of the zone or precinct in which the land is located.	No acceptable outcome is nominated.	Complies
Open Space Network		
PO₃₀ Neighbourhood design and lot layout provides a balanced variety of park types, including: <ul style="list-style-type: none"> (a) small local parks, which are designed to: <ul style="list-style-type: none"> (i) provide a small open space setting for adjoining dwellings; (ii) incorporate and retain existing natural features; (iii) incorporate landscaping to assist in creating neighbourhood identity and way-finding; (b) neighbourhood parks, which are designed to: <ul style="list-style-type: none"> (i) be centrally located; (ii) support the local community's recreational needs; (iii) provide opportunities for community and special events; 	AO_{30.1} The lot reconfiguration makes provisions for the establishment of public parks in accordance with Part 4 Local Government Infrastructure Plan ⁷⁷	N/A

Performance Outcomes	Acceptable Outcomes	Response
<p>(c) lineal or corridor parks, which are designed to:</p> <ul style="list-style-type: none"> (i) connect with existing or planned open space in the locality; (ii) incorporate pedestrian and cycle paths; (iii) protect significant natural features; (iv) convey stormwater; (v) provide for other recreational needs when not flooded; and <p>(d) natural parkland areas which:</p> <ul style="list-style-type: none"> (i) retain locally significant wetlands, remnant vegetation and habitat for fauna; (ii) continue ecological corridors and linkages to areas outside of the neighbourhood; (iii) maintain important landscape and visual quality values. 		
<p>PO₃₁ Where provision for a public park is required in Part 4 – Local Government Infrastructure Plan⁷⁸ the design and lot layout provides for safe and secure, well distributed and located parkland that:</p>	<p>AO_{31.1} The public park meets the requirements of section 4.5.5 of the planning scheme.</p> <p>AO_{31.1} The public park meets the standards identified in Table 9.4.5:3.</p>	<p>N/A</p>

Performance Outcomes	Acceptable Outcomes	Response
<ul style="list-style-type: none"> (a) has passive surveillance by surrounding development; (b) is of a suitable size, shape and topography for its function; (c) is located on a suitable road; (d) is highly accessible to local communities; and (e) achieves an acceptable standard of flood immunity. 		
<p>PO₃₂ Neighbourhood design and lot layout provides for safe and secure, well distributed and located parkland that:</p> <ul style="list-style-type: none"> (a) provides a clear relationship between the public realm and adjoining land uses through treatment including alignment, fencing and landscaping; (b) enhances the area's local identity and landscape amenity; (c) provides for a range of recreational opportunities to meet community needs; (d) forms a linkage to existing parkland or habitats; (e) respects and retains existing natural elements; and (f) protects biodiversity values and features. 	No acceptable outcome is nominated.	N/A
Amenity		
<p>PO₃₃ Reconfiguration provides for sufficient buffering to minimise impacts on accommodation activities and other</p>	No acceptable outcome is nominated.	Complies

Performance Outcomes	Acceptable Outcomes	Response
sensitive land uses from nearby incompatible uses. ⁷⁹		
<p>PO₃₄ The layout of lots created for industrial or commercial purposes facilitates the siting and design of development in a manner that ensures the amenity of accommodation activities and sensitive land uses is protected.</p>	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>
<p>PO₃₅ Where the lot reconfiguration is of land in the Low-medium density residential Zone, Low Density Residential Zone or Rural Residential Zone that is within 250m of land within the Medium Impact Industry Zone or 500m of High Impact Industry Zone it must not result in future sensitive uses within the site being exposed to industrial air, noise or odour emissions that impact on human health, amenity and wellbeing.</p>	<p>AO_{35.1} Where reconfiguring a lot on land in the Low-Medium Density Residential Zone, Low Density Residential Zone or Rural Residential Zone that is within 250m of land within the Medium impact industry Zone or 500m of land within the High impact industry Zone, it is demonstrated that a future sensitive use on proposed lots can meet:</p> <ul style="list-style-type: none"> (a) the indoor noise objectives set out in the <i>Environmental Projection (Noise) Policy 2008</i> are met; and (b) the air quality objectives in the <i>Environmental Protection (Air) Policy 2008</i>, are met through the use of measures such as: <ul style="list-style-type: none"> (i) landscaping and open space; (ii) setbacks; (iii) the orientation of lots away from the industrial area; (iv) barriers, mounds and fencing; and/or (v) screening. 	<p>Complies – not within 250m of land within the Medium impact industry Zone or 500m of land within the High impact industry Zone.</p>

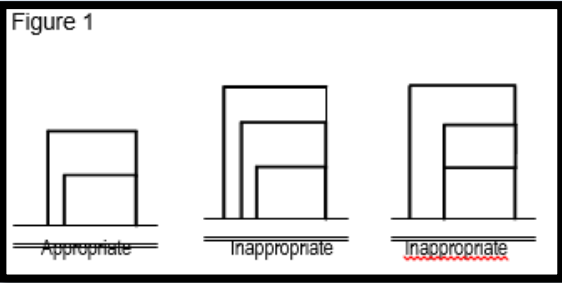
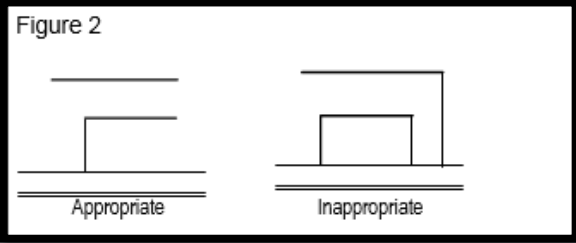
Performance Outcomes	Acceptable Outcomes	Response
Safety and security		
<p>PO₃₆ The reconfiguration discourages crime, vandalism and anti-social behaviour and facilitates:⁸⁰</p> <ul style="list-style-type: none"> (a) personal and property security; (b) casual surveillance of footpaths and parkland; and (c) activity and interaction within public spaces and movement networks. 	<p>AO_{36.1} The reconfiguration is designed in accordance with Crime Prevention Through Environmental Design (CPTED) Guidelines.</p>	<p>Complies</p>
Natural values		
<p>PO₃₇⁸¹ Development is provided with an adequate water supply for firefighting purposes that is safely located and freely accessible.</p>	<p>AO_{37.1}⁸² Development within a water supply area the creation of new lot/s is connected to council's reticulated water supply system and a water supply outlet located within a road reserve is within 40M of the following:</p> <ul style="list-style-type: none"> (a) all of the land; or (b) a building envelope designated on each lot; or (c) the centre of each lot, excluding access handles (where no building envelope is designated); and (d) all existing or proposed buildings. 	<p>Complies – can be conditioned to comply accordingly.</p>
<p>PO₃₈ The reconfiguration provides for lot sizes and titling arrangements that ensure areas of ecological significance remain intact as part of common property or within large lots.</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies – site does not contain areas of ecological significance.</p>

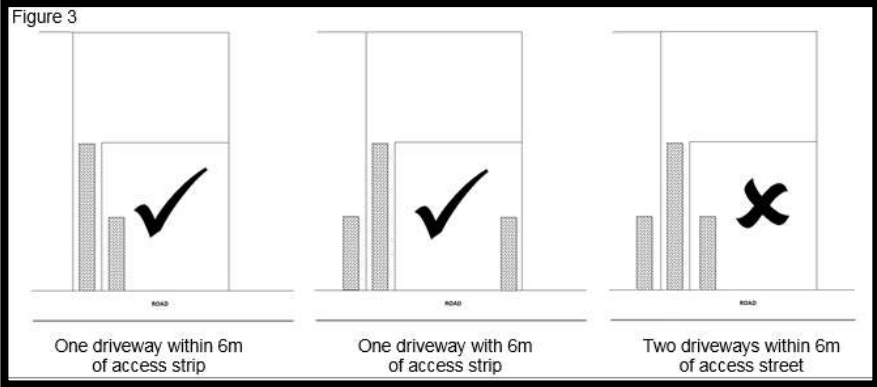
Performance Outcomes	Acceptable Outcomes	Response
<p>PO₃₉ The layout of roads, driveways and other infrastructure avoids crossing or otherwise fragmenting waterways, wetlands, habitat areas or ecological corridors.</p>	<p>No acceptable outcome is nominated.⁸³</p>	<p>Complies – site does not contain waterways, wetlands, habitat areas or ecological corridors.</p>
<p>Climate response</p>		
<p>PO₄₀ The street, lot orientation and lot size facilitate buildings that conserve non-renewable energy sources through climate-responsive siting and design.</p>	<p><i>In partial compliance with the performance outcome:</i></p> <p>AO_{40.1} Neighbourhoods are generally designed so that:</p> <ul style="list-style-type: none"> (a) the long axis of roads runs east-west; (b) the number of wide lots (lots with a width greater than 15m) is minimised on streets running north-south; and (c) lots are generally rectangular in shape and not splayed. <p>AO_{40.2} Where they are proposed, built-to-boundary walls are located on the west-southwest boundary of lots except where these boundaries are on the higher side of a sloping lot.</p>	<p>Complies</p>
<p>Services</p>		
<p>PO₄₁ Services, including water supply, stormwater management, sewage disposal, waste disposal, drainage, electricity and telecommunications, are provided in a manner that:</p>	<p>No acceptable outcome is nominated.⁸⁴</p>	<p>Complies – can be conditioned to comply accordingly.</p> <p>Refer also to 'Infrastructure section' within Section 5 of this report.</p>

Performance Outcomes	Acceptable Outcomes	Response
<p>(a) is efficient;</p> <p>(b) minimises risk of adverse environmental or amenity related impacts;</p> <p>(c) promotes total water cycle management and the efficient use of water resources; and</p> <p>(d) minimises whole of life cycle costs for that infrastructure.</p>		
Noise Impacts⁸⁵		
<p>PO₄₂ Lots are of a suitable size and dimensions to facilitate adequate noise management.</p>	<p>AO_{42.1} Lots near a rail corridor or a regional arterial, sub-arterial or distributor roads are of sufficient size and depth to ensure that future dwellings are not exposed to road or rail noise greater than 63dB ^LA10(18hr).</p> <p>AO_{42.2} Where it is not practical to achieve the required noise levels through lot layout and design, noise attenuation barriers are utilised to achieve the required noise levels.</p>	<p>N/A</p>
<p>PO₄₃ Noise attenuation measures:</p> <p>(a) are compatible with the local streetscape;</p> <p>(b) minimise whole of life cycle costs where they are to be located on or</p>	<p>No acceptable outcome is nominated.</p>	<p>N/A – not required.</p>

Performance Outcomes	Acceptable Outcomes	Response
<p>adjacent to public land or common property; and</p> <p>(c) are designed to discourage crime and anti-social behaviour, having regard to:</p> <ul style="list-style-type: none"> (i) aesthetic quality and compatibility with streetscape; (ii) physical accessibility; (iii) provision of casual surveillance of Public Open Space and movement networks; (iv) opportunities for concealments or vandalism; and (v) easy and economic maintenance. 		
Air Quality		
<p>PO₄₄ Reconfiguration does not result in lots intended for accommodation activities or sensitive land uses being subject to adverse air quality or impacts.⁸⁶</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies</p>
Additional requirements for volumetric subdivision		
<p>PO₄₅ The reconfiguration of the space above or below the surface of the land facilitates appropriate development in accordance with the intent of the zone or precinct in which the land is located or is consistent with a lawful approval that has not lapsed.</p>	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>

Performance Outcomes	Acceptable Outcomes	Response
Hatchet Lots⁸⁷		
<p>PO₄₆ Lot reconfigurations only create hatchet lots as a means of increasing residential densities in within:</p> <ul style="list-style-type: none"> (a) Walking catchments around centres offering a broad range of goods, facilities and services (being 800m around Major and 400m around District centres and designated Local centres within the centre hierarchy); (b) Land that benefits visually from high quality parkland; (c) Walking catchments around major non- industrial employment areas (land within 800m walk of 1000 or more non- industrial jobs); (d) A central transport corridor bounded by Nelson, West, Jellicoe and Hume street, and (e) An 800m walking catchment of the University of Southern Queensland (Toowoomba campus). 	<p>AO_{46.1} Lot reconfigurations only create hatchet lots in the Low-medium Density Residential Zone.</p>	<p>N/A</p>
<p>PO₄₇ The location and configuration of the access strip/easement and main body does not compromise:</p> <ul style="list-style-type: none"> (a) the streetscape qualities of the area; (b) the residential amenity of the area; or (c) the Street System. 	<p>AO_{47.1} Only 1 Hatchet Lot is created behind any full frontage lot as shown in Figure 1 below.</p>	<p>N/A</p>




Performance Outcomes	Acceptable Outcomes	Response
	<p data-bbox="887 268 972 293">Figure 1</p>  <p data-bbox="842 596 1491 715">AO_{47.2} The access strip/easement to the Hatchet Lot is located on only 1 side of the lot with direct frontage to the street as illustrated in Figure 2 below.</p> <p data-bbox="887 740 972 766">Figure 2</p> 	
<p data-bbox="188 1043 819 1347">PO₄₈ The configuration of hatchet lots maintain the ability of existing buildings and structures to –</p> <ul style="list-style-type: none"> <li data-bbox="264 1136 819 1193">(a) provide adequate daylight and ventilation to habitable rooms; <li data-bbox="264 1197 819 1286">(b) allow adequate light and ventilation to habitable rooms of buildings on adjoining lots; and <li data-bbox="188 1289 819 1347">(c) not adversely impact on the amenity and privacy of residents on adjoining lots. 	<p data-bbox="842 1043 1491 1193">AO_{48.1} Where the lot reconfiguration creates a hatchet lots the new lot boundaries create setbacks to existing dwellings that comply with the minimum distances in the Queensland Development Code or relevant planning scheme code.</p>	<p data-bbox="1514 1043 1563 1069">N/A</p>

Performance Outcomes	Acceptable Outcomes	Response
<p>PO₄₉ The access strip/easement:</p> <ul style="list-style-type: none"> (a) has a minimum width of 6 metres for its full length; (b) is located on the southern or western side of the lot; (c) has a maximum length of 30 metres; (d) is located so that there is no more than one driveway serving an adjoining property within 6 metres of the access strip/easement boundary (see figure 3 below). 	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>
<p>Figure 3</p>  <p>Figure 3 consists of three diagrams illustrating driveway placement relative to an access strip. Each diagram shows a road at the bottom and an access strip above it. The first diagram shows one driveway within 6m of the access strip, marked with a checkmark. The second diagram shows one driveway with 6m of access strip, also marked with a checkmark. The third diagram shows two driveways within 6m of the access street, marked with an 'X'.</p>		
<p>PO₅₀ Stormwater is discharged from the site to a lawful point of discharge, as defined in the Queensland Urban Drainage Manual (QUDM), without the use of pumped or charged pipe systems, and not to private land other than to an easement for stormwater purposes befitting the site and</p>	<p>AO_{50.1} The site:</p> <ul style="list-style-type: none"> (a) has a natural surface with an elevation that is higher than the abutting road and enables stormwater to drain gravitationally to the abutting road via subsurface pipes; or 	<p>Complies - See also 'Infrastructure' section within Section 5 of this report.</p>

Performance Outcomes	Acceptable Outcomes	Response
<p>allowing discharge to a lawful point of discharge in land over which Council has tenure or control. Note: Land over which Council has tenure or control does not include Council's open space network.</p>	<p>(b) has a natural surface with an elevation that is higher than Council's stormwater drainage network in the abutting road and enables stormwater to drain gravitationally to the stormwater drainage network in the abutting road via subsurface pipes; or</p> <p>(c) has lawful access to an inter allotment drainage network with available capacity to meet the requirements of the development.</p>	
Reconfigurations creating lots less than 450m² in area in a residential zone		
<p>PO₅₁ Lot reconfigurations creating lots less than 450m² and at least 20 new lots, facilitate the orderly, neighbourly, integrated and timely development of those lots through a Plan of Development.</p> <p>Note:</p> <p>Orderly neatly and methodically arranged.</p> <p>Neighbourly exhibiting the qualities expected in a friendly neighbour.</p> <p>Integrated combining or coordinating separate elements so as to provide a harmonious, interrelated whole</p> <p>Timely done or occurring at a favourable or useful time.</p>	<p>AO_{51.1} Lot reconfigurations creating lots less than 450m² incorporate an Approved Plan of Development prepared by a suitably qualified professional(s) that sets development standards that comply with the performance outcomes within the Small Lot Housing Design Code and which includes, but is not limited to, the location of the following:</p> <p>(a) the lot layout and streets, including lot numbers, lot areas, street reserve widths, street or road carriageways (may include bus stops, taxi ranks, loading zones and similar service areas where proposed), and location and width of footpaths;</p> <p>(b) land slope and major infrastructure items;</p> <p>(c) primary and secondary street frontages (if necessary);</p> <p>(d) public open space areas, including lot number and area;</p>	<p>Complies</p>

Performance Outcomes	Acceptable Outcomes	Response										
	<ul style="list-style-type: none"> (e) built-to-boundary wall locations (including mandatory built-to-boundary situations); (f) where privacy fencing is required at an interface with a street or park; fencing and, if sloping land, retaining wall details; (g) for lots under 450m²: <ul style="list-style-type: none"> (i) location, areas and dimensions of private open space; (ii) building envelopes indicating minimum setbacks, access points, and heights; and (iii) driveway crossovers 											
<p>PO₅₂ The lots are located on a road that is appropriate to accommodate small lots.</p>	<p>AO_{52.1} Small lots are located in accordance with the following table:</p> <table border="1" data-bbox="909 836 1408 1267"> <thead> <tr> <th>Proposed lot width</th> <th>Vehicle Access Location</th> </tr> </thead> <tbody> <tr> <td>Lot width <10m</td> <td>Laneway, Local or collector roads only</td> </tr> <tr> <td>Lot width 10 – 12.4m</td> <td>Laneway, Local or collector roads only</td> </tr> <tr> <td>Lot width 12.5 – 14.9m</td> <td>Laneway, Local, collector or distributor roads only</td> </tr> <tr> <td>Lot width >15m</td> <td>Laneway, Local, collector, distributor or sub-arterial roads only</td> </tr> </tbody> </table>	Proposed lot width	Vehicle Access Location	Lot width <10m	Laneway, Local or collector roads only	Lot width 10 – 12.4m	Laneway, Local or collector roads only	Lot width 12.5 – 14.9m	Laneway, Local, collector or distributor roads only	Lot width >15m	Laneway, Local, collector, distributor or sub-arterial roads only	<p>Complies</p>
Proposed lot width	Vehicle Access Location											
Lot width <10m	Laneway, Local or collector roads only											
Lot width 10 – 12.4m	Laneway, Local or collector roads only											
Lot width 12.5 – 14.9m	Laneway, Local, collector or distributor roads only											
Lot width >15m	Laneway, Local, collector, distributor or sub-arterial roads only											

Performance Outcomes	Acceptable Outcomes	Response
	Note: Direct access is not typically available to sub-arterial roads and limited to distributor roads (see PSP No.2 Sc6.2.2.2).	
PO₅₃ Small lots are located so as to minimise the need to cut and fill the land.	AO_{53.1} Small lots are located on land with a pre-development gradient of less than 10%;	Complies
PO₅₄ Development provides a frequency of standard and small lots which are varied to facilitate housing variety.	AO_{54.1} There are no more than six (6) contiguous small lots along a street frontage, with groups of two (2) or more small lots separated by at least two (2) standard lots.	Complies
Reconfigurations facilitating Dual Occupancy development		
PO₅₅ Lot reconfigurations within the Low Density Residential Zone, Low-medium Density Residential Zone, Emerging Community Zone and Township Zone facilitate the integration of Dual Occupancy development into residential neighbourhoods in a manner that is dispersed and does not result in Dual Occupancy becoming the dominant form of housing within a street.	AO_{55.1} Lot reconfigurations designate lots for Dual Occupancy development; AO_{55.2} No more than 20 percent of the properties within a street block are designated for Dual Occupancy development. AO_{55.3} No more than three (3) adjoining properties within a street block are designated for Dual Occupancy development. AO_{55.4} Hatchet lots are not designated as Dual Occupancy lots.	N/A

Performance Outcomes	Acceptable Outcomes	Response
	<p data-bbox="884 263 1041 295">See Figure 4</p>  <p data-bbox="884 1085 1444 1340">  Each red line in this figure is an example of the extent of a street block.  No more than 20 percent of properties within the street block are designated for dual occupancy development. </p>	

Performance Outcomes	Acceptable Outcomes	Response
<p>PO₅₆ Lots designated for Dual Occupancy development by lot reconfigurations within the Low Density Residential Zone, Low-medium Density Residential Zone, Emerging Community Zone and Township Zone have an area, shape and dimensions suitable to accommodate their intended use.</p>	<p>AO_{56.1} Lots designated for Dual Occupancy development:</p> <ul style="list-style-type: none"> (a) have a minimum area of 500m² where in the Low-medium Density Residential Zone; or (b) have a minimum area of 700m² where in the Low Density Residential Zone, Emerging Community Zone or Township Zone; and (c) are rectilinear in shape; and (d) have a frontage that is consistent with the minimum frontage required for the applicable zone. 	<p>N/A</p>

Table 9.4.5:3 – Open Space Standards

Land characteristic	Recreation Parks			Sports Parks	
	Local	District	Regional	District	Regional
Shape	Square or rectangular with the sides no greater than 2:1.			Square or rectangular to <u>maximise</u> the area available for playing fields.	
Minimum flood immunity	15% of the total area above Q100 and free of hazards.	25% of the total area above Q50 with the main activity area/s above Q100.	50% of the total area above Q50 with the main activity area/s above Q100 and free of hazards.	Free of hazards with 90% of the land above Q20. All fields/courts above Q50. All facilities above Q100.	Free of hazards with 90% of the land above Q20. All fields/courts above Q50. All built facilities above Q100.
Maximum grade	1:10 for 80% of the area of the park (i.e. a maximum of 20% of the land may have a greater grade than 1:10).	Average grade of 1:10 for 80% of the area of the park. To facilitate wheelchair access to parks, areas with a grade of 1:14 will also <u>be</u> provided, where possible. Variable topography is <u>satisfactory</u> for the remaining area.	Average grade of 1:20 for main use areas, 1:50 for kick about area, and <u>variable</u> topography for remainder.	1:50 for all planning surfaces.	1:50 for all planning surfaces. Laser levelling to a maximum gradient of planning surface 1:100.
Road frontage and visibility	50% of the park perimeter to have frontage to a local road.	50% of the park perimeter to have frontage to a collector road.		50% of the park perimeter to have road frontage.	

Table 9.4.5:4 – Lot Sizes and Dimensions – requirements for accepted development and assessment benchmarks for assessable development⁸⁸

Zone(s)	Lot Type	Precinct(s)	Minimum Lot Area/Max Density [†]	Minimum Frontage/Width	Max Frontage to Depth Ratio [*]	
Low Density Residential	Regular and Corner	Clifford Park Stables Precinct	1,200 m ²	20 m.	1:3	
		Park Residential	2,250 m ²	20 m.	1:3	
		All other circumstances	500 m ²	15 m.	1:5	
	Hatchet ⁸⁹	Hatchet lots do not occur within the Low Density Residential Zone.				
	Community Title Scheme	Clifford Park Stables	1,200 m ² (except for communal lots).	20 m.	No Acceptable Measure Prescribed	
		All other circumstances	500 m ² (except for communal lots).	15 m.	No Acceptable Measure Prescribed	
Low – medium Density Residential	Regular and corner	All	300 m ² ⁹⁰	20 m.	1:3	
			Slope [#] <6%	300 m ²	10 m.	1:5
			Slope [#] 6-8%	800 m ²	25 m.	
			Slope [#] >8%	1,000 m ²	30 m.	
	Hatchet	All	Slope [#] <6%	500 m ²	6 m/15 m.	1:5
			Slope [#] 6-8%	800 m ²	6 m/25 m.	
			Slope [#] >8%	1,000 m ²	6 m/30 m.	
Community Title Scheme	All	No minimum lot size	20 m.	1:3		

Zone(s)	Lot Type	Precinct(s)	Minimum Lot Area/Max Density [†]	Minimum Frontage/Width	Max Frontage to Depth Ratio [*]
Principal Centre	Regular and corner	All	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed
	Hatchet	All	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed
	Community Title Scheme	All	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed
Major Centre District Centre Local Centre Mixed Use <u>Specialised Centre</u>	All	All	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed
Open Space Sport and Recreation	All	All	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed
Community Facilities	All	All	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed

Zone(s)	Lot Type	Precinct(s)	Minimum Lot Area/Max Density ⁺	Minimum Frontage/Width	Max Frontage to Depth Ratio ⁺
Low Impact Industry Medium Impact Industry High Impact Industry Extractive Industry	Regular and Corner	Wellcamp Low Impact Industry	2 ha.	No Acceptable Measure Prescribed	1:2
		General Industry	2 ha.	No Acceptable Measure Prescribed	1:2
		Transport and Warehousing	5 ha.	No Acceptable Measure Prescribed	1:2
		Intermodal Facility	2 ha.	No Acceptable Measure Prescribed	1:2
		Heavy Industry	10 ha (except for communal lots).	No Acceptable Measure Prescribed	1:2
		Quarry / Extractive Industry	10 ha.	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed
		All other circumstances	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed

Zone(s)	Lot Type	Precinct(s)	Minimum Lot Area/Max Density ⁺	Minimum Frontage/Width	Max Frontage to Depth Ratio [*]
Rural Residential	Regular and Corner	4000 m ²	4000 m ²	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed
		1 Hectare	1 ha.	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed
		2 Hectare	2 ha.	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed
	Hatchet	Hatchet lots do not occur within Rural Residential Zone			
	Community Title Scheme	4,000m ²	4,000 m ²	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed
		1 hectare	1 ha (except for communal lots).	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed
		2 hectare	2 ha (except for communal lots).	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed
Rural	Regular and Corner	100 hectare	100 ha.	125 m.	No Acceptable Measure Prescribed
		200 hectare	200 ha.	250 m.	No Acceptable Measure Prescribed
	Hatchet	Hatchet lots do not occur within Rural Zone			
	Community Title Scheme	100 hectare	100 ha (except for communal lots).	125 m.	No Acceptable Measure Prescribed
		200 hectare	200 ha (except for communal lots).	250 m.	No Acceptable Measure Prescribed

Zone(s)	Lot Type	Precinct(s)	Minimum Lot Area/Max Density*	Minimum Frontage/Width	Max Frontage to Depth Ratio*	
Emerging Communities	Regular and Corner	All	10 ha (except for communal lots).	75 m.	No Acceptable Measure Prescribed	
	Hatchet	Hatchet lots do not occur within the Emerging Communities Zone				
	Community Title Scheme	All	10 ha (except for communal lots).	75 m.	No Acceptable Measure Prescribed	
Limited Development (Constrained Land)	All	No acceptable measure prescribed				
	Hatchet	Hatchet lots do not occur within the Limited Development (Constrained Land) Zone.				
Township	Regular and Corner	All (where reticulated wastewater services are provided)	Slope # <6 %	500 m ²	15 m.	1:2
			Slope # 6-8 %	800 m ²	25 m.	1:2
			Slope # >8 %	1,000 m ²	30 m.	1:2
	All (otherwise)	2,000 m ²	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed		
	Hatchet ⁹¹	Hatchet lots do not occur within the Township Zone.				
	Community Title Scheme	All (where reticulated wastewater services are provided)	500 m ² (except for communal lots).	15 m.	No Acceptable Measure Prescribed	
All (otherwise)		2,000 m ² (except for communal lots).	No Acceptable Measure Prescribed	No Acceptable Measure Prescribed		

Table Explanations:

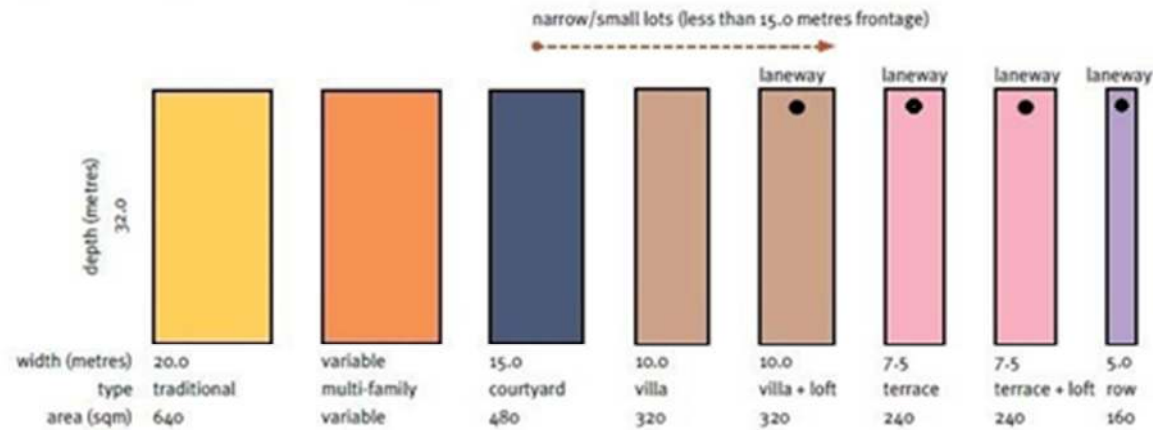
⁹⁰ in the case of Hatchet Lots, the frontage to depth ratio is the width to depth ratio, disregarding the access strip frontage.

^a across allotment slope.

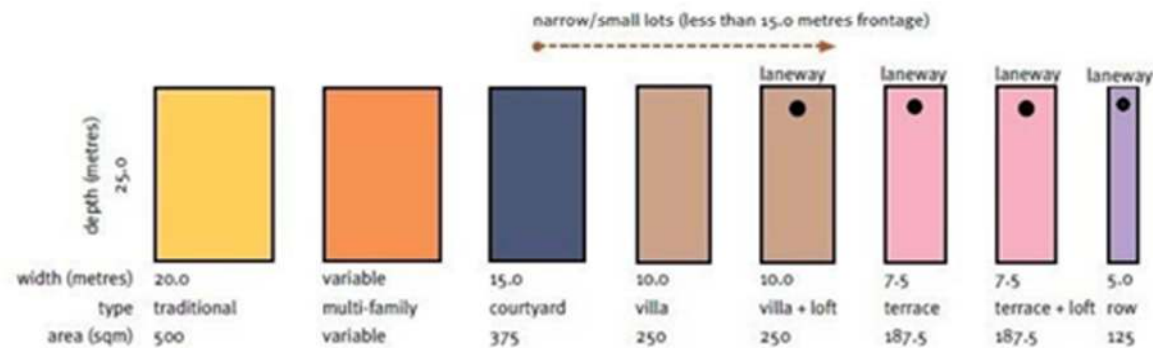
^{*} for hatchet shaped lots the minimum lot area does not include the access strip.

Examples of Lot Shapes and Dimensions (PO9)

Typical lot shapes and dimensions - 32.0 metres deep



Typical lot shapes and dimensions - 25.0 metres deep



Source: Urban Land Development Authority Guideline No. 1 - Residential 30 (page 15)

Airport Environs Overlay Code

Table 8.2.1:1 – Airport Environs Overlay Code – assessment benchmarks for assessable development

Performance outcomes	Acceptable outcomes	Response
Height of Buildings and Other Structures		
<p>PO1 a The height of buildings or other structures does not affect the operational efficiency of the Toowoomba Airport or Oakey Army Aviation Centre or create hazard to the safe navigation of aircraft using the airport.</p>	<p>AO1.1 Buildings and other structures in areas adjacent to the Toowoomba Airport do not penetrate the Airport Obstacle Limitation Surfaces shown on the Airport Environs Overlay maps.</p> <p>AO1.2 Buildings or other structures (including private forestry plantations) in areas adjacent to the Oakey Army Aviation Centre shown on the Airport Environs Overlay maps do not exceed the following heights:</p> <ul style="list-style-type: none"> (a) Area A – 0m; (b) Area B – 7.5m; (c) Area C – 15m; (d) Area D – 45m; and (e) Area F – 90m. <p>AO1.3 Any cranes or other equipment used during the construction do not exceed the heights set out in AO1.1 or AO1.2.</p>	<p>N/A</p>
Acoustic Amenity³		
<p>PO2 Development is appropriately located and designed to prevent adverse impacts from aircraft noise in accordance with Australian Standards AS2021 – Acoustics – Aircraft Noise Intrusion – Building Siting and Construction.</p>	<p>AO2.1 Premises are not developed for:</p> <ul style="list-style-type: none"> (a) dwelling house, multiple dwelling, dual occupancy, retirement facility, tourist park, hospital, health care services, relocatable home park, community residence, child care centre, educational establishment, residential care facility, resort complex, rooming accommodation or rural worker’s accommodation on land within the 25 or higher ANEF contour; (b) short term accommodation, community use, hotel, place of worship, rooming accommodation or theatre, on land within the 30 or higher ANEF contour; (c) business activities or commercial uses on land within the 35 or higher ANEF contour. 	<p>Complies</p>

<p>PO3 Development for:</p> <p>(a) caretaker's accommodation, community residence, dwelling house, dwelling unit, multiple dwelling, dual occupancy, child care centre, retirement facility, tourist park, educational establishment, hospital, health care services, rooming accommodation, relocatable home park, residential care facility, resort complex or rural worker's accommodation on land situated between the 20 and 25 ANEF contours;</p> <p>(b) short term accommodation, club, community uses, hotel, place of worship or theatre, on land situated between the 20 and 30 ANEF contours; or</p> <p>(c) business activities or commercial uses on land situated between the 20 and 35 ANEF contours; incorporates effective noise attenuation measures which meet Australian Standard AS2021 - Acoustics - Aircraft Noise Intrusion – Building Siting and Construction and Australian Standard AS2107 – Acoustics – Recommended design sound levels and reverberation times for building interiors.</p>	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>
<p>Lighting and Emission Hazards</p>		
<p>PO4 The development of premises does not cause an obstruction or other</p>	<p>AO_{4.1} Street lighting and outdoor lighting within the airport dangerous light area shown on the Airport Environs Overlay maps does not involve:</p> <p>(a) lighting that shines light above the horizontal;</p>	<p>Complies</p>

<p>potential hazard to aircraft movement associated with the airports by way of:</p> <p>(a) introducing reflective surfaces, very bright lighting, or lighting similar to aerodrome lighting, which can distract or confuse aircraft pilots;</p> <p>(b) interfering with navigation or communication facilities; or</p> <p>(c) emissions that may effect pilot visibility or aircraft operations.</p>	<p>(b) coloured or flashing lights;</p> <p>(c) sodium lights; or</p> <p>(d) flare plumes.</p> <p>AO4.2 Street lighting and outdoor lighting within the airport dangerous light area shown on the Airport Environs Overlay maps does not involve configurations of lights in straight parallel lines 500m to 1,000m long.</p> <p>AO4.3 Roofs of buildings within the airport dangerous light area shown on Airport Environs Overlay maps are of a non-reflective colour or material.</p>	
<p>PO5 Development and operational activities do not generate emissions within the airport obstacle limitation surface shown on the Airport Environs Overlay maps that may affect pilot visibility or aircraft operation by way of:</p> <p>(a) gas plumes;</p> <p>(b) particulate emissions (e.g. dust or smoke); or</p> <p>(c) electromagnetic field radiations.</p>	<p>In partial fulfilment of the performance outcome:</p> <p>AO5.1 Any cleared vegetation is mulched or removed from the site and not burnt on-site.</p> <p>AO5.2 Any gas plumes do not have peak vertical velocities of more than 4.3m/sec and/or oxygen content of less than 50% of ambient levels.</p>	<p>Complies – can be conditioned to comply accordingly.</p>
<p>Development within the Public Safety Area</p>		
<p>PO6 Development does not introduce or intensify uses within the public safety area shown on the Airport Environs Overlay maps which are likely to increase risks to public safety.</p>	<p>AO6.1 Premises within the Public Safety Area are not developed for⁴:</p> <p>(a) accommodation activities;</p> <p>(b) uses that attract large numbers of people (e.g. business, community or industrial activities involving large numbers of workers or customers such as shopping centres, child care centres, health care services, major sport, recreation and entertainment facility, place of worship or club);</p> <p>(c) institutional uses (e.g. educational establishment, hospital or detention facility);</p>	<p>N/A</p>

	<p>AO_{7.4} Utility installations (being waste facilities that involve the disposal of putrescible waste) only establish within the 13km Wildlife Hazard Buffer zone shown on the Airport Environs Overlay Maps.</p> <p>AO_{7.5} Landscaping does not include species that at maturity would intersect the Airport Obstacle Limitation Surfaces shown on the Airport Environs Overlay maps.</p>	<p>AO7.4 – N/A</p> <p>AO7.5 – N/A</p>
Transient Aviation Activities		
<p>PO8 Development does not adversely impact on the operational airspace of the Toowoomba Airport or Oakey Army Aviation Centre.</p>	<p>AO_{8.1} Development that includes activities involving transient intrusions such as parachuting, hot-air ballooning or hang gliding are not located within the operational airspace shown on the Airport Environs Overlay maps.</p>	<p>N/A</p>

Neighbourhood Character Overlay Code

Table 8.3.2:1 – Neighbourhood Character Overlay Code – requirements for accepted development and assessment benchmarks for assessable development

Performance outcomes	Acceptable outcomes	Response
Carports and Garages		
<p>PO1 When viewed from a public place ancillary buildings such as garages and carports:</p> <p>(a) are subservient to existing buildings on the site;</p> <p>(b) do not detract from the character or appearance of existing buildings; and</p> <p>(c) are consistent with the overall character of the local streetscape.</p>	<p>AO1.1 New garages, carports or outbuildings are:</p> <p>(a) set back equal to or behind the front building line³⁰ of the primary building on the site;</p> <p>(b) have a lower height than the primary building on that site and on adjoining properties that have frontage the same street; and</p> <p>(c) have a roof pitch that is the same as the primary building on that site.</p> <p>The diagrams at the end of this code illustrate the acceptable outcome.</p>	<p>N/A</p>
Reconfiguring a Lot³¹		
<p>PO2 Reconfiguring a lot, including boundary rearrangements, retains neighbourhood character values through:</p> <p>(a) retention of existing Neighbourhood Character Places;</p> <p>(b) maintaining prevailing subdivision patterns and arrangements that contribute</p>	<p>AO2.1 Existing Neighbourhood Character Places are retained wholly within a single lot facing the street.</p> <p>AO2.2 Where in a residential zone lots have sufficient area and dimensions for a rectangular shaped building envelope with dimensions for:</p> <p>(a) a dwelling house that faces the street setback from the road equal to or greater distance than existing houses on adjoining lots;</p> <p>(b) ancillary buildings and structures, including garages, covered carports and decks, setback equal to or</p>	<p>AO2.1 – Complies – the existing dwelling house and ancillary structures will be retained wholly within proposed Lot 15.</p> <p>AO2.2 – Complies – The proposed development will create a vacant lot subject to future development of a dwelling house (proposed Lot 14), which will be of sufficient area and dimensions to provide:</p>

<p>to the existing streetscape character.</p> <p>Editor's note –</p> <p>Consideration of prevailing subdivision patterns and arrangements includes, but is not limited to:</p> <ul style="list-style-type: none"> • grain of subdivision established by combination of street/block patten, orientation, spacing and alignment of surrounding streets and laneways; • regular shaped lots and dimensions; • frontage width that enables resultant development to maintain a consistent repetition (rhythm) in the streetscape including setbacks, spacings and orientation of buildings. 	<p>dwelling behind the front building line of the proposed house;</p> <p>(c) private open space and recreation area;</p> <p>(d) vehicle access and on-site car parking in accordance with the Transport , Access and Parking Code.</p>	<ul style="list-style-type: none"> • a rectangular shaped building envelope (as shown on the attached Proposal Plans); • dwelling house facing the street with setbacks equal or greater to existing houses on the adjoining lots; • area for ancillary structures setback behind the front building line of future dwelling house; • area for private open space and recreation; • compliant vehicle access and on-site car parking.
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Diagram 8.3.2:1: Carport/garage location and roof pitch

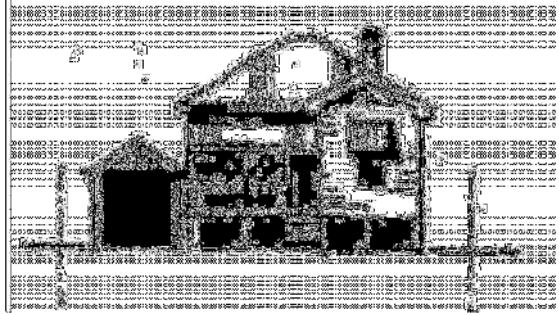


Diagram 8.3.2:1: Carport/garage location and roof pitch



Table 8.3.2:2 – Neighbourhood Character Overlay Code – assessment benchmarks for assessable development



Performance outcomes	Acceptable outcomes	Response
<p>Demolition, Removal (which includes relocation within a site) of a Neighbourhood Character Place (as defined in Schedule 6 PSP No. 7 – Neighbourhood Character Places) – whether or not as a consequence of New Development.³²</p>		
<p>PO1 The Neighbourhood Character Place is retained unless:</p> <ul style="list-style-type: none"> (a) it is structurally unsound and uneconomically repairable; or (b) does not make a positive contribution to the character of the local streetscape. <p>Note: See the Neighbourhood Character Assessment within Appendix 2 of Planning Scheme Policy No.1 – Development Application Requirements for further guidance.³³</p>	<p>AO1 The Neighbourhood Character Place is retained.</p>	<p>Complies – the existing dwelling house will be wholly retained within proposed Lot 15.</p>
<p>PO2 The relocation of a neighbourhood character place within a site is consistent with the local streetscape pattern and does not otherwise detract from the character or amenity of the local area.</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies – the existing dwelling house will remain unchanged and be wholly retained within proposed Lot 15. The proposed subdivision will be consistent with the local streetscape pattern and will not detract from the character of amenity of the local area, noting that similar 1 into 2 lot subdivisions have occurred along</p>

		Bristol Street on adjoining lots to the east and west of the subject site.
Extensions or Alterations		
<p>PO3 A neighbourhood character place is not raised or enclosed underneath.</p>	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>
<p>PO4 Development, including extensions or alterations and ancillary buildings such as garages and carports, when viewed from a public place:</p> <ul style="list-style-type: none"> (a) is subservient to existing buildings both on the site and adjacent sites; (b) is not obtrusive in the local streetscape; (c) consistent with the overall character of the existing buildings in the local streetscape; (d) utilises materials that are consistent with the fabric of the existing building; and (e) does not detract from the character or appearance of existing buildings. 	<p>No acceptable outcome is nominated.</p> <p>Note: The diagrams at the end of this code include examples of how this may be achieved.</p>	<p>N/A</p>

<p>PO5 New buildings and extensions incorporate setbacks which are consistent with the local streetscape pattern. siting and which are consistent with the local streetscape pattern.</p>	<p>AO5.1 New buildings and extensions are:</p> <ul style="list-style-type: none"> (a) setback from any adjoining public place: <ul style="list-style-type: none"> (i) more than the existing buildings on the premises; or (ii) an equal or greater distance that the buildings on adjoining properties. (b) of a lower or equal height to buildings on adjoining properties. 	<p>N/A</p>
<p>Design and Form of New Development Generally³⁴</p>		
<p>PO6 The form, scale and design of the development are consistent with, and sympathetic to the local streetscape and character of the surrounding area, having regard to:</p> <ul style="list-style-type: none"> (a) bulk and scale; (b) height; (c) setbacks, siting and landscaping; (d) horizontal and vertical articulation; (e) roof lines; (f) building openings; (g) orientation; 	<p>No acceptable outcome is nominated.</p>	<p>N/A</p>

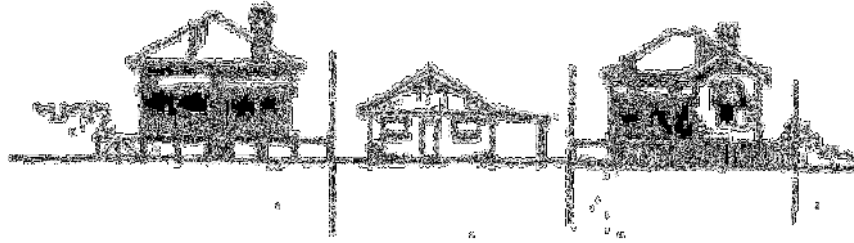
<p>(h) materials and architectural detailing;</p> <p>(i) eaves and awnings; and</p> <p>(j) access and on-site parking.</p> <p>Note: See the Neighbourhood Character Assessment within Appendix 2 of Planning Scheme Policy No.1 – Development Application Requirements for further guidance.³⁵</p>		
<p>PO7 The form, bulk, scale, roof lines, setbacks, height, orientation, materials, articulation, fenestration, finishes and detailing of the development:</p> <p>(a) where they relate to the development of premises containing or adjacent to a Neighbourhood Character Place as listed in Schedule 6 Planning scheme policies, SC6.7.2, are sympathetic to respectful of:</p> <p>and</p> <p>(i) the significance of the place; and</p> <p>(ii) the contribution of the place to the Local Streetscape and</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies – the proposed subdivision will not impact the character or amenity of the local streetscape. Refer to Section 5 ‘Neighborhood Character’ of this report.</p>

<p>heritage of the surrounding area.</p> <p>(b) where the circumstances in (a) do not apply:</p> <p>(i) are sympathetic to and respectful of the Local Streetscape; and</p> <p>(ii) do not detract from the appearance of retained existing buildings on the premises when viewed from a public place.</p>		
<p>PO8 Particular consideration must be given to:</p> <p>(a) the compatibility of the character, appearance, location, height and bulk of the development with those aspects of existing premises on the site and/or in the Local Streetscape;</p> <p>(b) preventing irreversible damage to the significance, including character, of the place and the Local Streetscape;</p> <p>(c) the incorporation of materials and features, such as windows and doors, that are compatible with the style of the</p>	<p>No acceptable outcome is nominated.</p>	<p>Complies – the proposed development will enable future development (i.e. dwelling house) that is compatible with the character or amenity of the local streetscape. Refer to Section 5 ‘Neighborhood Character’ of this report.</p>

<p>majority of buildings in the Local Streetscape; and</p> <p>(d) the retention of special features of the place.</p>		
<p>PO9 Elements within the road reserve that make a positive contribution to the local streetscape are retained.</p>	<p>In partial compliance with the performance outcome:</p> <p>AO9.1 Existing bluestone kerbing and channelling is retained.</p> <p>AO9.2 Existing street trees and street furniture are retained and are not adversely affected.</p>	<p>Complies</p>
<p style="text-align: center;">SCHEDULE A</p> <p style="text-align: center;">EXAMPLES OF DEVELOPMENT THAT DOES AND DOES NOT RESPECT THE SIGNIFICANCE OF THE PLACE AND AREA</p> <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p>(1) SYMPATHETIC INFILL – DETACHED HOUSE</p> <ul style="list-style-type: none"> (a) Carport not dominant. (b) Roof – height and pitch compatible with neighbours. (c) No use of replicated details. (d) Front of House addresses the street. (e) Traditional elements such as verandahs, roof overhangs reinterpreted on contemporary design.  </div> <div style="width: 45%;"> <p>(2) SYMPATHETIC INFILL – 1 TO 2 STOREY APARTMENTS</p> <ul style="list-style-type: none"> (a) Roof pitch and material compatible with neighbours. (b) Contemporary use of materials: <ul style="list-style-type: none"> (i) flat roof to 'verandah'; (ii) no face brick; and (iii) range of cladding textures and patterns. (c) Car parking not prominent. (d) Basic scale and massing compatible with the streetscape.  </div> </div>		

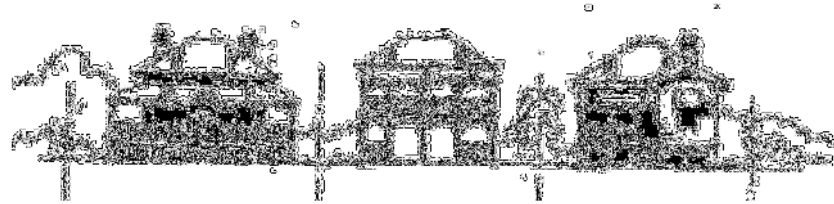
(3) UNSYMPATHETIC INFILL – 1 STOREY DETACHED HOUSE

- (a) Roof and wall height not compatible with neighbours.
- (b) Window proportions not compatible with neighbours.
- (c) Traditional elements such as verandahs and window hoods not incorporated.
- (d) Carport roof form not sympathetic to neighbour.

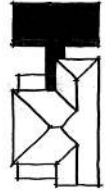


(4) UNSYMPATHETIC INFILL – 2 STOREY DETACHED HOUSE

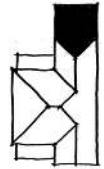
- (a) Replicated ornamentation not recommended.
- (b) Non-traditional use of traditional elements for example two (2) storey verandahs not common, identical upper and lower verandah treatment not common, elaborateness of decoration not common.
- (c) Lack of overhangs to roof.



(5) DWELLING ADDITIONS



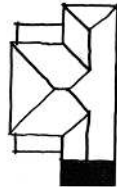
RECOMMENDED
Rear Pavilion Addition



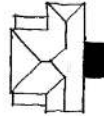
RECOMMENDED
Rear Wing Addition



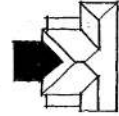
NOT RECOMMENDED
Front Wing Addition



NOT RECOMMENDED
Lean-To Addition



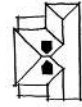
RECOMMENDED
Side Wing Addition



NOT RECOMMENDED
'Cape Cod' Roof Addition



NOT RECOMMENDED
Front Dormer



SCHEDULE B
EXAMPLES OF APPROPRIATE LOCATIONS
FOR ADDITIONAL BUILDINGS

VI. BARNHILLS COMMUNITIES

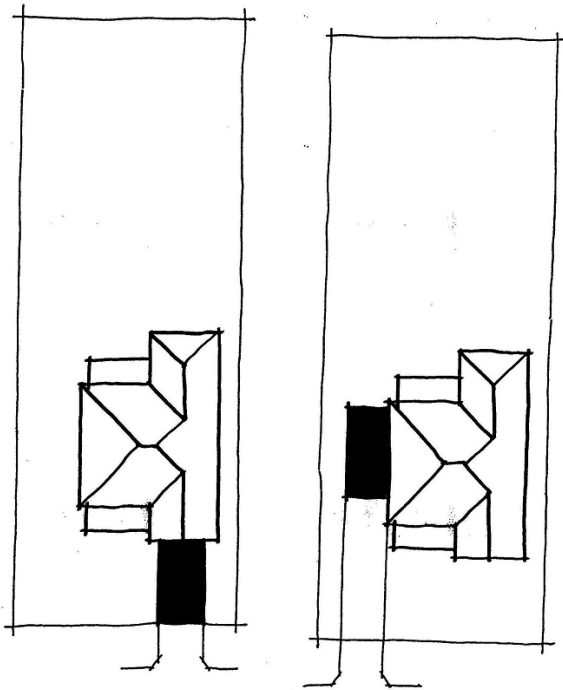


RECOMMENDED
Arched Lean-To



RECOMMENDED
Gabled Gambrel Roof
Addition

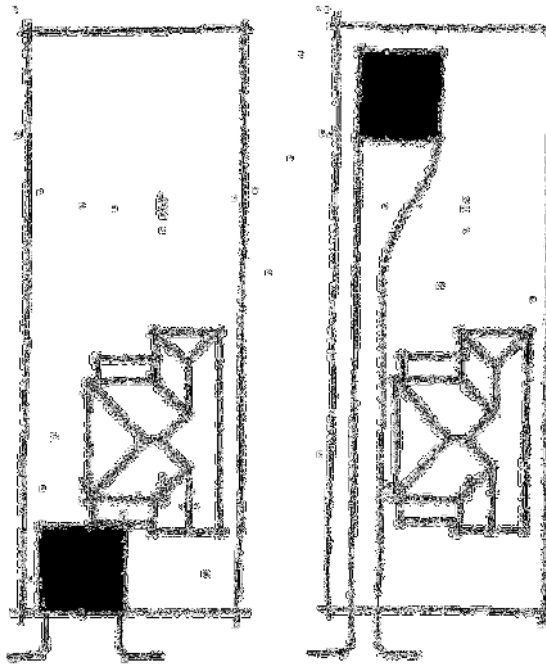
(2) GARAGES/CARPORTS LOCATIONS



NOT RECOMMENDED
Car accommodation in front
of building line

RECOMMENDED
Car accommodation behind
building line

(3) GARAGE/CARPORT LOCATIONS



NOT RECOMMENDED
Car accommodation in front of
building line

RECOMMENDED
Car accommodation that not protrude
front setback